



AGENDA

MEETING CALLED TO ORDER AT 5:00 PM *Pg*
ROLL CALL
PUBLIC COMMUNICATIONS – *Items not on regular meeting schedule.*
STAFF/BOARD COMMUNICATION & DISCLOSURES
ACTION ITEMS – *Discussion, public hearing, and action as outlined below.*

1063 Norfolk Avenue – Grant <i>Public hearing and possible action</i>	PL-13-02051	3
269 Daly Avenue – Determination of Historical Significance <i>Public hearing and possible action</i>	PL-13-02024	87
1119 Woodside Avenue – Appeal of a Historic District Design Review <i>Quasi-judicial hearing</i>	PL-13-02036	121

ADJOURN

Times shown are approximate. Items listed on the Regular Meeting may have been continued from a previous meeting and may not have been published on the Legal Notice for this meeting. For further information, please call the Planning Department at (435) 615-5060.

A majority of Historic Preservation Board members may meet socially after the meeting. If so, the location will be announced by the Chair person. City business will not be conducted.

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Park City Planning Department at (435) 615-5060 24 hours prior to the meeting.

**Historic Preservation Board
Staff Report**



Subject: 1063 Norfolk Avenue
Author: Christy Alexander, Planner
Date: September 18, 2013
Type of Item: Historic District Grant
Project Number: PL-13-02051

Summary Recommendations

Staff recommends that the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with the restoration of 1063 Norfolk Avenue.

Description

Applicant: Letitia and Michael Lawson
Location: 1063 Norfolk Avenue – Significant Site
Proposal: Historic Grant
Zoning: Historic Residential (HR-1) District
Adjacent Land Uses: Single-family dwellings, multi-family dwellings
Redevelopment Area: Lower Park Avenue RDA

Background

The existing historic home at 1063 Norfolk Avenue is a significant structure built during the late 1890's in a T-Type style, typical of miner's cottages during that era. It resides on 1 ½ city lots and borders the south side of the 11th street steps. The 11th Street stairs used to be a city street and a sizable carriage house once stood in the northwest corner of the property, originally accessed from 11th/Crescent Street. The house was built using stick frame wood construction techniques without a solid stone or concrete foundation. Unfortunately, most of the original features and design elements on this home have been lost over time, such as the double hung windows, box bay front window, front door and front porch. As described by the HSI, the structure has sustained these minor alterations and additions.

Design. The initial cross-wing frame house had a porch in its L. At some point between C. 1940 and 1995 the porch was enclosed, the roofline extended and the entrance moved to another elevation.

Setting. The setting remains unchanged from early descriptions and/or photographs.

Workmanship. The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, a simple roof form,

informal landscaping, restrained ornamentation, and plain finishes—which have been altered, and therefore, lost.

Feeling. The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association. The “T” or “L” cottage (also known as a “cross-wing”) is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

Analysis

General eligible improvements for historic district grants include, but are not limited to:

- Masonry Repair
- Siding
- Exterior Doors
- Retaining walls of historic significance/steps/stairs
- Porch repair
- Exterior trim
- Foundation work
- Structural stabilization
- Windows
- Cornice repairs

The purpose of the grant program is to incentivize property owners to maintain and preserve historic commercial and residential structures in Park City. In 1987, the Park City Historic District Commission and City Council identified the preservation of Park City’s historic resources as one of their highest priorities. The grant program has operated continuously since that time with the full support of subsequent City Councils and Preservation Boards. The purpose of the grant program is to assist in offsetting the costs of rehabilitation work. Funds are awarded to projects that provide a community benefit of preserving and enhancing the City’s historic architecture.

According to the HSI, the building is in “fair” condition. The applicant submitted a Historic District Design Review (HDDR) application on April 1, 2013. The application was deemed complete April 5, 2013. The applicant proposes to restore the 1890s house, restoring the historic porch, and add a new rear addition. The proposed work was approved as part of a Historic District Design Review (HDDR) on May 7, 2013. A Preservation Guarantee is required at the time of the building permit.

The applicant has requested grant funds for the following improvements to the historic structure:

Foundation. The existing home has no foundation or even loose rocks beneath the flooring joists. As a result, significant settlement and rot has occurred at the sill plate level. The applicant proposes to brace and raise the house, dig and pour

a new basement foundation, repair and add structural flooring members and re-situate the home upon its new foundation. The excavation and foundation estimates relate to the entire project with a basement foundation and a rear addition. In order to estimate just the amount that pertains to grant eligible items (i.e. crawl space excavation and foundation), the contractors have provided the following information:

- Excavation – 75% of the excavating estimate is related to the existing structure and the difficulty of tunneling under the existing structure and transporting that material out of the hole. The actual bid, just for a crawlspace excavation would be half the attached bid.
- Foundation – The existing structure's footprint accounts for 2/3 of the total proposed footprint. A non-basement foundation would account for 1/2 of the above mentioned portion (i.e. 1/3 of total foundation cost). The eligible items pertaining to this estimate are highlighted with non-eligible items such as concrete flatwork (garage, basement, driveway, and patio) omitted.

Additions. All non-historic additions to the existing structure will be removed in order to better showcase the classic T-shaped renovated historic structure. A two-story bedroom addition is proposed in the southwest rear corner of the property. This addition will be connected to the existing structure with a transitional stair hallway addition that will visually separate the two (2)-story addition from the historic structure. The bedroom addition will be partially sunken into the existing grade on the uphill side of the lot in order to minimize its presence and not overpower the scale of the existing 1.5 story historic home. The proposed additions will be clad in differing materials that are intended to complement the spirit of the existing historic home without competing with it.

Porch. The original front porch has been enclosed and incorporated into the front living room. The applicant proposes to recreate the original front porch using the c.1930s photograph as a guide for correct window and door placement and sizing. They will salvage and reuse the historic siding from less conspicuous areas of the house in order to make the front porch as historically accurate as possible. The attached entry door cost is the most similar door that the applicant could find to match their plans. Based on the lack of readily available historically correct 3/4 lite solid wood 6'8" entry doors with transom windows, as shown on their plans, they intend to have a door and transom custom built to match their plans. The provided estimate is conservative and should be close or lower than the actual cost will be. The estimated historic siding rehabilitation cost is \$8,000 based on the unit cost of \$8/sf of siding on the 1000 sf of historic structure exterior walls. The estimated exterior painting cost is \$2,000 based on the unit cost of \$2/sf of siding on the 1000 sf of historic structure exterior walls.

Windows. There are currently no existing historic windows at all in the home. The applicant proposes to recreate the existing window configuration of the original structure based on the c. 1930s photograph and existing scars remaining

on the siding. All proposed windows on the historic structure will be double hung wood construction as is relevant to the location and period of the home. Most are of 2'6" dimension in width by 6'0" in height with the exception of the double box bay window and north wall, which are similar in scale but longer in length. The windows in the proposed addition will be aluminum-clad wood casement windows that are designed to complement the existing historic structure. The original structure at one time had a box bay window on the front northeast side of the home. Unfortunately, the applicant was unable to find a photo of this home with the window in place. They could however, determine the original placement and size of the structure from the footprint shown on the 1900 Sanborn Fire Insurance maps and scars in the siding at the top of the front gable and interior walls of the house. They will remove the non-historic attic window and recreate the box bay window with the evidence they have and by also using other historic examples that still exist in the neighborhood. The attached window estimate is only for the windows proposed for the existing historic home. All additional windows and doors for this project are not included.

Architectural Ornamentation. Very little architectural ornamentation exists on the home. There is a small cove molding detail at the soffit that will be restored and replaced wherever it is missing on the original structure. Some additional ornamentation will be created with the addition of the box bay window, using other examples in the neighborhood as a guide. Porch details will also be recreated using the c. 1930s photograph and other neighboring historic examples.

Roofing. The applicant is proposing to replace the existing roof with new metal roofing. The proposed work includes lifting the existing structure, placing it back on the new foundation, adding structural members from the inside to bolster existing framework to meet current code, and replacing roof decking with metal roofing. The applicant has little information on what the actual costs of reroofing might be. They are requesting that this item be reviewed at a later date and considered for grant assistance when an accurate cost estimate can be obtained.

Total estimated cost of the proposed eligible work is \$95,245. As the program is a matching grant program, half (1/2) of the total cost is eligible to be granted. Therefore, the Board can consider granting the applicant one half (1/2) of the proposed cost of the eligible preservation work in the amount of \$28,621.

The Historic District Grant Program states that “funds shall be awarded to projects that provide a community benefit of preserving and enhancing the historic architecture of Park City.” Restoring the original porch, windows, entry door and architectural ornamentation will enhance the historic integrity of the site.. Repairing and, where necessary, replacing wood siding, trim, and cornice are equally significant to the restoration of the house.

Since the applicant is proposing a full basement, Staff does not support funding the costs of excavation, raising the structure to facilitate excavation, or bracing the house to the extent necessary to construct a new basement. In August, the HPB reviewed a grant application for similar work at 1049 Park Avenue, and chose to award grant funds only for the cost of pouring the new foundation. The grant application for 335 Woodside requested similar funding for these expenses in July 2012; however, the Historic Preservation Board did not award funds for these items because the applicant proposed a full basement. That grant was approved without granting funds for the full basement.

The applicant is also requesting funds for both wood siding restoration as well as paint. Traditionally, grant funds have not been awarded for exterior paint. Painting is generally viewed as the property owner’s responsibility as it is a maintenance item. Staff would recommend, given the substantial amount of this grant, that grant funds are not used to finance exterior painting.

At this time, the applicant has not yet submitted a quote for the cost of the new roof. It will be reviewed at a later date.

This project is located in the Lower Park Avenue Redevelopment Area (RDA). The current balance of the Lower Park Avenue Redevelopment Area (RDA) is \$143,585.50. While funding is limited in the Main Street RDA and Capital Improvement Project (CIP) Fund, the Lower Park Avenue RDA receives the least amount of grant requests. Staff recommends that the funds be allocated from the Lower Park RDA fund for historic incentive grants.

Staff is supportive of the restoration of this site. Staff finds that the rehabilitation of this site will greatly contribute to the historic character of the neighborhood. Though the HPB had reviewed four (4) grant requests for this neighborhood in recent months, very few grant requests have come from this region in the history of the grant program. Awarding a grant in this neighborhood continues to increase awareness of the Historic District Grant program and promotes greater historic preservation efforts.

The largest grant awarded by the Historic District Grant Program was in the amount of \$50,000 to 1280 Park Avenue in 2003; the second largest was \$42,000 to 1149 Park Avenue in August 2013. Totaling \$28,621, this grant request would be one of the largest grant requests received by this matching grant program. Since 2004, the largest grants awarded by the HPB were to 1049 Park Avenue in the amount of \$42,000 (2013), 335 Woodside Avenue in the amount of \$21,000 (2012), and 1149 Park Avenue in the amount of \$16,392 (2013). The HPB has awarded twelve (12) historic preservation grants in the Lower Park Avenue RDA—most recently projects at 1149 Park Avenue (June 6, 2013), 1101 Park Avenue (August 7, 2013), and 1049 Park Avenue (August 21, 2013) since 2004.

Staff recommends that the HPB award the amount on the estimated breakdown for the proposed work to restore the historic structure, totaling \$95,245, Therefore, Staff recommends that the Board consider granting the applicant one half (½) of the proposed cost of the eligible preservation work in the amount of \$28,621.

The following table shows a breakdown of the rehabilitation expenses.

Scope of Work	Owner's Portion	City's Portion	Estimated Total Cost
New Basement Foundation			
Foundation Work/Footings	\$8,914.00	\$8,913.00	\$17,827.00
Excavation	\$23,000.00	\$0	\$23,000.00
House Lifting	\$13,000.00	\$0	\$13,000.00
Structural Work/Framing (joists, rafters, porch, box bay)	\$5,600.00	\$5,600.00	\$11,200.00
Framing Materials	\$5,000.00	\$5,000.00	\$10,000.00
Window/Door Restoration	\$3,717.00	\$3,716.00	\$7,433.00
Entry Door	\$1,023.00	\$1,022.00	\$2,045.00
Entry Door Hardware	\$370.00	\$370.00	\$740.00
Historic Siding Rehabilitation	\$4,000.00	\$4,000.00	\$8,000.00
Exterior Paint	\$2,000.00	\$0	\$2,000.00
Roofing	*to be submitted at a later date		*to be submitted at a later date
Total	\$66,624.00	\$28,621.00	\$95,245.00

Recommendation

Staff recommends the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs up to a maximum of \$28,621 associated with the restoration work and new foundation for the existing historic structure located at 1063 Norfolk Avenue.

Alternatively, the HPB may:

1. Award the applicant the full amount of \$28,621 in accordance with staff's recommendation.
2. Award the applicant a portion of the amount.
3. Deny the award.

Exhibits

Exhibit A – Current Grant Fund Amounts

Exhibit B – Historic Sites Inventory Form

Exhibit C – Approved HDDR

Exhibit D – Quotes for proposed work

EXHIBIT A

Historic Incentive Grants - Capital Project Budget Update

MAIN STREET RDA	
Current Budget Funds	\$ 9,367.00
Allocated monies to date	\$ 9,367.00
Total Budget Funds Available	\$ -

LOWER PARK RDA	
Current Budget Funds	\$ 209,726.00
Allocated monies to date	\$ 66,140.50
Total Budget Funds Available	\$ 143,585.50

CIP FUND - GENERAL FUND TRANSFER **	
Current Budget Funds	\$ 63,020.00
Allocated monies to date	\$ 56,700.50
Total Budget Funds Available	\$ 6,319.50

** The CIP - General Fund is a fund that is allocated from the General Fund and distributed throughout Capital Projects for the discretionary use and distribution within that Capital Project in conjunction with any internal policies of the managing department. It is to be used after the budgeted funds within that project are depleted.

Last Updated: September 1, 2013

EXHIBIT B

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1063 NORFOLK AVE

AKA:

City, County: Park City, Summit County, Utah

Tax Number: SA-171

Current Owner Name: WILSON DAVID J

Parent Parcel(s):

Current Owner Address: PO BOX 696, PARK CITY, UT 84060-0696

Legal Description (include acreage): SUBD: SNYDERS ADDITION BLK 16 BLOCK: 16 LOT: 15 PLAT: 0S 16 T 2S R 4E N1/2 LOT 15 & ALL LOT 16 BLK 16 SNYDERS ADDITION TO PARK CITY SWD-12 388-764 1637-1658 (NOTE: DESC ON WD-1637-1658 IS NOT COMPLETE) 1819-1013, 0.07 AC

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full
 - Partial

Use

Original Use: Residential
Current Use: Residential

- *National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: 1995 & 2006
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Cross-wing type / Vernacular style

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: Dec. 2008

Number of associated outbuildings and/or structures: accessory building(s), # ____; structure(s), # ____.

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)
 Fair (Some problems are apparent. Describe the problems.): The paint is peeling on the siding on the façade.
 Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
 Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: The foundation appears to be concrete in the available photographs.

Walls: The exterior façade wall is clad in wooden drop-novelty siding. Paint on the siding is peeling and needs maintenance.

Roof: The gabled roof is sheathed in standing seam metal materials.

Windows/Doors: The first floor façade windows appear to be aluminum sliders set into horizontal openings. The attic window is a one-over-one double-hung window of undetermined material set in a vertical opening. The façade window casing is composed of simple wooden strips.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The initial cross-wing frame house had a porch in its L. At some point between c. 1940 and 1995 the porch was enclosed, the roofline extended and the entrance moved to another elevation. During that same time period, a vertical double-pane window at the attic level was inserted on the gable end elevation.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The house is set on a building lot that slopes slightly upwards away from the street. A several foot concrete retaining wall runs parallel to the road. Landscaping is a simple; lawn, native grasses and flowers. Like some of the historic neighborhoods in Park City, the overall setting is a compact streetscape with narrow side yards and other homes of larger scale within close proximity.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines the typical Park City mining era home--simple methods of construction, the use of non-beveled (drop-novelty) wood siding, plan type, simple roof form, informal landscaping, restrained ornamentation, and plain finishes--have been altered and, therefore, lost.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1911¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: East elevation (primary façade). Camera facing west, 2006.

Photo No. 2: East elevation (primary façade). Camera facing west, 1995.

Photo No. 3: Southeast oblique. Camera facing northwest, tax photo.

¹ Summit County Recorder.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

EXHIBIT C



HISTORIC DISTRICT DESIGN REVIEW

SUBJECT: 1063 NORFOLK AVENUE
AUTHOR: MATHEW W. EVANS, SENIOR PLANNER
PROJECT No: PL-12-01692
DATE: MAY 7, 2013

**PLANNING
DEPARTMENT**

DESIGN REVIEW SUMMARY

ZONING:	Historic Residential (HR-1)
HISTORIC STATUS:	Significant Site
DATE OF APPLICATION:	April 1, 2013
APPLICATION DEEMED COMPLETE:	April 6, 2013
OWNER:	Michael and Letitia C. Lawson
APPLICANT'S NAME:	Letitia Lawson
ARCHITECT/ENGINEER:	David Henshaw Design (801) 366-9600
TELEPHONE #:	(435) 645-4557
E-MAIL ADDRESS:	TeashLawson@comcast.net
PROPOSED USE:	Residential – Single Family Detached
SECONDARY USE (I.E. LOCKOUT APT):	None
STEEP SLOPE:	N/A
LOT SIZE (MUST BE 1875 SQ FT OR MORE):	2,812.5 square feet – Complies
LOT FRONTAGE (MUST BE 25' OR MORE):	37 feet - complies
LOT DEPTH:	100 feet (+/-)

	CODE REQUIREMENT	PROPOSED
BUILDING FOOTPRINT:	1,201 square feet building footprint maximum based on 2,812.5 square foot lot size	Existing footprint is 739 square feet, proposed is 1,198 square feet total building size as proposed by applicant, complies.
SETBACKS:	20 foot combined front and rear setbacks (10 minimum), 6 foot combined side yard setbacks (3 foot minimum per side). Existing historic home considered "legal-conforming."	Main structure – 9 1 foot front yard which is legal-conforming due to its historic status. proposed 10 foot rear 3 foot side yard (south). 1 foot (existing home) and 3 foot (new construction) side yard (north), complies.
ACCESSORY SETBACK:	N/A.	N/A
BUILDING VOLUME AND HEIGHT:	27 feet maximum height. 3 stories tall from finished grade	Main dwelling 19 feet in height, addition is 27 feet, main home is 2 stories, new additional is 2 stories, combined stories (basement, addition, main and top level have three combined stories complies.
PARKING:	No parking requirement – Historic site	Two-car tandem garage, complies.

*Complies due to findings of compliance with existing setbacks to be reconstructed to match the same underneath the existing home within foundation, rear addition on north side will meet current 3 foot setback requirement

The applicant proposes to an addition to an existing "Significant" historic home, including the reintroduction of a historic front porch and box-bay window as indicated in previous

historic photos and Sanborn maps. The proposed addition(s) include a new basement level with a single-bay, two-car tandem garage, as well as a new addition to side (south-side of the structure) and rear (transition to a rear addition) to the Main house. The new main level of the home is 1,200 square feet, which is a 461 square foot increase beyond the current 739 square feet, and a 345 square foot second story addition. The basement level addition includes 616 square feet of additional living area, as well as a 373 square foot garage and a 308 square foot non-habitable mechanical room. The total new habitable living space is 1,422 square feet.

Staff reviewed this project for compliance with the Historic District Design Guidelines; specifically with 1) Universal Guidelines for Historic Sites and 2) Specific Guidelines, specifically to the following:

- A.1. Building Setbacks and Orientation,
- A.2. Stone Retaining Walls,
- A.3. Fences and Handrails,
- A.4. Steps.
- A.5. Landscaping and Site Grading.
- B. Primary Structures, including;
 - B.1 Roofs,
 - B.2. Exterior Walls,
 - B.3 Foundations,
 - B.4 Doors,
 - B.5. Windows,
- C. Parking Areas, Detached Garages, and Driveways,
- D. Additions to Historic Structures,
 - D.1 Protection for Historic Structures,
 - D.2 General Compatibility; and
 - D.4 Scenario 2: Residential Historic Sites—Basement Addition with Garage.

This letter serves as the final action letter and approval for the proposed design for 1063 Norfolk Avenue, as redlined subject to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The property is located at 1063 Norfolk Avenue.
2. The existing home and the site are identified in the Park City Historic Sites Inventory (HSI) as "Significant."
3. The site consists of an original L-Cottage structure with an out-of-period front addition where the original front porch was, and an attic addition, also out-of-period.
4. The property is located in the Historic Residential (HR-1) District.
5. The lot is 2,812.5 square feet in area.
6. The minimum lot size is 1.875 square feet.
7. The lot width is thirty-seven feet (37').
8. The minimum lot width is twenty-five feet (25')

9. A plat amendment was previously approved on February 4, 2013. The plat combined one and a half (1 & ½) lots of the Snyder's Addition to Park City "parcels" into one (1) lot of record.
10. The lot combination removed the lot lines that caused the home to encroach over the lot line. The plat amendment was necessary in order for the owner to do a contemplated basement, side, and rear addition to the home.
11. The property complies with the lot and site requirements of the LMC and the prescribed requirements of the HR-1 District.
12. The current use of the property is residential, although the home is currently not in use and is likely not livable in its existing condition with failing wood floors and foundation.
13. The property is directly adjacent to the 11th Street Staircase. The proposed addition is mindful of this fact which is why the proposed rear addition was contemplated on the south-side of property, preserving a large portion of the rear yard from structures as open space.
14. Evidence provided to Staff suggests that the home was originally constructed as a typical "L-Cottage" (cross-wing frame house) including a box-bay window which was typical of the Mature Mining Era in which the home was constructed.
15. The 1907 Sanborn Insurance Maps indicate the presence of a detached accessory (garage) carriage building in the rear yard approximately where the proposed expansion is contemplated.
16. The proposed additional includes approximately 1,422 square feet of additional living area, and a footprint increase from 739 to 1,198 square feet. The maximum building footprint allowed is 1,201 square feet based on the lot size.
17. The proposal also includes a 616 square feet garage area which is constructed within the new foundation area underneath the existing home, as well as a 308 square feet mechanical room. The garage area located beneath the existing structure does not constitute an increase in side-yard nonconformity due to the fact that the space is required regardless of the garage use, and the fact that this area is un-habitable space. The addition of the basement area on the north side of the foundation will require adherence to the new setback requirements (3 feet).
18. The proposed design complies with the Universal Guideline #1 as the Site is being used as it was historically, a single family dwelling.
19. The proposed design complies with the Universal Guideline #2 as the proposed north-side addition is one (1) story in height until it transitions with a staircase into the rear two-story (2) addition. The roof would be modified over the front portion of this structure to more accurately mimic the "lean-to" style of the existing 6'x9' non-historical addition that is currently attached to this portion of the historic structure. This proposed modification to the roof would also reveal more of the existing saltbox roof form on the south elevation of the home to better compliment the historic form.
20. The proposed design complies with the Universal Guideline #3 as the existing T-wing structure will remain in its entirety, along with the addition of the historically correct front porch and box-bay window. The proposal will preserve the saltbox form on the south and southwest rear elevations by slightly modifying the pitch of the original form to meet the ceiling height clearances/requirements at the rear wall of the property. The proposed side addition/transition will have independently sloping roofs to better differentiate between the historic structure and the new addition. The

- addition of a snowmelt/drainage system will be used to deal with the associated drainage issues of maintaining the existing roof forms.
21. The proposed design complies with the Universal Guideline #4 as the bulk of the historic materials will be preserved and the only transitional connection (chosen as it is the least visible region of the house viewed from both the public right-of-ways) will be harvested from the southwest wall to reproduce the front porch and box bay window on the primary façade.
 22. The proposed design complies with the Universal Guideline #5 due to the fact that the proposal addresses deteriorated and damaged historic features to the historic home, including the re-introduction of front porch, entryway, and box-bay window.
 23. The proposed design complies with the Universal Guideline #6 as features that do not contribute to the significance will be fully abated, and only those original features of this structure will be restored, including the box-bay window. The proposal eliminates of the non-original front attic window the rear stairwell to the attic and other non-historic elements and features based on the available photographic documentation and Sanborn Maps.
 24. The proposed design complies with the Universal Guideline #8 as the proposed renovation elevates the existing historical structure no more than two feet (2') in height per the historical district design guidelines.
 25. The proposed design complies with the Universal Guideline #9 due to the fact that all new additions, exterior alterations, or related new construction will be undertaken and that said exterior alterations, or related new construction do not propose to destroy historic materials, features, and spatial relationships that characterize the site or building (see the proposed revisions above to help preserve the saltbox roof form). The wood from the disturbed area at the southwest wall of the existing structure is needed to recreate the more prominent front porch on the primary façade of the home.
 26. The proposed design complies with Specific Guideline A.1. Building Setbacks and Orientation - The application calls for maintaining the existing setbacks and orientation as well as re-establishing the side porch approach that appears in the c. 1935 tax photo. The basement addition underneath the nonconforming south-side is part of the required foundation work and is not habitable space. A new addition to the nonconforming south-side will comply with current setbacks.
 27. The proposed design complies with Specific Guideline A.2. Stone Retaining Walls – Only the rear contains a small stone retaining wall that appears to be out of period. Furthermore, plans call for removal and replacement of the existing non-historic concrete retaining wall at the street front. The new wall will be the same in terms of height, material, etc., with a historically appropriate board-formed concrete finish.
 28. The proposed design complies with Specific Guideline A.3. Fences and Handrails - Porch/steps rail detail will be provided. They will be of simple design as is compatible with the historic house as seen in historic photos.
 29. The proposed design complies with Specific Guideline A.4. Steps - Concrete steps up to the side porch approach will be replaced in-kind and integrated into the retaining wall as shown on proposed plans.
 30. The proposed design complies with Specific Guideline A.5. Landscaping and Site Grading – more specifically Guideline A.5.3 - The placement of the proposed addition

on the southwest side and rear yard maximizes the size of the yard by clustering the addition amongst the existing neighboring properties that are currently non-conforming (in height and setback requirements). This placement was chosen to best maintain the feel of the lower density appeal unique to this area of town and fits well within the existing fabric of the neighborhood. The two-story (2) portion of the addition does not encroach into the primary public right of way or side yard, and is placed farthest from the 11th Street right-of-way and staircase. The site plans dictate that the open area will be landscaped. The applicants also plan to request landscape encroachment into the 11th Street ROW for irrigation and plantings to complement the rear yard landscaping to enhance the overall aesthetics of the property.

31. The proposed design complies with Specific Guideline B. Primary Structures, specifically B.1 Roofs - B.1.1 – the historic metal roof will be retained and/or replaced with like materials, and new roof forms will complement the existing roof form as shown on the stamped plans.
32. The proposed design complies with Specific Guideline B.2. Exterior Walls - The primary façade, secondary façade (north) and rear façade components are to be fully restored. The secondary (south) façade components propose to retain the saltbox roof form and minimize the impact of the addition where it ties into the southwest corner of the house (as noted elsewhere).
33. The proposed design complies with Specific Guideline B.3. Foundations - The house is to be lifted two-feet (2') above current floor level per the historic district design guidelines. Areas of exposed foundation will be board formed concrete as is historically appropriate. The garage is the only significant portion of the foundation wall that will be exposed to view and will be mitigated by the single-car carriage-house look. Applicants propose additional landscaping intended to mask the foundation wall underneath the new front porch.
34. The proposed design complies with Specific Guideline B.4 Doors – as the proposed restoration respects the original door openings on the historic portion of the house.
35. The proposed design complies with Specific Guideline B.5. Windows - There are no remaining historic windows in this home (see historic preservation plan and physical conditions report). They will be replaced with windows known to be used historically new double-hung wood windows that mimic those seen in photographs. The proposed windows in the historical structure will be revised to one-over-one as proposed. Windows on the new addition will differentiate from the historic. The intent of the proposed addition is to compliment and contrast with the historic structure rather than mimic as the addition will appear to be constructed out of period to the house, rather than compete with it.
36. The proposed design complies with Specific Guideline C. Parking Areas, Detached Garages, and Driveways - Driveway width is less than 12' (closer to 11') per historic district design guidelines and will be noted on the plans. The garage is a re-introduction to this property as early Sanborn maps indicated a detached carriage house at the location of the proposed rear addition.
37. The proposed design complies with Specific Guideline D. Additions to Historic Structures - D.1 Protection for Historic Structures - D.1.2 The proposed addition is visually subordinate to the historic building in size, height, and setbacks.

38. The proposed design complies with Specific Guideline D.1.3 as the addition is intended to minimize the loss of historic materials.
39. The proposed design complies with Specific Guideline D.1.4 as the transitional wall of the addition on the north elevation will be moved slightly to the north to move the transition off the existing corner of the historical house so it is no longer "in-line".
40. The proposed design complies with Specific Guideline D.2 General Compatibility – The applicants propose to use corrugated metal material along the lower (and not very visible) portions of the addition to deal with the neighboring roof's snow shed. This area is not ideal for the reuse the existing interior historical material due to the snow shed issues. Other portions of the addition contemplate the use of a board and batten siding of new material with an opaque painted finish as required by the Design Guidelines. It is not intended for window shapes, patterns, and proportions found on the historic building to be reflected in the new addition. As previously noted here, the addition should contrast rather than appear the same as the historical structure. The proposed addition is visually separated from the historic building on all facades per proposed revisions.
41. The proposed design complies with Specific Guideline D.4 Scenario 2: Residential Historic Sites—Basement Addition with Garage – with specific compliance to D.4.4 Window or egress wells, if needed, are not located on the primary façade. There is one location in front of the midpoint of the secondary façade that complies with the design guidelines as it is hidden from view by the front porch stairs. The proposed renovation buries a great deal of the main floor addition into the hillside in order to minimize the size of the addition seen above ground. Due to this concession, very little of the proposed basement addition is habitable space and some window/egress wells are needed to make the space usable. The house will be lifted on temporary supports while the foundation/basement is constructed as indicated in the historic preservation plan. The applicants will take historic references from other similar homes on 1053 Woodside (tax photo, not current one), 543 Park (tax photo), and 517 Park for direction on how the box bay should be designed/constructed; a hipped roof will be designed, brackets below will have a box base. More separation between the paired windows will be used. Roof overhang will not be so pronounced.
42. The requested reconstruction of the front porch and box-bay front window includes re-creating the documented design.
43. A Historic Preservation Plan prepared by the applicant was submitted on March 18, 2013 and indicates the following pertinent summarized issues:
 - a. Project Description - applicants propose to recreate, insomuch as possible, and the original spirit of the 1890's home while adapting it to a more modern Park City lifestyle. Per structural engineering direction, the house will be braced and lifted while a new concrete foundation is poured underneath. The original cottage will be set back down on the new foundation and the proposed addition will be built to the rear of the property. A new two (2) stall tandem garage will be part of the foundation plan and should serve to reduce parking issues currently plaguing Norfolk Ave.
 - b. Design Issues – The proposed project will attempt to restore and recreate the spirit of the original home. In many instances we will replace features that are simply no longer there. The front porch and box bay window on the front façade will be rebuilt using historical photos along with input from Staff and the

Historic Preservation Consultant. New double hung windows with thin glazing will be installed and much of the original siding will be reclaimed to reconstruct the front façade. Wood floors on the main level will be reclaimed fir from the attic and existing living/dining rooms. The addition will adhere to all current design guidelines and complement the existing structure while standing on its own, more modern design language. Materials, finishes and paint colors will complement existing old town structures, while the proposed size of the home will serve as a return to a "less is more" design theme within Old Town.

- c. **Site Features - A.1 Topography** – The proposed alteration to the existing structure will not require any new retaining walls along Norfolk Ave. The lot is below steep slope criteria and rises from street level towards the south and west by fourteen feet.
- d. **Site Features - A.2 Landscaping** – With the exception of a few existing lilac bushes and peonies, the current lot is devoid of any formal landscaping. Using historical photos and site visits, we have been able to determine the prior existence of several large trees. The proposed plan will reintroduce some trees, attempt to preserve some lilacs and peonies, and upgrade the overall natural impression of the existing site. With City approval we propose to include the 11th Street step right-of-way in our landscape plan.
- e. **Site Features - A.3 Retaining Walls** – The non-historic existing retaining wall along the Norfolk Ave frontage is of concrete construct with a two-three foot height. Movement and moisture have damaged the wall in places and the proposed plan addresses these issues by replacing the wall with a board formed concrete wall of similar size and height.
- f. **Site Features - A.4 Exterior Steps** – The existing steps are wood on top of the failed concrete. We propose to locate the new porch steps off the south side turning toward the street in the manner represented by the 1930's tax photo. This location mimics the original historical placement and allows the stairs to fall along the area of least slope, in order to ground the house better to its site. New steps will be a combination of wood/metal where they attach to the porch and natural stone or concrete where they fall through the new retaining wall and landscape.
- g. **Site Features - A.5 Fences** – The property does not currently have fences, historic photos do not suggest any fences existed, and none are proposed.
- h. **Main Building - B.1 Roof** - The current roof does not meet code with regards to rafter sizing and spacing. Proposed work includes lifting the existing structure, placing it back on the new foundation, adding structural members from the inside to bolster existing framework to meet current code, and replacing roof decking with architectural shingle or metal roofing. Existing cove molding, fascia and soffit where possible, will be salvaged and reused. The south-west corner of the existing roof will need to be reworked and sloped away from the house in order to correct the current drainage and non-conforming height issues that currently exist. This corner will also be hidden by the proposed addition and is not visible from the public rights of way.
- i. **B.2-B.5 Exterior Walls - North Wall** – Remove non-historic openings. Install proportionally correct (2:1) double-hung window type in historic openings, patch and repair existing siding as needed. **East Wall (front elevation) -**

Remove all non-historic openings and additions. recreate the original porch and box bay window features. Install historically correct windows, front door, and porch railings. A minimal amount of original siding exists on the east façade. We will attempt to patch, repair and salvage existing historic siding from the secondary south and west walls as needed to make the front and north sides of the house as historically correct and authentic as possible. West Wall (rear) – Remove the non-historic addition from the southwest corner to expose the original form of the T-shaped structure. Historically correct double-hung windows will be installed in the newly exposed gable end and glass doors will connect the existing kitchen area to the proposed courtyard.

- j. South Wall – Remove all non-historic additions. This is the least visible elevation of the existing house from the street and 11th street stairs and was thus chosen as the optimal place to add the transition that separates the original structure from the proposed addition, per HDDR design guidelines. The front half of the existing structure will still retain its original form with the proposed front porch and gable end of the T-structure exposed. A historically correct double-hung window will be reinstalled in the exact location of the original window that once was there and is evidenced in the c.1930s photograph of the home.
- k. B.6. - Foundation – The existing home has no foundation or even loose rocks beneath the flooring joists. As a result, significant settlement and rot has occurred at the sill plate level. We propose to brace and raise the house, dig and pour a new basement foundation, repair and add structural flooring members and resituate the home upon its new foundation.
- l. B.7. - Porch(es) - The original front porch was filled in and incorporated into the front living room at some later date in time. We propose to recreate the original front porch using the c.1930s photograph as a guide for correct window and door placement and sizing. We will salvage and reuse the historic siding from less conspicuous areas of the house in order to make the front porch as historically correct as possible.
- m. B.8. - Dormer(s)/Bay(s) – The original structure at one time had a box bay window on the front north east side of the home. Unfortunately, we were unable to find a photo of this home with this window in place. We could, however, figure out the original placement and size of the structure from the footprint shown on the 1900 Sanborn Fire Insurance maps and scars in the siding at the top of the front gable and interior walls of the house. We will remove the non-historic attic window and recreate the box-bay window with the evidence we have and by also using other historic examples that still exist in the neighborhood.
- n. B.9. - Additions – All non-historic additions to the existing structure will be removed in order to better showcase the classic T-shaped renovated historic structure. A two-story bedroom addition is proposed in the southwest rear corner of the property. This addition will be connected to the existing structure with a transitional stair hallway addition that will visually separate the two-story addition from the historical structure. The bedroom addition will be partially sunken into the existing grade on the uphill side of the lot in order to minimize

its presence and not overpower the scale of the existing 1.5-story historic home. The proposed additions will be clad in differing materials that are intended to complement the spirit of the existing historic home without competing with it

- o. B.10. - Mechanical System – Due to the scale of the renovation project, all mechanical systems will be completely replaced with a current code-conforming mechanical system with serious regards to energy efficiency. The proposed system will be either a combination of a radiant/hydronic and/or forced-air system depending on budgetary constraints.
- p. B.11. - Electrical System – The existing structure currently has a combination of breaker circuits and knob and tube wiring. We propose to eliminate and remove the existing system and rewire the entire home with a new adequate code-conforming electrical system.
- q. B.12. - Structural System – Much of the existing structure's framing does not meet the current code requirements. We propose to reinforce any existing deficient roofing, flooring and framing deficiencies and build the proposed addition per all current code requirements, as reflected in the full set of construction plans that will be signed and sealed by a Utah licensed Professional Structural Engineer.
- r. B.13. - Hazardous Materials - The only known hazardous material that currently exists on this property is the probability of the presence of lead paint. All proper measures will be taken by the appropriate contractor to handle these issues as is legally dictated in order to limit the harm to any person(s) involved.
- s. B.14. - Other – There are no other known construction issues related to this project.
- t. Main Building Details - C.1. Windows – There are currently no existing historic windows in the home. We propose to recreate the existing window configuration of the original structure based on the c.1930s photograph and existing scars remaining on the siding. All proposed windows on the historic structure will be double hung with a putty line divider in them as is relevant to the location and period of the home. Most are of 2'-6" dimension in width by 6'-0" in height with the exception of the double box bay window, which is similar in scale but longer in length. The windows in the proposed addition will be aluminum-clad casement windows that are designed to complement the existing historic structure.
- u. C.2. - Doors – There is only one existing interior historic door remaining in the home. The proposed front door will be placed in the original entry door location and will be a wood ¾ glass panel design that is historically appropriate. We have managed to salvage a set of used interior solid wood paneled doors that match the only original remaining interior door.
- v. C.3. - The existing structure has very little trim present. All siding and corner trim will be restored and window/entry door trim will be recreated to match the c1930s photograph.
- w. C.4. - Architectural Ornamentation – Very little architectural ornamentation exists on the home. There is a small cove molding detail at the soffit that will be restored and replaced wherever it is missing on the original structure.

Some additional ornamentation will be created with the addition of the box bay window, using other examples in the neighborhood as a guide. Porch details will also be recreated using the c1930s photograph and other neighboring historic examples.

- x. C.5. - Other – There are no other main building details.
 - y. Accessory Buildings - D.1. - There are currently no existing or proposed accessory buildings on the site.
 - z. Structures - E.1. There are currently no existing or proposed structures on the site other than the main building and additions as previously described.
44. On October 31, 2012, a pre-HDDR application meeting with the Design Review Team was held and the applicant was provided with information regarding applicable guidelines and other parameters to take into consideration while preparing the Historic Design Review application.
45. On February 11, 2013, members of the Planning Department, including the Historic Preservation Planner, Anya Grahn, and Francisco Astorga, Planner, visited the home, took note of its existing condition, form, and related issues to the proposal.
46. March 8, an HDDR application was submitted which included a preservation plan and current as-builts.
47. On March 13, 2013, the DRT along with the City's Historic Preservation Consultant and Historic Preservation Planner reviewed the proposed HDDR application, specifically the proposed rear and side addition, and ultimately concluded that the proposal met the spirit of the Design Guidelines due to the home's placement on the lot, the fact that there was a historic detached garage building in the rear of the home that was in the location of the proposed addition (as shown on the 1907 Sanborn Maps) and that the proposal met all of the aforementioned Design Guidelines, and recommended to Staff that we process the application as received with minor alterations to the original plans.
48. On March 27, 2013, the property was posted and notices were mailed to property owners within one hundred feet (100') to comply with the initial posting requirements.
49. On April 27, 2013, the property was again posted and notices were mailed to property owners within one hundred feet (100') for the 2nd ten-day notice providing a 10 day appeal period to May 6, 2013.

Conclusion of Law

1. The proposal complies with the 2009 Park City Design Guidelines for Historic Districts and Historic Sites as conditioned.
2. The proposal complies with the Land Management Code requirements pursuant to the HR-1 District.
3. The proposal complies with the conditions of approval for the 1063 Norfolk Avenue Plat approved February 4, 2013.

Conditions of Approval

1. Any and all conditions of the 1063 Norfolk Avenue plat amendment continue to apply to this HDDR approval.
2. The 1063 Norfolk Subdivision as approved by the City Council on February 4, 2013, shall be recorded prior to the issuance of a building permit for any work on the addition(s) to the home.

3. A Physical Conditions Report is required prior to the issuance of a building permit. Amount other requirements; said report shall detail what materials will be salvaged from the existing building where the expansion is to occur. A Physical Conditions Report application is available on-line at the www.parkcity.org website or at the Planning Office.
4. Hazardous materials shall be removed and disposed of legally.
5. Contaminated soils may be present at this site. A soils test to determine contaminant levels is required prior to the removal of any soils from the site. Soils removed from the site may require disposal at an approved site that can accept these types of soils.
6. Receipt and approval of a Construction Mitigation Plan (CMP) by the Building Department is a condition precedent to the issuance of any building permit. The CMP shall consider and mitigate impacts to the existing historic home, adjacent structures, and existing infrastructure/streets from the construction. All anticipated road closures shall be described and permitted in advance by the Building Department.
7. Final building plans and construction details shall reflect substantial compliance with the drawings stamped in on April (as-builds), Plans and Preservation Plan, and redlined and approved by the Planning Department on May 7, 2013. Any changes, modifications, or deviations from the approved design shall be reviewed and approved by the Planning Director prior to construction. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order. Construction shall adhere to the Preservation Plan.
8. The designer and/or applicant shall be responsible for coordinating the approved architectural drawings/documents with the approved construction drawings/documents. The overall aesthetics of the approved architectural drawings/documents shall take precedence. Any discrepancies found among these documents that would cause a change in appearance to the approved architectural drawings/documents shall be reviewed and approved prior to construction. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order.
9. All standard conditions of approval shall apply (see attached).
10. If a building permit has not been obtained by May 7, 2014 this HDDR approval will expire, unless an extension is requested prior to the expiration date and granted by the Planning Department.
11. Any area disturbed during construction surround the proposed work shall be brought back to its original state prior to issuance of a Certificate of Occupancy.
12. Construction waste should be diverted from the landfill and recycled when possible. Any proposed roof mounted solar panels shall be shown on the plans submitted for building permit review
13. Exterior lighting fixture details have not been submitted, included or reviewed as part of this application. All exterior lighting cut sheets and locations shall be submitted to the Planning Department for review and approval prior to installation. All exterior lighting shall meet Park City's lighting ordinance and be downward directed and shielded
14. City Engineer review and approval of all appropriate grading, utility installation, public improvements, drainage plans, and flood plain issues for compliance with City and Federal standards, is a condition precedent to building permit issuance.

15. An encroachment permit for landscaping within the 11th Street ROW from the Engineering Department is necessary prior to the landscaping of this area.
16. All electrical service equipment and sub-panels and all mechanical equipment, except those owned and maintained by public utility companies and solar panels, shall be painted to match the surrounding wall color or painted and screened to blend with the surrounding natural terrain. Roof mounted equipment and vents shall be painted to match the roof and/or adjacent wall color and shall be screened or integrated into the design of the structure.
17. Exterior surfaces that are painted or stained should have an opaque rather than transparent finish. Provide a weather protective finish to wood surfaces that were not historically painted. Low VOC paints and paints are recommended to be used. Construction waste shall be diverted to recycling.
18. A landscape plan will be required with the submittal of the building permit application. Landscaping shall comply with any and all LMC requirements as well as the requirements within the Specific Guidelines for Historic Districts and Historic Sites A.5.
19. Any fencing removed during the demolition of the home and garage shall not be replaced until such time that a separate Historic District Design Review application has been approved by Staff. Any future fencing shall comply with the Specific Guidelines A.3. Retaining walls must comply with LMC requirements as well as Specific Guidelines A.2 and B.2.
20. The applicant shall schedule an on-site meeting with the Planning and Building Department to inspect existing historic materials to determine which materials to keep (if any). Adherence to the Preservation Plan, received by the Planning Department on March 8, 2013, is a condition of issuance of a Certificate of Occupancy.
21. Approval of this HDDR was noticed on May 7, 2013, and any approval is subject to a 10 day appeal period.
22. A Preservation Guarantee (letter of credit, cash, or lien on the property) shall be collected by the City prior to issuance of a building permit for this project.

Approved as conditioned and described herein



Mathew W. Evans, Senior Planner

Attached - Standard Conditions

PARK CITY MUNICIPAL CORPORATION
STANDARD PROJECT CONDITIONS

1. The applicant is responsible for compliance with all conditions of approval.
2. The proposed project is approved as indicated on the final approved plans, except as modified by additional conditions imposed by the Planning Commission at the time of the hearing. The proposed project shall be in accordance with all adopted codes and ordinances; including, but not necessarily limited to: the Land Management Code (including Chapter 5, Architectural Review); International Building, Fire and related Codes (including ADA compliance), the Park City Design Standards, Construction Specifications, and Standard Drawings (including any required snow storage easements), and any other standards and regulations adopted by the City Engineer and all boards, commissions, agencies, and officials of the City of Park City.
3. A building permit shall be secured for any new construction or modifications to structures, including interior modifications, authorized by this permit
4. All construction shall be completed according to the approved plans on which building permits are issued. Approved plans include all site improvements shown on the approved site plan. Site improvements shall include all roads, sidewalks, curbs, gutters, drains, drainage works, grading, walls, landscaping, lighting, planting, paving, paths, trails, public necessity signs (such as required stop signs), and similar improvements, as shown on the set of plans on which final approval and building permits are based.
5. All modifications to plans as specified by conditions of approval and all final design details, such as materials, colors, windows doors, trim dimensions, and exterior lighting shall be submitted to and approved by the Planning Department, Planning Commission, or Historic Preservation Board prior to issuance of any building permits. Any modifications to approved plans after the issuance of a building permit must be specifically requested and approved by the Planning Department, Planning Commission and/or Historic Preservation Board in writing prior to execution.
6. Final grading, drainage, utility erosion control and re-vegetation plans shall be reviewed and approved by the City Engineer prior to commencing construction. Limits of disturbance boundaries and fencing shall be reviewed and approved by the Planning, Building, and Engineering Departments. Limits of disturbance fencing shall be installed, inspected, and approved prior to building permit issuance.
7. An existing conditions survey identifying existing grade shall be conducted by the applicant and submitted to the Planning and Building Departments prior to issuance of a footing and foundation permit. This survey shall be used to assist the Planning Department in determining existing grade for measurement of building heights, as defined by the Land Management Code.
8. A Construction Mitigation Plan (CMP), submitted to and approved by the Planning, Building, and Engineering Departments, is required prior to any construction. A CMP shall address the following, including but not necessarily limited to: construction staging, phasing, storage of materials, circulation, parking, lights, signs, dust, noise, hours of operation, re-vegetation of disturbed areas, service and delivery, trash pick-up, re-use of construction materials, and disposal of excavated materials. Construction staging areas shall be clearly defined and placed so as to minimize site disturbance. The CMP shall include a landscape plan for re-vegetation of all areas disturbed during construction, including but not limited to: identification of existing vegetation and replacement of significant vegetation or trees removed during construction.
9. Any removal of existing building materials or features on historic buildings shall be approved and coordinated by the Planning Department according to the LMC, prior to removal
10. The applicant and/or contractor shall field verify all existing conditions on historic buildings and match replacement elements and materials according to the approved plans. Any discrepancies found

between approved plans, replacement features and existing elements must be reported to the Planning Department for further direction, prior to construction.

11. Final landscape plans, when required, shall be reviewed and approved by the Planning Department prior to issuance of building permits. Landscaping shall be completely installed prior to occupancy, or an acceptable guarantee, in accordance with the Land Management Code, shall be posted in lieu thereof. A landscaping agreement or covenant may be required to ensure landscaping is maintained as per the approved plans.
12. All proposed public improvements, such as streets, curb and gutter, sidewalks, utilities, lighting, trails, etc. are subject to review and approval by the City Engineer in accordance with current Park City Design Standards, Construction Specifications and Standard Drawings. All improvements shall be installed or sufficient guarantees, as determined by the City Engineer, posted prior to occupancy.
13. The Snyderville Basin Water Reclamation District shall review and approve the sewer plans, prior to issuance of any building plans. A Line Extension Agreement with the Snyderville Basin Water Reclamation District shall be signed and executed prior to building permit issuance. Evidence of compliance with the District's fee requirements shall be presented at the time of building permit issuance.
14. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
15. When applicable, access on state highways shall be reviewed and approved by the State Highway Permits Officer. This does not imply that project access locations can be changed without Planning Commission approval.
16. Vesting of all permits and approvals terminates upon the expiration of the approval as defined in the Land Management Code, or upon termination of the permit.
17. No signs, permanent or temporary, may be constructed on a site or building without a sign permit, approved by the Planning and Building Departments. All multi-tenant buildings require an approved Master Sign Plan prior to submitting individual sign permits.
18. All exterior lights must be in conformance with the applicable Lighting section of the Land Management Code. Prior to purchase and installation, it is recommended that exterior lights be reviewed by the Planning Department.

April 2007



April 17, 2013

**NOTICE OF FINAL ACTION TO ADJOINING PROPERTY OWNERS REGARDING
APPROVAL OF A DESIGN REVIEW APPLICATION**

Dear Property Owner:

The Park City Planning Department received a Historic District Design Review application for a project to be located in your neighborhood. The Planning Department reviewed the application and found it in compliance with the 2009 Design Guidelines for Park City's Historic District and Historic Sites. This is the second notice to adjacent owners.

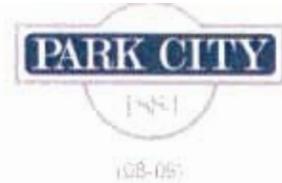
Project Location: 1063 Norfolk Avenue
Project Number: PL-12-016
Owner: Letitia C. Lawson
Representative/Architect: DHD Design
Project Description: The applicant is requesting approval of a Historic District Design Review (HDDR) for the purpose of a constructing a rear addition and a basement level addition to an existing historic home shown on the Park City Historic Sites Inventory as historically "significant". The applicant is also proposing to rebuild the original front porch and box-bay window as well as remove the out-of-period attic window.

If you have any questions, concerns or comments regarding the Design Review proposal, or if you would like to review the plans, please contact the Planning Department at (435) 615-5063 or via e-mail at mathew.evans@parkcity.org during normal business hours. Any formal appeal shall be provided in writing and received by the Planning Department prior to **April 27, 2013**.

Sincerely,

A handwritten signature in black ink, appearing to read "M. Evans", written over a horizontal line.

Mathew W. Evans
Senior Planner
File



HISTORIC PRESERVATION PLAN

For use with the *Historic District/Site Design Review Application*

For Office Use Only

PROJECT PLANNER _____ APPLICATION # PL12-01692
DATE RECEIVED 3/8/13
PLANNING DIRECTOR _____ CHIEF BUILDING OFFICIAL _____
APPROVAL DATE/INITIALS _____ APPROVAL DATE/INITIALS _____

PROJECT INFORMATION

LANDMARK SITE SIGNIFICANT SITE DISTRICT: HR-1
NAME: Michael and Letitia Lawson
ADDRESS: 1063 Norfolk Avenue
Park City, UT 84060
TAX ID #: SA-171 / SWD-12 OR
SUBDIVISION: SNIDERS ADDITION OR
SURVEY: SNIDERS ADDITION TO PARK CITY LOT #: N¹/₂ of 15 and 16 BLOCK #: 16

APPLICANT INFORMATION

NAME: Michael and Letitia Lawson
PHONE #: (435) 649-4557 FAX #: _____
EMAIL: teashlawson@comcast.net

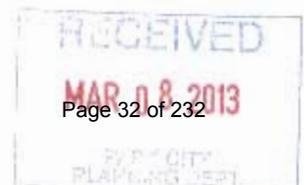
Instructions for Completing the HISTORIC PRESERVATION PLAN

The purpose of the HISTORIC PRESERVATION PLAN is to provide a detailed description of the proposed project, including the scope of work, methods/techniques being considered, and the potential impacts and/or benefits to Park City's historic resources. The Planning Department is authorized to require a Historic Preservation Plan as a condition of approving an application for a building project that affects a historic structure, site or object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

Your Historic Preservation Plan must include this cover page and the information noted below:

- Prior to you Pre-Application Conference with the Design Review Team, complete only section 1. PROJECT DESCRIPTION.
- To accompany your HISTORIC DISTRICT/SITE DESIGN REVIEW application, complete all sections of the form.

If you have questions regarding the requirements for completing the HISTORIC PRESERVATION PLAN, please contact a member of the Park City Planning Staff at (435) 615-5060.



1. PROJECT DESCRIPTION

The existing home located at 1063 Norfolk Ave was built during the late 1890's in a T-type style, typical of miner's cottages during that era. It resides on 1½ city lots and borders the south side of the 11th street steps. The house was built using stick frame wood construction techniques without a solid stone or concrete foundation. Unfortunately, most of the original features and design elements on this home have been lost over time.

We propose to recreate, inasmuch as possible, the original spirit of the 1890's home while adapting it to a more modern Park City lifestyle. Per structural engineering direction, the house will be braced and lifted while a new concrete foundation is poured underneath. The original cottage will be set back down on the new foundation and the proposed addition will be built to the rear of the property. A new two-stall tandem garage will be part of the foundation plan and should serve to reduce parking issues currently plaguing Norfolk Ave.

2. DESIGN ISSUES

The proposed project will attempt to restore and recreate the spirit of the original home. In many instances we will replace features that are simply no longer there. The front porch and box bay window on the front façade will be rebuilt using historical photos along with input from the city historian. New double hung windows with thin putty lines will be installed and much of the original siding will be reclaimed to reconstruct the front façade. Wood floors on the main level will be reclaimed fir from the attic and existing living/dining rooms. The addition will adhere to all current design guidelines and complement the existing structure while standing on its own, more modern design language.

Materials, finishes and paint colors will complement existing old town structures, while the proposed size of the home will serve as a return to a "less is more" design theme within Old Town.

3. CONSTRUCTION ISSUES

SITE FEATURES:

A.1 Topography – The proposed alteration to the existing structure will not require any new retaining walls along Norfolk Ave. The lot is below steep slope criteria and rises from street level towards the south and west by fourteen feet.

A.2 Landscaping – With the exception of a few existing lilac bushes and peonies, the current lot is devoid of any formal landscaping. Using historical photos and site visits, we have been able to determine the prior existence of several large trees. The proposed plan will reintroduce some trees, attempt to preserve some lilacs and peonies, and upgrade the overall natural impression of the existing site. With City approval we propose to include the 11th Street step right-of-way in our landscape plan.

A.3 Retaining Walls – The non-historic existing retaining wall along the Norfolk Ave frontage is of concrete construct with a two-three foot height. Movement and moisture have damaged the wall in places and the proposed plan addresses these issues by replacing the wall with a board formed concrete wall of similar size and height.

A.4 Exterior Steps – The existing steps are wood on top of the failed concrete. We propose to locate the new porch steps off the south side turning toward the street in the manner represented by the 1930's tax photo. This location mimics the original historical placement and allows the stairs to fall along the area of least slope, in order to ground the house better to its site. New steps will be a combination of wood/metal where they attach to the porch, and natural stone or concrete where they fall through the new retaining wall and landscape.

A.5 Fences – The property does not currently have fences, historic photos do not suggest any fences existed, and none are proposed.

MAIN BUILDING:

B.1 Roof - The current roof does not meet code with regards to rafter sizing and spacing. Proposed work includes lifting the existing structure, placing it back on the new foundation, adding structural members from the inside to bolster existing framework to meet current code, and replacing roof decking with architectural shingle or metal roofing. Existing cove molding, fascia and soffit where possible, will be salvaged and reused. The south-west corner of the existing roof will need to be reworked and sloped away from the house in order to correct the current drainage and non-conforming height issues that currently exist. This corner will

also be hidden by the proposed addition and is not visible from the public rights of way.

B.2-B.5 Exterior Walls -

North Wall – Remove non-historic openings. Install proportionally correct (2:1) double-hung window type in historic openings, patch and repair existing siding as needed.

East Wall (front elevation) - Remove all non-historic openings and additions, recreate the original porch and box bay window features. Install historically correct windows, front door, and porch railings. A minimal amount of original siding exists on the east façade. We will attempt to patch, repair and salvage existing historic siding from the secondary south and west walls as needed to make the front and north sides of the house as historically correct and authentic as possible.

West Wall (rear) – Remove the non-historic addition from the southwest corner to expose the original form of the T-shaped structure. Historically correct double-hung windows will be installed in the newly exposed gable end and glass doors will connect the existing kitchen area to the proposed courtyard

South Wall – Remove all non-historic additions. This is the least visible elevation of the existing house from the street and 11th street stairs and was thus chosen as the optimal place to add the transition that separates the original structure from the proposed addition, per HDDR design guidelines. The front half of the existing structure will still retain its original form with the proposed front porch and gable end of the T-structure exposed. A historically correct double hung window will be reinstalled in the exact location of the original window that once was there and is evidenced in the c.1930s photograph of the home.

B.6. Foundation – The existing home has no foundation or even loose rocks beneath the flooring joists. As a result, significant settlement and rot has occurred at the sill plate level. We propose to brace and raise the house, dig and pour a new basement foundation, repair and add structural flooring members and resituate the home upon its new foundation.

B.7. Porch(es) - The original front porch was filled in and incorporated into the front living room at some later date in time. We propose to recreate the original front porch using the c.1930s photograph as a guide for correct window and door placement and sizing. We will salvage and reuse the historic siding from less conspicuous areas of the house in order to make the front porch as historically correct as possible.

B.8. Dormer(s)/Bay(s) – The original structure at one time had a box bay window on the front north east side of the home. Unfortunately, we were unable to find a photo of this home with this window in place. We could, however, figure out the original placement and size of the structure from the footprint shown on the 1900 Sanborn Fire Insurance maps and scars in the siding at the top of the front gable and interior walls of the house. We will remove the non-historic attic window and recreate the box-bay window with the evidence we have and by also using other historic examples that still exist in the neighborhood.

B.9. Additions – All non-historic additions to the existing structure will be removed in order to better showcase the classic T-shaped renovated historic structure. A two-story bedroom addition is proposed in the southwest rear corner of the property. This addition will be connected to the existing structure with a transitional stair hallway addition that will visually separate the two-story addition from the historical structure. The bedroom addition will be partially sunken into the existing grade on the uphill side of the lot in order to minimize its presence and not overpower the scale of the existing 1.5-story historic home. The proposed additions will be clad in differing materials that are intended to complement the spirit of the existing historic home without competing with it.

B.10. Mechanical System – Due to the scale of the renovation project, all mechanical systems will be completely replaced with a current code-conforming mechanical system with serious regards to energy efficiency. The proposed system will be either a combination of a radiant/hydronic and/or forced-air system depending on budgetary constraints.

B.11. Electrical System – The existing structure currently has a combination of breaker circuits and knob and tube wiring. We propose to eliminate and remove the existing system and rewire the entire home with a new adequate code-conforming electrical system.

B.12. Structural System – Much of the existing structure's framing does not meet the current code requirements. We propose to reinforce any existing deficient roofing, flooring and framing deficiencies and build the proposed addition per all current code requirements, as reflected in the full set of construction plans that will be signed and sealed by a Utah licensed Professional Structural Engineer.

B.13. Hazardous Materials - The only known hazardous material that currently exists on this property is the probability of the presence of lead paint. All proper measures will be taken by the appropriate contractor to handle these issues as is legally dictated in order to limit the harm to any person(s) involved.

B.14. Other – There are no other known construction issues related to this project.

MAIN BUILDING – DETAILS:

C.1. Windows – There are currently no existing historic windows in the home. We propose to recreate the existing window configuration of the original structure based on the c.1930s photograph and existing scars remaining on the siding. All proposed windows on the historic structure will be double hung with a putty line divider in them as is relevant to the location and period of the home. Most are of 2'-6" dimension in width by 6'-0" in height with the exception of the double box bay window, which is similar in scale but longer in length. The windows in the proposed addition will be aluminum-clad casement windows that are designed to complement the existing historic structure.

C.2. Doors – There is only one existing interior historic door remaining in the home. The proposed front door will be placed in the original entry door location and will be a wood ¾ glass panel design that is historically appropriate. We have managed to salvage a set of used interior solid wood paneled doors that match the only original remaining interior door.

C.3. The existing structure has very little trim present. All siding and corner trim will be restored and window/entry door trim will be recreated to match the c.1930s photograph.

C.4. Architectural Ornamentation – Very little architectural ornamentation exists on the home. There is a small cove molding detail at the soffit that will be restored and replaced wherever it is missing on the original structure. Some additional ornamentation will be created with the addition of the box bay window, using other examples in the neighborhood as a guide. Porch details will also be recreated using the c.1930s photograph and other neighboring historic examples.

C.5. Other – There are no other main building details.

ACCESSORY BUILDING(S):

D.1. There are currently no existing or proposed accessory buildings on the site.

STRUCTURE(S):

E.1. There are currently no existing or proposed structures on the site other than the main building and additions as previously described.

4. PROJECT TEAM

The proposed project will be primarily overseen by the owner who is a current Utah registered licensed Professional Engineer with 15+ years experience in project and construction management. Plans were owner designed, along with the Salt Lake City based design firm, David Henshaw Design. Historical design information and input was given by the Park City Planning staff and their Historical Preservation consultant, along with photographs and documents located at the Park City Museum and extracted from the Park Record archives.

All proposed construction work will go out to bid with each contractor specialty and will be awarded to the most competent, reliable and reasonable licensed and insured contractor suitable for each component of the job. Owner will provide contractor information and qualifications as soon as each contractor is selected.

Owner/Engineer

Letitia C. Lawson, P.E.

State of Utah Licensed Professional Engineer #6490639-2202

State of Florida Licensed Professional Engineer #55444

1501 Meadow Loop Road, Apt. 7

Park City, UT 84098

(435) 649-4557

teashlawson@comcast.net

Design Firm

David Henshaw Design

784 North 300 West

Salt Lake City, UT 84103

(801) 366-9600

dhd@integra.net

5. SITE HISTORY

The historic home located at 1063 Norfolk Avenue, Park City, Utah was built around c1899. City records indicated the home was built around 1911 but the 1900 Sanborn Fire Insurance maps shows the footprint of the current structure as it still stands today. The 11th Street stairs used to be a city street and a sizable carriage house once stood in the northwest corner of the property, originally accessed from 11th/Crescent Street.

Based on the original Warranty Deeds and title information that the current owner has, the property was subdivided in 1882 by George G. Snyder and sold to David

C. McLaughlin in 1883. The property was resold again in 1891 to John Quinn as a parcel including all of lots 15 and 16. An original Warranty Deed dated November 9, 1900 shows the sale of the house sitting on its current legal 1.5 lots transferring from John Quinn to Thomas Gibbons for \$800. Thomas Gibbons and his wife, Elizabeth lived in the home until 1915.

Since that period, the home changed hands many times throughout the booms and busts of Park City's mining history. Thomas and Elizabeth Gibbons sold to Fred and Epsy George, then to James L. Allen in 1921. Within the year, James and Mary E. Allen sold to Peter Johansen and then to Lincoln L. and Nellie Clark. It appears that the Clarks were the first people to get a mortgage for the house, held by W.J. Kappus, for \$220 due in one year with 10% interest. The Clarks did pay off their mortgage, but spent several years with delinquent taxes in the 1920's. The Clarks finally ended their troubles by selling the house in 1925 to John Walter Prescott for \$450.

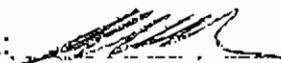
The only other record after that date is a contract dated June 11, 1940 from Lydia Stanley selling the home to its' most recent inhabitants, John W. and Dorothy May Wilson. The Wilson's raised several children in that house and lived there through their deaths with Dorothy passing just a few years ago. One of their sons', Jim Wilson lived there until he sold the home last spring.

6. FINANCIAL GUARANTEE

The applicant will provide the City with a financial guarantee, as required, to ensure compliance with the conditions and terms of the Historic Preservation Plan. The applicant will provide that guarantee either in the form of a letter of credit or accept a lien on the property for the value of the stated terms and conditions agreed to in the Historic Preservation Plan.

7. ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant:  Date: 3/1/13

Name of Applicant: Letitia C. Lawson



PHYSICAL CONDITION REPORT
For use with the *Historic District/Site Design Review Application*

PROJECT PLANNER 1063 Norfolk Ave For Office Use Only APPLICATION # PL-12-011692
DATE RECEIVED 10/19/12

PROJECT INFORMATION

HISTORIC SITE? NO YES: LANDMARK SIGNIFICANT DISTRICT: HR-1
NAME: Michael B. and Letitia C. Lawson
ADDRESS: 1063 Norfolk Avenue
Park City, UT 84060
TAX ID #: SA-171, SWD-12 OR
SUBDIVISION: Snyders Addition OR
SURVEY: Snyders Addition to Park City LOT #: 16 + N 1/2 15 BLOCK #: 16

CONTACT INFORMATION

NAME: Michael B. & Letitia C. Lawson
PHONE #: (321) 960-8029 FAX #: _____
EMAIL: teashlawson@comcast.net

Instructions for Completing the PHYSICAL CONDITION REPORT

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

WRITTEN DESCRIPTION

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). If your descriptions require additional space, please attach a continuation sheet OR you may create a separate document by restating each numbered item followed by your full response. Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

PHOTOGRAPHS

Digital photographs must be included with this report. Specifications and a template for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

SITE FEATURES

A.1. TOPOGRAPHY

Subject property sits on the western side of Norfolk Ave. with an uphill exposure. From the street level to the rear lot line, there is a fairly constant slope upwards towards the southwest. Elevation gain from the street to the rear lot line is on the order of fifteen feet.

A.2. LANDSCAPING

Existing landscape includes three fairly old Lilac bushes and one wild rose bush. The remainder of the property is covered with a variety of native and non-native weed and grass species. The non-irrigated landscape has suffered years of neglect and is reflected in its current state of unkemptness. Aside from the landscape, one concrete pathway exists along the south side of the property. The pathway appears to date from the 1960's as evidenced by inscriptions at the rear of the walk, and is in a general state of disrepair.

A.3. RETAINING WALLS

Two retaining walls exist on the subject property. The first wall lies ten feet west of Norfolk and provides the property with a defined area for off-street parking. This wall appears to be fairly old and may date back to the 1930's. It has several large fractures and is leaning towards the street. The second retaining wall exists along the front of the house, and appears, at first glance, to be a foundation wall. The wall is shoring up the front sill plate and providing very little structural support to the remainder of the house. Its provenance appears to be from the 1960's.

A.4. EXTERIOR STEPS

One staircase exists on the southeast corner (left) side of the property. It measures three feet in width and runs ten feet towards the rear, providing access to the front door and rear side entrance. The staircase appears to have been rebuilt within the previous fifteen years and is in fair condition for its age.

A.5. FENCE

No fences currently exist on the subject property.

A.6. OTHER SITE FEATURES (SPECIFY)

There are no other site features to specify.

MAIN BUILDING

B. 1. ROOF

Subject property is comprised of the original T/L-shape cottage with three additions all appended to the side/rear façade of the building. The roof of the original structure as well as the two additions was built with dimensional 2 x 4 lumber on 24-inch centers. The pitch is a common 6 over 12 on both axis of the original cottage. The additions in the side/rear are lean-to in style and have roofs of varying pitch. An approximately thirty-year old red (faded) standing seam metal roof covers several layers of asphalt shingles over the entire structure. The roof is in poor condition, with several areas where leaking and ice dams have caused rot in the soffits.

B.2. EXTERIOR WALL – PRIMARY FAÇADE

The front façade of the subject property faces Norfolk Ave. towards the Northeast. The façade is comprised of seven-inch horizontal cedar siding with a painted finish. It measures twenty-four feet five inches in width by ten feet in height except where the attic rises to 20.5 feet over the Northeast side of the house. The existing siding appears to have been installed over the original siding at an unknown time. Overall condition of the façade is fair to poor.

B.3. EXTERIOR WALL – SECONDARY FAÇADE 1

The northern (right) side of the house is comprised of seven-inch horizontal cedar siding with a painted finish. The dimensions are twenty-nine feet in depth by 6.5 to 14.5 feet in height. Several areas have been patched where windows used to be. Existing siding appears to have been installed over the original at an unknown date. Overall condition of the northern façade is fair to poor.

B.4. EXTERIOR WALL - SECONDARY FAÇADE 2

The southern (left) side of the house is comprised of seven-inch horizontal cedar siding with a painted finish. The dimensions are twenty-six feet in depth by 6.5 to 18 feet in height rising to twenty feet at the vertical axis of the roof apex. A six-

foot by nine-foot entry vestibule is appended to the rear of the southern façade and serves as a back door mud area. Its siding matches that of the rest of the house in type and finish if not age. The siding appears to have been installed over the original at an unknown date. Overall condition of the southern façade is fair to poor.

B.5. EXTERIOR WALL – REAR FAÇADE

The western (rear) façade is comprised of seven-inch horizontal cedar siding with a painted finish. The rear façade measures twenty-four feet in width by 6.5 to 20.5 feet in height at the vertical axis of the roof apex. The rear of the house is a hodgepodge of two additions to the original T/L-shape structure. The additions to the rear façade both date to the late 1930's or 1940's, and are stick built construction with wood sills lying directly on bare earth. Both additions are failing structurally as evidenced by the sloping of both rooflines and flooring settlement. The siding is in keeping with the other three sides of the dwelling. Overall condition of the entire façade is poor.

B.6. FOUNDATION

Subject property has no foundation in the traditional sense of the word. Typical of cottages built during the mining days, its "foundation" is comprised of a floor system (joists and sills) sitting directly on bare earth. Excavation of several test pits around the property's exterior revealed severe rot of all the sill plates. Some areas are completely rotted to non-existent. The rot is caused by the direct contact of the wooden framing members to the bare ground. The integrity of the structure is severely compromised in its current state due to its total lack of a proper masonry foundation.

B.7. PORCH

The subject property does not currently have a porch, however, the original house was built with one. In the 1960's the original porch was filled in to make way for a larger main living area. The roofline of the original house was extended and a 1960's metal roof was installed to cover the original porch roof. Siding to match that of the rest of the house was installed along with the addition of a single pane metal window and an atypical style front door.

B.8. DORMER(S) / BAY(S)

Subject property has one dormer in a shed style appended to the rear (west) façade. The dormer was an addition to the original structure built for the purpose of providing a stairwell to the attic space as well as an area for the mechanical room. It is believed to have been built in the 1930's to 1940's and is in extremely

poor condition. The dormer addition measures 7.5 feet by twelve-feet and is clad in matching seven-inch horizontal cedar siding with a painted finish.

B.9. ADDITION(S)

Along with the previously mentioned dormer, two other additions to the subject property are noted. The first, on the western (rear) façade, is made up of a shed style roof extension to the original cottage bringing the back wall out a further twelve feet. This extension made way for a "modern" style kitchen sometime during the 1930's to 1940's. The addition, like the original structure, has no masonry foundation and is suffering from significant settlement issues and rot. The kitchen addition measures twelve by twelve feet with a rear wall height of seven feet. The condition of this addition is extremely poor. The second addition of note exists along the southern (left) side of the façade. This addition measures six by nine feet and was built for the purpose of providing an exterior mudroom to the kitchen addition. This appendage may or may not have been built when the kitchen was erected. The construction techniques match that of the rest of the house and similar issues are evident, from rotting of the sills to settlement of the walls and floor.

B.10. MECHANICAL SYSTEM

Subject property has a standard natural gas powered forced air furnace HVAC system. The system appears to have been a recent addition and appears to be in serviceable condition. This HVAC system was a more recent addition to the house. There appears to be evidence of an existing oil burning heat source.

B.11. ELECTRICAL SYSTEM

Subject property has a fairly new 100 amp service panel. This panel is connected to a mix of interior and exterior wiring. There are areas in attic where the original knob and tube wiring appears to be spliced with modern 14 gauge romex cable. Existing wiring is in poor condition and does not meet current electrical codes, due to the lack of GFCI's in wet areas and exposed electrical boxes and cables in living areas.

B.12. STRUCTURAL SYSTEM

Subject property is a stick built wood frame house with a wooden sill and joist system and no masonry foundation. The wooden sills and many floor joists rest on bare ground. Constant contact with moisture over the years has resulted in the rotting of most all of the sill plates and some of the floor joist system. This in turn, has resulted in the settling of the subfloor in many areas of the home, most notably, the poorly designed and built additions at the rear of the property. It is

also noted that heaving of the earth under the living room has caused a bulging of the finished floor in said room.

B.13. HAZARDOUS MATERIALS

Mold exists in the bath area in both surface and sub-surface form. The mold issue seems to be fairly well contained to the shower/tub surfaces and surroundings, as well as near the window in the bathroom. See attached pictures for identification. Lead-based paint tests were not conducted, but lead-based paint is sure to exist as the structure was originally built around c.1900 and remodeled in the 1930's and 1960's, all times when lead-based paint was very commonly used.

B.14. OTHER (SPECIFY)

There are no other main building items to specify.

MAIN BUILDING -- DETAILS

C.1. WINDOWS

Subject property has eight windows in its current state. Only one of the windows appears to be original (Attic -- street facing east façade), the other seven are a mix of sizes and styles from 1960's era metal replacement windows (street facing east façade main windows and north façade dining window), and single pane wood windows added to the structure when the rear additions were built circa 1930's. None of the windows are in keeping with any sort of theme nor do they match what would have been installed in the original dwelling. All the windows are in poor condition, with several being unserviceable.

C.2. DOORS

Subject property currently contains six doors. Three doors are exterior/storm doors, two are interior type doors, and one provides access to the mechanical room. Only one interior door out of the six total is original to the structure. The original interior door is 29" x 78" in a five-panel shaker style. The other doors are all vintage 1960's or later and are a mix of metal storm, wood colonial, and hollow core styles not in keeping with a set theme or representative of the period style.

C.3. TRIM

The existing trim on the interior of the property is all replacement 1960's vintage slim line rectilinear moldings. The one notable exception is the trim found around the original door leading into the main bedroom. This trim is more in keeping with a miner's type dwelling and is simple 1x4 fir. Existing exterior trim is all simple rectilinear style casement with some fluted crown moldings found under the eaves of the original structure. The property is devoid of any excess adornment.

C.4. ARCHITECTURAL ORNAMENTATION

As mentioned in the previous paragraph, the subject property, in its current state has zero excess adornment or ornamentation. This is fairly unusual for its build date, and unfortunately, is most likely a by-product of several haphazard renovations. These renovations over the years have stripped the house of any redeeming architectural qualities.

C.5. OTHER (SPECIFY)

There are no other main building details to specify.

ACCESSORY BUILDING(S)

D.1. ACCESSORY BUILDING(S)

There are no accessory buildings associated with this property.

STRUCTURE(S)

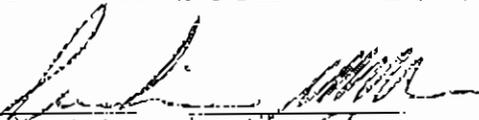
E.1. STRUCTURE(S)

There are no other structures associated with this property

ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instruction supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant:



Date: 10/19/12

Name of Applicant: Michael B. and Letitia Colawson

PHYSICAL CONDITION REPORT – PHOTOS

TOPOGRAPHY. Front and side view.



TOPOGRAPHY. Rear view.



PHYSICAL CONDITION REPORT – PHOTOS

LANDSCAPING. Existing Lilac Bush.



LANDSCAPING. Existing Rose Bush.



PHYSICAL CONDITION REPORT – PHOTOS

LANDSCAPING. Existing lilac bush and concrete path on South side of house.



RETAINING WALLS. Existing retaining walls viewed from front of house.



PHYSICAL CONDITION REPORT – PHOTOS

RETAINING WALLS. Existing retaining walls viewed from front of house.



EXTERIOR STEPS. Exterior steps on south side viewed from front of house.



PHYSICAL CONDITION REPORT – PHOTOS

ROOF. Existing Metal Roof viewed from rear.



ROOF. Close up of roof viewed from rear of property.



PHYSICAL CONDITION REPORT – PHOTOS

EXTERIOR WALL – PRIMARY FAÇADE. Front (East Side) of house.



EXTERIOR WALL – PRIMARY FAÇADE. South-east side of house – existing front porch fill-in.



PHYSICAL CONDITION REPORT – PHOTOS

EXTERIOR WALL – SECONDARY FAÇADE 1. North side of house.



EXTERIOR WALL – SECONDARY FAÇADE 2. South side of house
- existing front porch fill-in.



PHYSICAL CONDITION REPORT – PHOTOS

EXTERIOR WALL – SECONDARY FAÇADE 2. South side of house
– rear side addition entry.

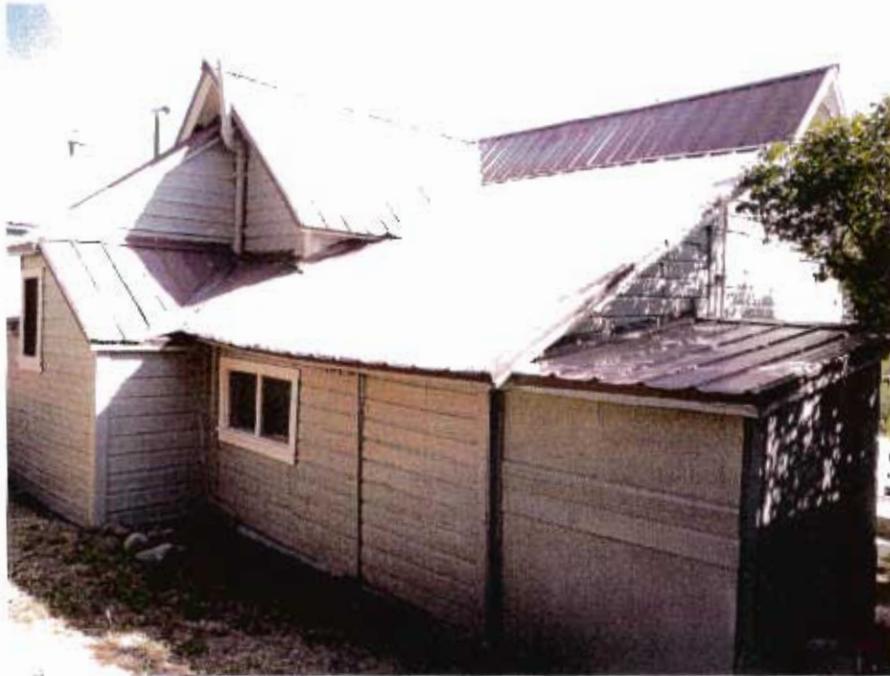


EXTERIOR WALL – REAR FAÇADE. West side of house.



PHYSICAL CONDITION REPORT – PHOTOS

EXTERIOR WALL – REAR FAÇADE. Additions and siding condition.



FOUNDATION. Rotted sill plate on north side sitting on bare earth (no foundation).



PHYSICAL CONDITION REPORT – PHOTOS

FOUNDATION. Rotted sill plate on south side sitting on bare earth (no foundation).



DORMER(S)/BAY(S). Dormer at rear of house with stairs to attic.



PHYSICAL CONDITION REPORT – PHOTOS

DORMER(S)/BAY(S). Dormer at rear of house with stairs to attic.



ADDITION(S). Rear side entry on south side of house.



PHYSICAL CONDITION REPORT – PHOTOS

ADDITION(S). Rear kitchen addition on west side of house.



ADDITION(S). Stairwell/dormer addition in rear of house (west side).

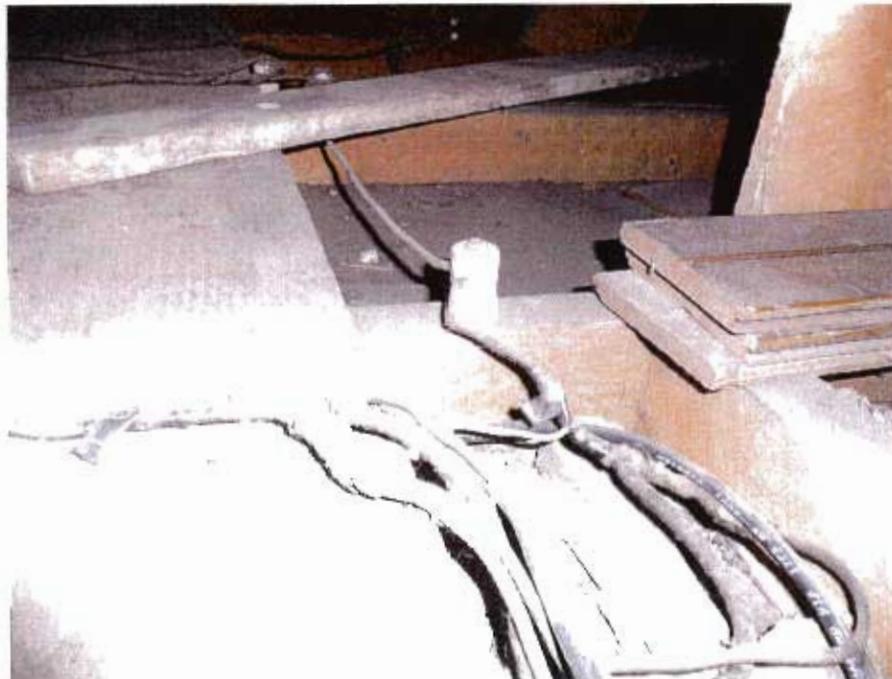


PHYSICAL CONDITION REPORT – PHOTOS

MECHANICAL SYSTEM. Mechanical room inside house – hot water heater and furnace.



ELECTRICAL SYSTEM. Existing knob and tube wiring in attic.



PHYSICAL CONDITION REPORT – PHOTOS

ELECTRICAL SYSTEM. Wiring in rear side entry.



ELECTRICAL SYSTEM. Electrical panel by kitchen entry door.



PHYSICAL CONDITION REPORT – PHOTOS

STRUCTURAL SYSTEM. Interior flooring settlement.



STRUCTURAL SYSTEM. Interior flooring settlement/wood rot.

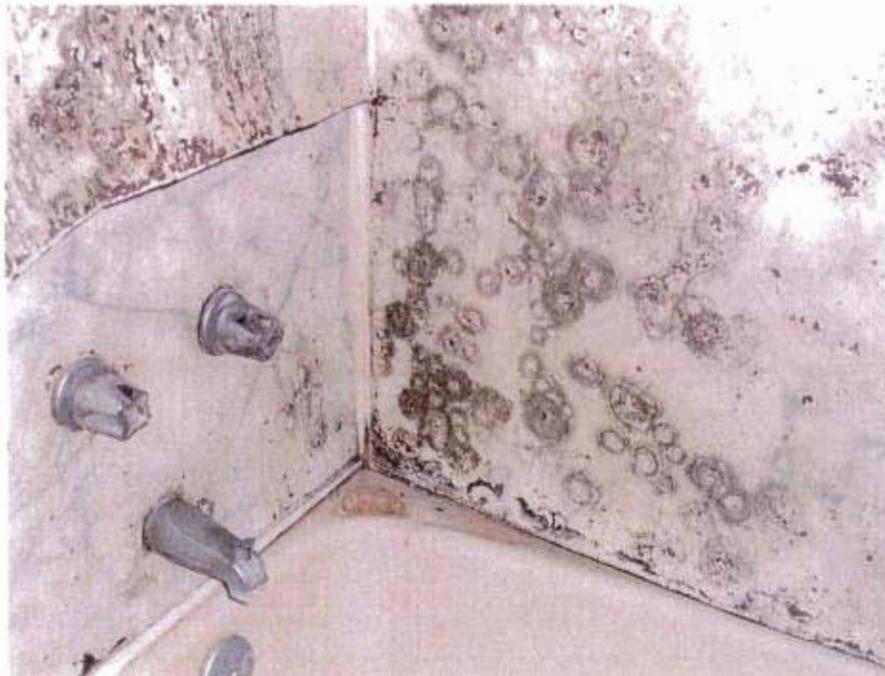


PHYSICAL CONDITION REPORT – PHOTOS

STRUCTURAL SYSTEM. Exterior rotted sill plate.



HAZARDOUS MATERIALS. Mold evident in bathroom.



PHYSICAL CONDITION REPORT – PHOTOS

WINDOWS. Front of house showing old attic window and replacement metal framed windows.



WINDOWS. Rear of house (west side) showing single pane windows.



PHYSICAL CONDITION REPORT – PHOTOS

WINDOWS. North side of house showing single pane windows.



DOORS. South-east side of house showing entry/storm doors.

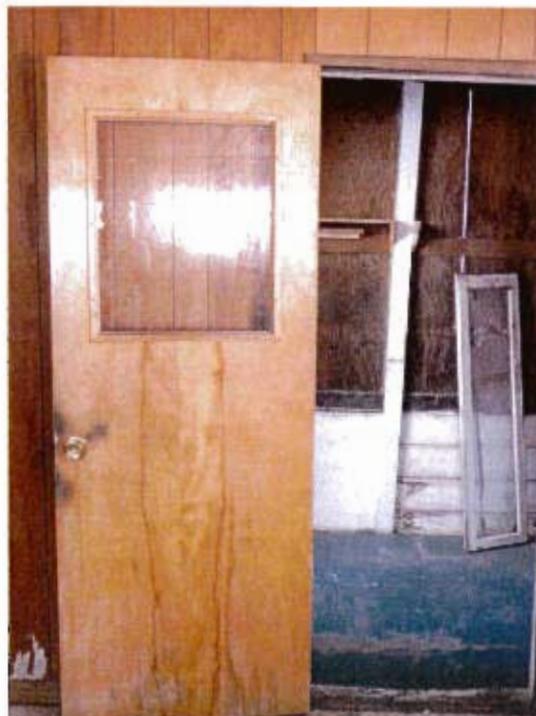


PHYSICAL CONDITION REPORT – PHOTOS

DOORS. Original interior paneled bedroom door.



DOORS. Hollow core interior door.



PHYSICAL CONDITION REPORT – PHOTOS

TRIM. Original interior 1x4 door trim.



TRIM/ARCHITECTURAL ORNAMENTATION. Original exterior trim on front and sides of house.





GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BOSTON, MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, DIVISION OF PERMITS, REGULATIONS AND ORDINANCES.
2. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BOSTON, MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, DIVISION OF PERMITS, AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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SITE PLAN NOT. 3

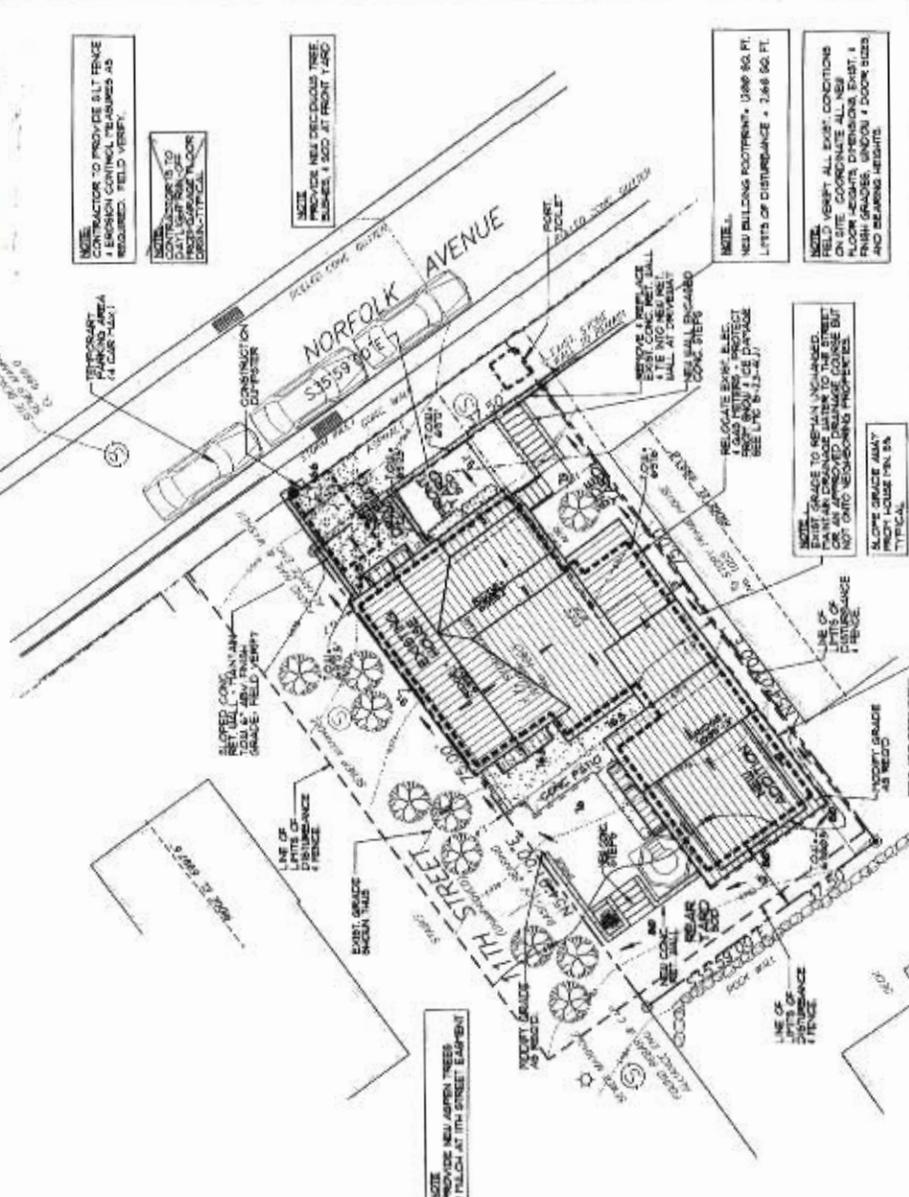
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DEFERRED SUBMITTAL INFORMATION
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MITIGATION NOTES
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AUG 23 2013
 BOSTON CITY PLANNING DEPT.



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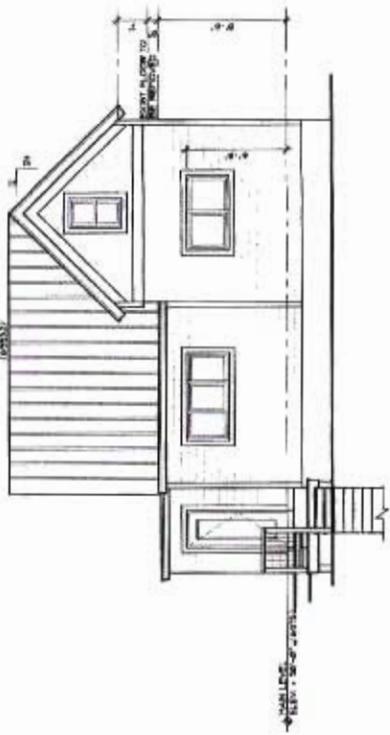
FLOOR ELEVATIONS

EXIST. FIN. LEVEL	• 675
TOP OF FOUNDATION	• 475
1ST FLOOR	• 485
2ND FLOOR	• 495
3RD FLOOR	• 505
4TH FLOOR	• 515
5TH FLOOR	• 525
6TH FLOOR	• 535
7TH FLOOR	• 545
8TH FLOOR	• 555
9TH FLOOR	• 565
10TH FLOOR	• 575
11TH FLOOR	• 585
12TH FLOOR	• 595
13TH FLOOR	• 605
14TH FLOOR	• 615
15TH FLOOR	• 625
16TH FLOOR	• 635
17TH FLOOR	• 645
18TH FLOOR	• 655
19TH FLOOR	• 665
20TH FLOOR	• 675

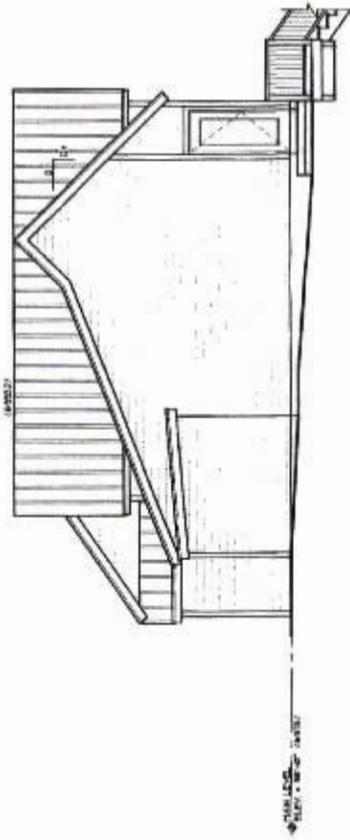
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SITE PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

RECEIVED
 AUG 23 2013
 PARK CITY
 PLANNING DEPT.



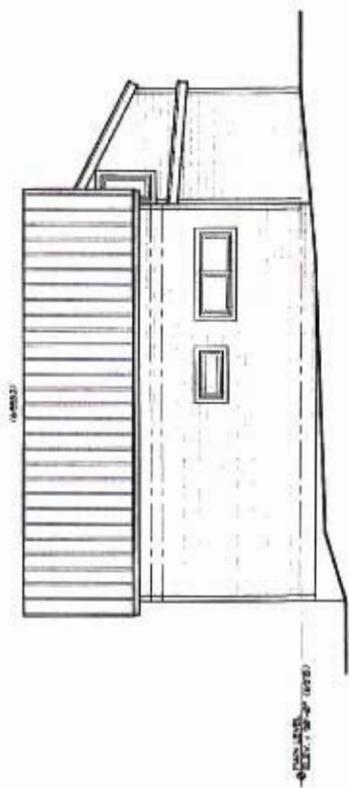
EXIST. FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



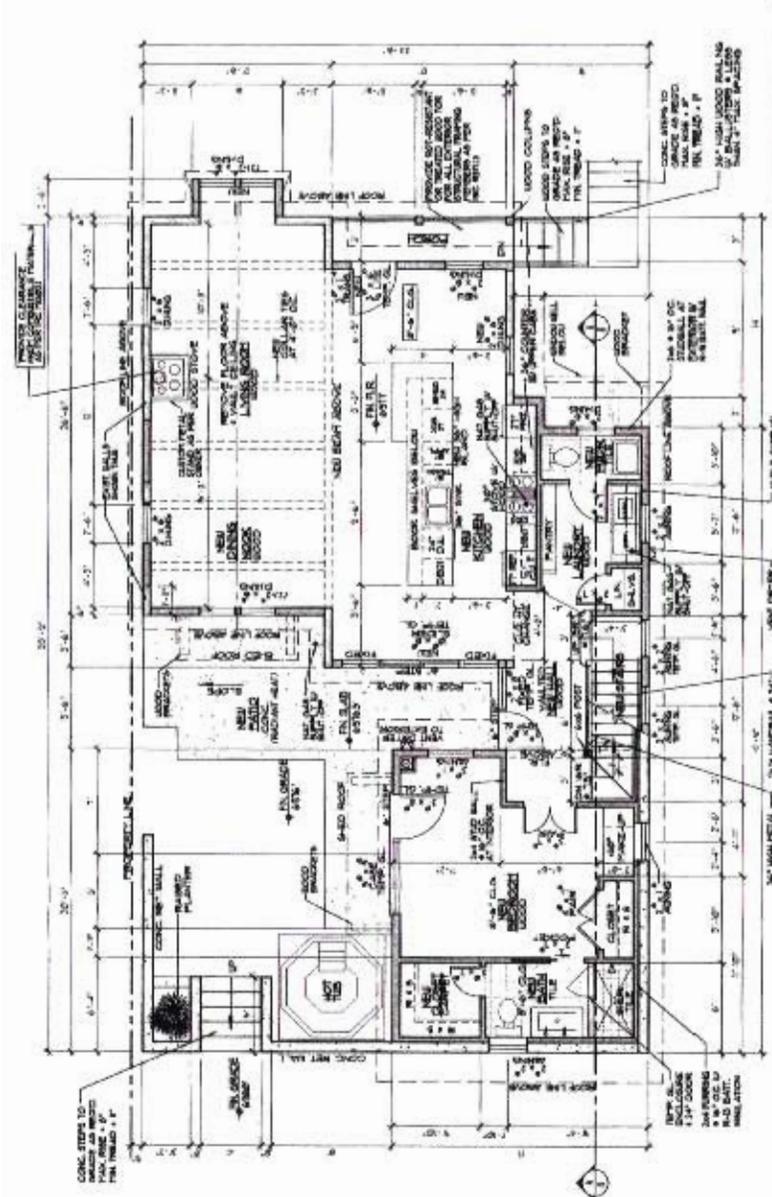
EXIST. LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



EXIST. REAR SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



EXIST. RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



NEW MAIN LEVEL FLOOR PLAN
 1200 SQ. FT.
 (NEW BUILDING FOOTPRINT)
 SCALE 1/4" = 1'-0"

NOTE: FIELD VERIFY ALL EXIST. CONDITIONS ON SITE. CORRECTIVE ACTION PLAN-DIMENSIONS, WINDOW / DOOR SIZES, AND BEARING HEIGHTS.

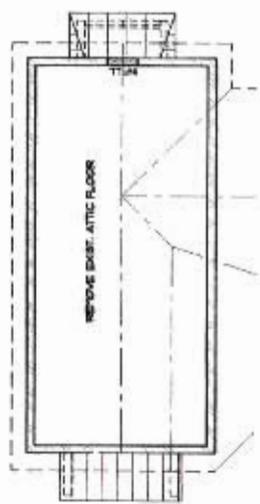
RECEIVED
 AUG 23 2013
 PINK CITY PLANNING DEPT.

- NOTE:
1. PROVIDE EMERGENCY ESCAPE ROUTES IN HABITABLE SPACE. EACH HABITABLE ROOM AN EXTERIOR DOOR OR WINDOW IS A MINIMUM 20" CLEAR OF THE FLOOR FINISH TO THE EXTERIOR. EXTERIOR DOORS SHALL BE PROVIDED WITH A MINIMUM 20" CLEARANCE FROM THE GRADE FLOOR FINISH TO THE TOP OF THE DOOR. EXTERIOR WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 20" CLEAR.
 2. THE OPERABLE WINDOW AREA IN BATHROOMS, WATER CLOSET, AND TOILETS SHALL BE PROVIDED WITH A MINIMUM NET CLEAR OPENING OF 20" CLEAR. OPERABLE WINDOWS IN OTHER ROOMS SHALL BE PROVIDED WITH A MINIMUM NET CLEAR OPENING OF 20" CLEAR. OPERABLE WINDOWS SHALL BE PROVIDED WITH A MINIMUM NET CLEAR OPENING OF 20" CLEAR.
 3. GLAZING USED IN DOORS / WINDOWS OF BATHROOMS / WATER CLOSET SHALL BE PROVIDED WITH A MINIMUM NET CLEAR OPENING OF 20" CLEAR.
 4. TYPICAL GLAZING SHALL BE PROVIDED IN BATHROOMS, WATER CLOSET, AND TOILETS. GLAZING SHALL BE PROVIDED WITH A MINIMUM NET CLEAR OPENING OF 20" CLEAR. GLAZING SHALL BE PROVIDED WITH A MINIMUM NET CLEAR OPENING OF 20" CLEAR.
 5. PROVIDE 2" MIN. CLEARANCE IN FRONT OF ALL WATER CLOSET, WATER CLOSET, AND TOILET. PROVIDE 2" MIN. CLEARANCE IN FRONT OF ALL WATER CLOSET, WATER CLOSET, AND TOILET.
 6. PROVIDE A SHUT-OFF VALVE FOR ALL PLUMBING FIXTURE SUPPLY LINES.

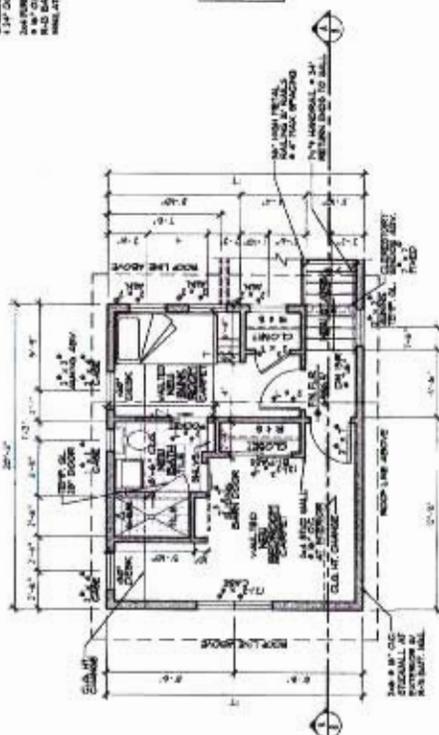
UNGLAZED DOOR / WINDOW VALUES:
 SOLID DOORS - 60MIN 0.37
 GLASS DOORS - 60MIN 0.34
 UNGLAZED - 60MIN 0.32 0.34 0.35

NOTE:
 A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDEFINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING, WALLS, FLOORS, AND FOUNDATIONS OF UNGLAZED SPACES. THE CERTIFICATE SHALL BE PROVIDED WITH A MINIMUM NET CLEAR OPENING OF 20" CLEAR.

NOTE:
 SEE PLAN NOTES ON SHEET S FOR ADD. CODE COMPLIANCE INFORMATION.

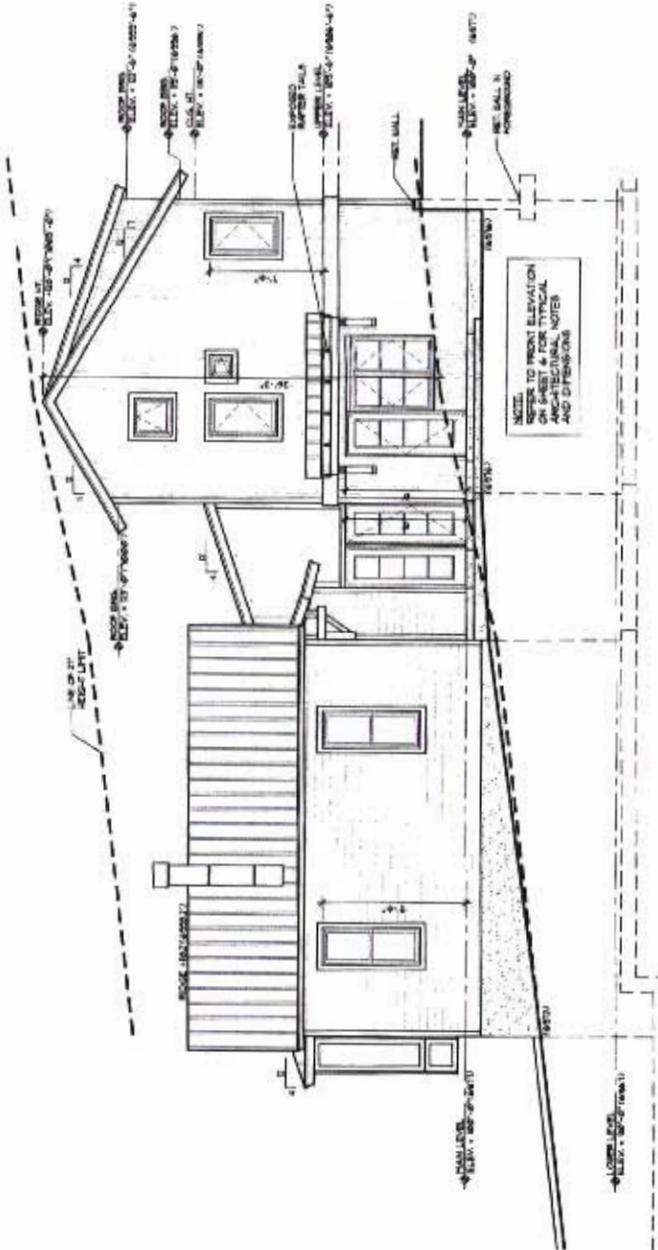


EXIST. ATTIC PLAN
 SCALE 1/4" = 1'-0"



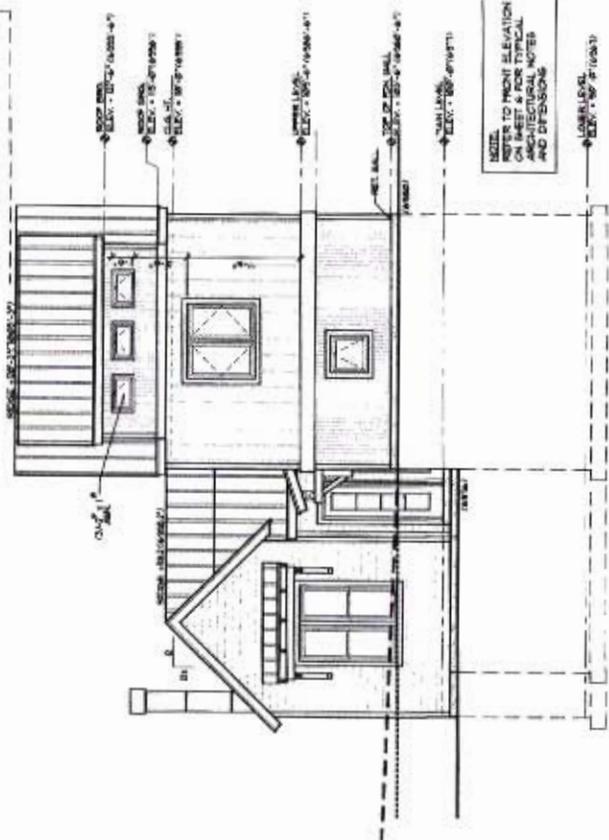
NEW UPPER LEVEL FLOOR PLAN
 345 SQ. FT.
 SCALE 1/4" = 1'-0"

RECEIVED
AUG 23 2013
PARK CITY
PLANNING DEPT.



NEW RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

NOTE: VERIFY ALL EXIST CONDITIONS ON SITE. COORDINATE ALL NEW FLOOR HEIGHTS, DIMENSIONS, ELEV. & FINISH GRADES, WINDOW & DOOR SIZES AND BEARING HEIGHTS.



NEW REAR SIDE ELEVATION
SCALE 1/4" = 1'-0"

EXHIBIT D

ROBERT E. WELLS, INC.

1369 West 7900 South
West Jordan, UT 84088

Estimate

Date	Estimate #
8/19/2013	134

Name / Address
Teash and Mike Lawson 1063 Norfolk Avenue 321-960-8029

			Project
Description	Qty	Cost	Total
Raise and hold frame house located at 1063 Norfolk Avenue, Park City Ut, for new foundation, then set on new said foundation. Owner will pay total contract amount in cash at start of work.	1	13,000.00	13,000.00
Sales Tax		0.00%	0.00
Thank you!		Total	\$13,000.00

Customer Signature



J.W.W. Excavating, Inc.

PO Box 1265
Park City, Utah 84060



Estimate

Date: 7/31/2013
Estimate #: 366

Name / Address

Lawson Residence
1063 Norfolk Ave

Item	Description	Qty	Rate	Total
Excavate	Excavate two tunnel paths to set up for 4 cribs for Bob Wells. JWW will provide floor jacks to support house until Bob can lift it. Includes: equipment, labor, truck time and dumping	1	28,759.00	28,759.00
Frenchdrain	1' gravel below footing, 1' gravel above footing, soil separator and 4" perf pipe	1	2,500.00	2,500.00
Backfill	Includes: equipment, 1' gravel interior slab, 4" exterior slab gravel, labor and compaction	1	12,642.00	12,642.00
Waterline	Street cut with 1 1/2" lateral installed to main with hot tap. Excavate to turn off existing 3/4" lateral. 1 1/2" yolk and lateral from water vault to house. Asphalt patch, curb & gutter included	1	14,000.00	14,000.00
Note	If Park City engineering allows us to reuse existing water vault and lid it will save \$2,000.00			\$ 1,500.00
Sewer	Excavate to existing lateral at edge of right of way.	1	750.00	750.00
Power	Overhead, N/C	1	0.00	0.00

Phone #

Total

\$58,651.00

21,250.00
46,151.00

DIAMOND CONCRETE INC.

ESTIMATE

4495 S. CREST OAK DR.
 SALT LAKE CITY, UTAH 84124
 Phone (801) 277-0276 Fax (801) 272-9006
 Cell (801) 573-2002
 Email jdiamondconcrete@yahoo.com

DATE: August 15, 2013
 Estimate # 1565

Submitted To: Teash Lawson
 Street Address:
 City, State, Zip:
 Fax:
 Phone
 Email

Quote Valid Until:
 Job Name: Lawson Res
 Job Location: 1063 Norfolk Av
 Architect: DHD
 Date of Plans: 6/26/2013

Item	Description	AMOUNT
Date: 8-15-13		
Footing Labor	Layout, Form, Tie Rebar, Pour Concrete (Add 10% If Dowels Tied In)	\$3,485.00
Foundation Labor	Layout, Form, Tie Rebar, Place Imbeds, Pour Concrete	\$21,750.00
Flatwork Labor	(Garage,Basement,Driveway,Rear Patio,Slabs,Front & Rear Stairs)	\$4,110.00
Footing Conc.	3000psi Concrete Grout Extra	\$4,080.00
Foundation Conc.	3000psi Concrete Grout Extra	\$10,440.00
Flatwork Conc.	4000psi Concrete Grout Extra(All Slabs 4" Thick, Stairs as per Plan)	\$6,370.00
Footing Rebar	60 Grade as per plans	\$2,210.00
Foundation Rebar	60 Grade as per plans (includes: Bolts, HD's, Window Bucks,)	\$6,525.00
Flatwork Rebar	As Per Plans	\$1,960.00
Pump	Footing, Foundation, Flatwork, 36 Meter Length Max. (5 Times)	\$3,640.00
Crane 30 ton	Forms & Rebar (2 Times In & Out)	\$1,350.00
Hand Labor	\$35.00 per Hr.	
Contractor to provide: all Excavation, Grading, Survey Hubs, All HD locations		

Payment to be made as follows:	TOTAL	\$65,920.00
---------------------------------------	--------------	--------------------

If materials are furnished: 20% due prior to mobilization
 If labor only is furnished: Balance due upon completion.

with biweekly progress payments.

Account is due upon completion. A finance charge of 1-1/2% per month (annual rate of 18%) is charged on all past due accounts. If collection is made by suit or otherwise, interest, collection costs, and attorneys fees will be charged.

Acceptance of Proposal:

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined.

Signature: _____

Date of Acceptance: _____

Signature: _____

K T Nelson Const Inc

4561 Ponderosa Dr.
Park City Utah 84098
Mobile:435-512-1285
Fax: 435-647-5725

8-10-13

Proposal To

Teach Lawson

Project

1063 Norfolk
Park City, UT

Architect
DHD

Date of plans
6-26-13

Bid proposal

100 % completion rough frame
Install all ext windows and doors
Nails
Decks framed
Crane time inc.
Demo inc (\$1500, inc kitchen roof and walls)

Total Bid
Signature

\$28000.00

K T Nelson Const Inc

Acceptance of proposal



WINDSOR
WINDOWS & DOORS
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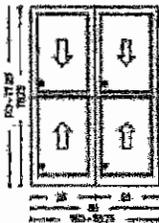
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QUOTE #	STATUS	CUSTOMER PO#	DATE PRINTED
445902	None		7/8/2013 15:01 PM
CUSTOMER JOB NAME	TERMS	QUOTE NAME	PROJECT NAME
		Copy of 1063 Norfolk Ave	Mike & Teash Lawson

Line #	Room ID	Quantity	Overall RO	Overall Frame
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100 living & dining 1 56 3/4" X 77 1/4" 56" X 76.75"

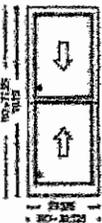


Pinnacle Wood Double Hung XXXX-2 Complete Unit LoE 366 IG 6-11/16 Jamb Ext (Room ID: living & dining)(Glass Stop Profile: Ogee (Standard))(FD: 28 x 76.75)(Pine)(Tubes)(Beige Jambliner)(Black Matte Hardware)(No Brickmould)(No Sill Nosing)(DP: 35) Performance Data:(U-Value: 0.32)(SHGC: 0.2)(VT: 0.46)(CR: 58)(AL: 0.06)

* Units viewed from exterior.

Line #	Room ID	Quantity	Overall RO	Overall Frame
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200 living 2 30 1/8" X 77 1/4" 29.375" X 76.75"



Pinnacle Wood Double Hung 2434-1 Complete Unit LoE 366 IG 6-11/16 Jamb Ext (Room ID: living)(Glass Stop Profile: Ogee (Standard))(Callout: 2-4 x 6-2)(Pine)(Tubes)(Beige Jambliner)(Black Matte Hardware)(No Brickmould)(No Sill Nosing)(DP: 35) Performance Data:(U-Value: 0.32)(SHGC: 0.2)(VT: 0.46)(CR: 58)(AL: 0.06)

* Units viewed from exterior.

Line #	Room ID	Quantity	Overall RO	Overall Frame
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300 living 2 30 1/8" X 77 1/4" 29.375" X 76.75"

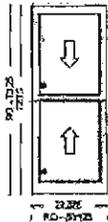


Pinnacle Wood Double Hung 2434-1 Complete Unit LoE 366 IG 6-11/16 Jamb Ext (Room ID: living)(Glass Stop Profile: Ogee (Standard))(Callout: 2-4 x 6-2)(Pine)(Tubes)(Beige Jambliner)(Black Matte Hardware)(No Brickmould)(No Sill Nosing)(DP: 35) Performance Data:(U-Value: 0.32)(SHGC: 0.2)(VT: 0.46)(CR: 58)(AL: 0.06)

* Units viewed from exterior.

Windsor Windows and Doors

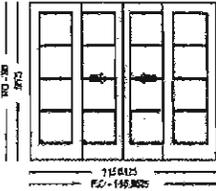
Quote #: 445902 Page 1 of 2



Pinnacle Wood Double Hung 2432-1 Complete Unit LoE 366 IG 6-11/16 Jamb Ext (Room ID: front entry)(Glass Stop Profile: Ogee (Standard))(Callout:2-4 x 5-10)(Pine)(Tubes)(Beige Jambliner)(Black Matte Hardware)(No Brickmould)(No Sill Nosing)(DP: 35) Performance Data:(U-Value: 0.32)(SHGC: 0.2)(VT: 0.46)(CR: 58)(AL: 0.06)

* Units viewed from exterior.

Line #	Room ID	Quantity	Overall RO	Overall Frame
500	new kitchen	1	116 9/16" X 96"	115.8125" X 95.5"



Pinnacle Clad Black Four Panel French Style 100Q80 Complete Unit OXOO LoE 366 IG 6-11/16 Jamb Ext (Room ID: new kitchen)(Glass Stop Profile: Ogee (Standard))(Pine)(Bronze Sill)(Tempered Glass)(Tubes)(Polished Chrome Standard Handle Set)(Bronze Footbolt)(No Brickmould)(5/8" Putty WDL Short w/Inner Bar)(Colonial 1 W4H)(Black Screen - Not Applied)(BetterVue)(DP: 25) Performance Data:(U-Value: 0.34)(SHGC: 0.15)(VT: 0.33)(CR: 55)(AL: 0.23)

* Units viewed from exterior.

Quote Comments:

Disclaimer:

SUB-TOTAL:	\$6,943.47
LABOR:	\$0.00
FREIGHT:	\$0.00
SALES TAX:	\$489.51
TOTAL:	\$7,432.98

Messages:

* Units meeting Egress size conform to 2009 IRC Section R310.2 Egress requirements; Local codes may differ. Customer is responsible to confirm units meet all applicable requirements.

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Accepted By: _____ Date: _____

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CATEGORIES

Exterior Doors (c-1-entry-doors-exterior-doors.aspx)

Interior Doors (c-10-interior-doors.aspx)

French / Patio Doors (c-16-french-doors.aspx)

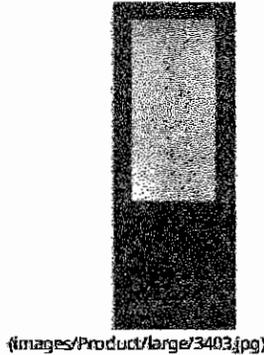
Transoms (c-91-transoms.aspx)

Jambes and Trims (c-68-jambes-and-parts.aspx)

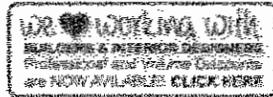
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(images/Product/large/3403.jpg)



Single Door, Walnut with a Half Glass Design

Model: A76F-1

Brand: MAI Doors

Customize and Buy:

- Door Size (WxH)
- Glass Option
- Pre-Hanging Yes
(/d2c3qrlfn00567.cloudfront.net/prehungyesno.jpg)
- Jamb Species
(https://s3.amazonaws.com/images.doors4home.com/pre-hung/exterior/MAI-EXT-jamb-Species-Walnut-Popup.jpg)
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- Hinges
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- Door Sill (Threshold)
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NEW ITEMS

 Rubi Slimlite (c-1027-rubi-slimlite.aspx)
From \$720

 Retro R-13 (c-725-r-13.aspx)
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By: Irina D.

TOP BRANDS



hung/exterior/Threshold-Pos

Handle Preparation **Double Bore 2-3/8" Backset**

Handing **Right Inswing**

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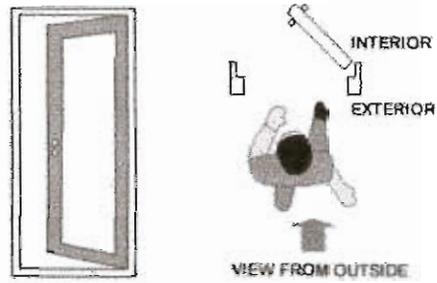
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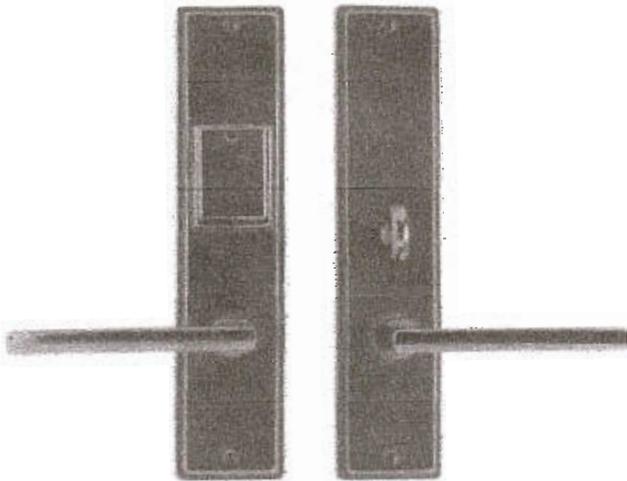
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INSPIRATIONAL IMAGES



Stepped Entry Set - 2 1/2" x 11" STEPPED

The stepped edge adds another level of detail to this classic rectangular shape. Formal in nature, it would add texture to a contemporary style or complete a more traditional style.

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PRODUCT INFO OPTIONS ALL COMBINATIONS & PRICING SPECIFICATIONS

Options

2 1/2" x 11" Stepped Escutcheon

		E311/E313 Entry Dead Bolt/ Spring Latch	\$740.00
		E311/E313 Entry Mortise Lock	\$916.00
		E312 Single Dummy	\$237.00
		E312/E312 Full Dummy	\$474.00
		E312 / E313 Patio Dead Bolt/Spring Latch	\$689.00
		E312/E313 Patio Mortise Lock	\$824.00



E312 / E313

RELATED PRODUCTS



pricing for such a length of time. We have made our best effort to obtain accurate bids for the immediate work that relates to eligible improvements and will submit further bids during the construction phase.

The excavation and foundation estimates relate to the entire project with a basement foundation and rear addition. In order to estimate just the amount that pertains to grant eligible items (i.e. crawl space excavation and foundation), the contractors have provided the following information:

Excavation - 75% of the excavating estimate is related to the existing structure and the difficulty of tunneling under the existing structure and transporting that material out of the hole. The actual bid, just for a crawlspace excavation would be half of the attached bid.

Foundation – The existing structure’s footprint accounts for 2/3 of the total proposed footprint. A non-basement foundation would account for 1/2 of the above mentioned portion (i.e. 1/3 of total foundation cost). The eligible items pertaining to this estimate are highlighted with non-eligible items such as concrete flatwork (garage, basement, driveway, patio) omitted.

The attached window estimate is only for the windows proposed for the existing historic home. All additional windows and doors for this project are not included.

The attached framing estimate is for the entire project plus \$25,000 in material cost. After discussions with the contractor, the framing and material costs related to reinforcing the original structure (addition of new joists, rafters, plywood shear walls, collar-ties) to bring the structure up to code and the new framing needed to recreate the front porch and box bay window would amount to 40% of the labor and material costs. This translates into \$11,200 of eligible framing labor cost and \$10,000 eligible material cost.

The attached entry door cost is the most similar door that we could find to match our plans. Based on the lack of readily available historically correct 3/4 lite solid wood 6’8” entry doors with transom windows, as shown on our plans, we intend to have a door and transom custom built to match our plans. The provided estimate is conservative and should be close or lower than the actual cost will be.

The estimated historic siding rehabilitation cost is approximately \$8,000 based on a unit cost of \$8/s.f. for the 1000 s.f. of historic structure exterior walls to include removal, salvaging, stripping, patching and prepping. An additional cost of \$2000 (\$2/s.f.) is estimated for historic exterior painting.

- No actual bid was obtained.

We would also like to apply for grant assistance for the reroofing of the existing structure and porch, but have little information on what the actual costs might be. We are requesting that this item be reviewed at a later date and considered for grant assistance when an accurate cost estimate can be obtained.



Planning Department

Historic Preservation Board Staff Report

Author: Anya Grahn, Historic Preservation Planner
Subject: Historic Sites Inventory
Address: 269 Daly Avenue
Project Number: PL-13-02024
Date: September 18, 2013
Type of Item: Administrative – Determination of Significance

Summary Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing and consider changing the status of 269 Park Avenue from a Landmark Site to a Significant Site on the Park City Historic Sites Inventory.

Topic:

Project Name: 269 Daly Avenue
Applicant: Dirk de Vos on behalf of Theodore Pistorius
Proposal: Determination of Significance

Background:

The Park City Historic Sites Inventory, adopted February 4, 2009, includes four hundred five (406) sites of which one hundred ninety-two (192) sites meet the criteria for designation as Landmark Sites and two hundred thirteen (214) sites meet the criteria for designation as Significant Sites. The existing structure at 269 Daly Avenue was added to the site as a Landmark Structure based on a reconnaissance level survey by then Historic Preservation Consultant, Dina Blaes. During the recon-level survey, Dina noted that the Sanborn maps identified the home as a “Hall-Parlor” home, but noted that a cross-wing addition and porch had likely been added during the Mature Mining Era historic period based on limited information available at the time.. There are no photos of the home prior to the 1990’s. Sandborn maps were used to determine original shape of the home.

On April 8, 2011, the applicant submitted an application for a Historic District Design Review (HDDR) for the purpose of doing a rear addition to the existing home. The new owners of the home contemplated a simple rear addition to the home. The original proposal was to keep what was thought to be the in-period addition to the home and re-building the rear with a rear addition. During A previous plat amendment by the applicant, there was an agreement to place a note on the plat limiting the overall size of the home and the addition be no larger than 2,000 square feet in size.

During this process the applicant had the building department do an initial inspection of the home to determine what work might be necessary. During the inspection it was noted by the Building Inspector that the home was uninhabitable due to various issues related to the structural integrity of the home, electrical issues and mold. The home was later inspected by Chief Building Official, Chad Root, as well as members of the

Planning Department Staff and the Historic Preservation Consultant, all of whom agreed with the initial assessment that the home was in fact, uninhabitable.

It was also discovered at this time that information provided to the City showed evidence that the home was originally a hall-parlor home constructed in 1901, and that the addition to the front of the home was actually done an “out-of-period” sometime between 1965 and 1970. The addition altered the home into a cross-wing “L-Cottage” design with a front porch. The original application contemplated keeping the front portion of the home because it had the most salvageable materials and form. However, once it was discovered that this was an out-of-period addition, that plan was amended to reconstruct the original hall-parlor form with a rear addition and an “in-period” style front drop-porch (the plans are attached hereto as Exhibit “A”).

In a June, 2012 visit to the home, Staff, along with former Historic Preservation Consultant, Dina Blaes, visited the home for an inspection of the home. During the inspection it was noted by former Consultant Blaes that there was very little historic material remaining on the home. There was a small section of original siding on the rear, along with bricktext and other materials. It was noted that the front addition either did not preserve the original material of the home’s façade, or that any siding was likely used internally, but did not exist on the exterior of the home.

On June 20, 2012, former Consultant Blaes gave a written opinion to Staff indicating that if the Chief Building Official, Chad Root, determines that the property meets the requirement in the LMC for abatement of dangerous buildings, then the home should be allowed to be reconstructed in accordance with applicable Design Guidelines and LMC requirements. Consultant Blaes also made the following findings:

- Reconstruction should only be allowed if the historic form as a hall-parlor home without the out-of-period front extension is retained. Doing so will allow the home to remain as “Significant” and would allow the property to remain on the Historic Sites Inventory.
- Because of the fairly unique site constraints, it is suggested that the City consider allowing the original hall-parlor house to be moved forward (perhaps 4-6 feet) such that a clear separation is maintained between the extant accessory building at the street front and the historic Hall-Parlor form. A rear addition is possible without the move, but the excavation required to accommodate the addition and the loss of mature vegetation on the hillside appears far more impactful than allowing the house to move forward slightly. This would facilitate a compatible rear and/or side addition to the original Hall-Pallor form required to be retained.
- The proposed reconstruction is compliant with the underlying principles of the City’s preservation program, and that allowing the home to be reconstructed and moved are better met, namely, returning the building to its historic form, restoring the historic primary and secondary façades, and making sure that the historic resource will return to viable use as a single-family residence.

Based on the recommendation from Consultant Blaes, Staff issued the applicant an approval of the HDDR on to reconstruct and relocate the home as proposed on the plans referenced as “Exhibit A” herein. Staff made several conditions of approval, including a condition that the applicants obtain a letter from the Chief Building Official and the Planning Director, allowing them to reconstruct and relocate the home as proposed (see Exhibit “B”) based on the requirements for such as outlined in Land Management Code (LMC) Section 15-11-15 (Reconstruction of An Existing Historic Building or Historic Structure).

On June 13, 2013, Chief Building Official Root and Planning Director Thomas Eddington, signed a letter authorizing the applicant to reconstruct the home (and accessory structure), and relocate the home slightly forward to accommodate the rear addition. The letter cited findings of fact for the proposal to reconstruct and relocate the home, namely that the home had retained very little of its original historic character, the fact that the home was in serious disrepair, and the fact that the proposal to reconstruct would re-introduce the original hall-parlor design. The rationale for allowing the home to be moved was largely due to Consultant Blaes assessment that allowing the home to be moved forward slightly would avoid cutting into the side of the canyon, thus avoiding many of the issues that caused the original home to become dilapidated in the first place (the letter is attached hereto as Exhibit “C”). As a condition of approval for the request to reconstruct and relocate the home, the Planning Director require the applicant to apply for a Determination of Significance (DoS), requesting to change the designation of the home and the site from “Landmark” to “Significant.”

Analysis and Discussion:

The Historic Preservation Board is authorized by Title 15-11-5(I) to review and take action on the designation of sites within the Historic Sites Inventory. The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). Land Management Code Section 15-11-10(A) sets forth the criteria for designating sites to the Park City Historic Sites Inventory.

Because the home does not retain any of its historic form, and due to the fact that the addition to the home was out of period, there is little doubt that the home would qualify for “Landmark Status” based on the information provided. A reconstruction of the home, which is necessary based on the issues raised by the Chief Building Official, would also not allow the home and site to remain as “Landmark.” Thus Staff is recommending that the site be redesigned as “Significant” based on the following definition:

Significant Site. Any buildings (main, attached, detached or public), accessory buildings and/or structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and (...) Complies

The structure was originally constructed in 1901, making the structure 112 years old.

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

- (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
- (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
- (iii) Moving it from its original location to a Dissimilar Location, or
- (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way. **Complies.**

The home does retain its original historic form, even with the front addition. The reconstructed home will also retain the original historic form.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

- (i) An era of Historic importance to the community, or*
- (ii) Lives of Persons who were of Historic importance to the community, or*
- (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period. **Complies.***

A "Landmark" Site is any building (main, attached, detached, or public) designated to the Historic Sites Inventory, as outlined in Land Management Code (LMC) 15-11-10(A), because:

- (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and*
- (b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and*
- (c) It is significant in local, regional or national history, architecture, engineering, or culture associated with at least one (1) of the following:*
 - (i) An era that has made a significant contribution to the broad patterns of our history;*
 - (ii) The lives of Persons significant in the history of the community, state, region, or nation; or*
 - (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman.*

Staff finds that the structure at 269 Daly Avenue no longer meets the standards for local landmark designation because of the loss of the structure's historic integrity, particularly its design and alterations of its historic materials. As discussed previously, the structure was originally designed and built as a hall-and-parlor house in 1901; however, a gable

addition to the façade transformed the structure to a cross-wing or L-cottage outside of the Mature Mining Era (1894-1930) between 1965 and 1970. The out-of-period addition significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way. Furthermore, the changes to the historic materials have also diminished the structure's historic integrity.

Notice:

Legal Notice of this public hearing was published in the Park Record and posted in the required public spaces.

Public Input:

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to the Historic Sites Inventory. The public hearing for the recommended action was properly and legally noticed as required by the Land Management Code. No public input was received at the time of writing this report.

Alternatives:

- Conduct a public hearing to consider the DOS for 269 Daly Avenue described herein and change the existing designation of "Landmark" within the Historic Sites Inventory to "Significant" as presented.
- Conduct a public hearing and reject the change from "Landmark" to "Significant" at 269 Daly Avenue to the Historic Sites Inventory, providing specific findings for this action.
- Continue the action to a date certain.

Significant Impacts:

There are no significant impacts on the City as a result of adding the existing building described in this report to the Historic Sites Inventory.

Consequences of *not* taking the Recommended Action:

Not taking the recommended action will result in the 269 Daly Avenue property remaining on the Historic Sites Inventory as a Landmark home, which it does not/will not qualify for (once reconstructed).

Recommendation:

Staff recommends the Historic Preservation Board conduct a public hearing and consider changing the designation of 269 Daly Avenue from "Landmark" to "Significant" within the Park City Historic Sites Inventory according to the following finding of fact and conclusions of law.

Finding of Fact

1. 269 Daly Avenue is within the HR-1 zoning district.
2. The structure at 269 Daly Avenue is currently listed on the Park City Historic Sites Inventory as a "Landmark" Structure.
3. There is an existing cross-wing "L-Cottage" structure at 269 Daly Avenue.

4. The existing structure has been in existence at 269 Daly Avenue since 1901 according to the Sanborn Insurance Maps.
5. Intensive level investigation work has determined that the original hall-parlor was altered to its existing shape sometime between the late 1960's to the early 1970's with a room and front porch addition to the front of the building.
6. The existing structure is over 50 years old, however the addition is less than 50 years old and is thus, and not in period.
7. The existing structure is in serious disrepair and is not habitable in its current dangerous condition.
8. There is very little original exterior materials remaining on the home. There was no evidence that the original siding was used for the late 1960's early 1970's addition to the home.
9. The original structure was a T shaped cottage and typical of the mature mining industry era.
10. In 1997, the stem wing section of the main roof was modified to create a new front facing gable and additional space in the top story. The "pitch" of the original gable end of the cross-wing has not been altered. Also, the shed roof above the porch has not been altered. Although the roof form has been modified, it is evident that the structure was originally a cross-wing T shaped cottage when viewed from the public right-of-way. The existing structure retains its essential historical form.
11. The structure no longer meets the criteria for Landmark designation, but should be designated as Significant. Built in 1901, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years. Though the structure has lost its historic integrity due to the out-of-period addition and alterations to its historic materials, it has retained its historical form. The out-of-period addition to the façade of the structure significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way, disqualifying it from Landmark status. The structure is important in local or regional history because it is associated with an era of historic importance to the community, Mature Mining Era (1894-190).

Conclusions of Law

1. The existing structure located at 269 Daly Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2).

Exhibits:

Exhibit A – Applicant's Letter

Exhibit B – Historic District Architecture Survey, 1982

Exhibit C – Historic Sites Inventory Form, 2008

8/8/2013

**OTTO /
WALKER**
Architects

269 DALY AVENUE

Built in 1901, the home was a 720sf hall parlor home with full width porch on the west (entry) side. An existing addition was constructed on the southwest corner of the home C. 1970 and the porch was reduced based on the width of that addition. Also located on the site is a 192sf detached carriage house at the southwest corner of the lot. 70's era siding is covering the historic siding on the west and there are areas of historic siding visible on the north and south.

2200 Park Avenue

Suite C201

Park City, Utah 84060

435/649-6373

Fax: 435/649-6378

otto-walker@comcast.net
www.otto-walker.com

We can find very little information on previous owners, but an undated tax photo and description which indicates the C.1970 addition notes John L. and LuRae Fyrkovich as the owners at that time.

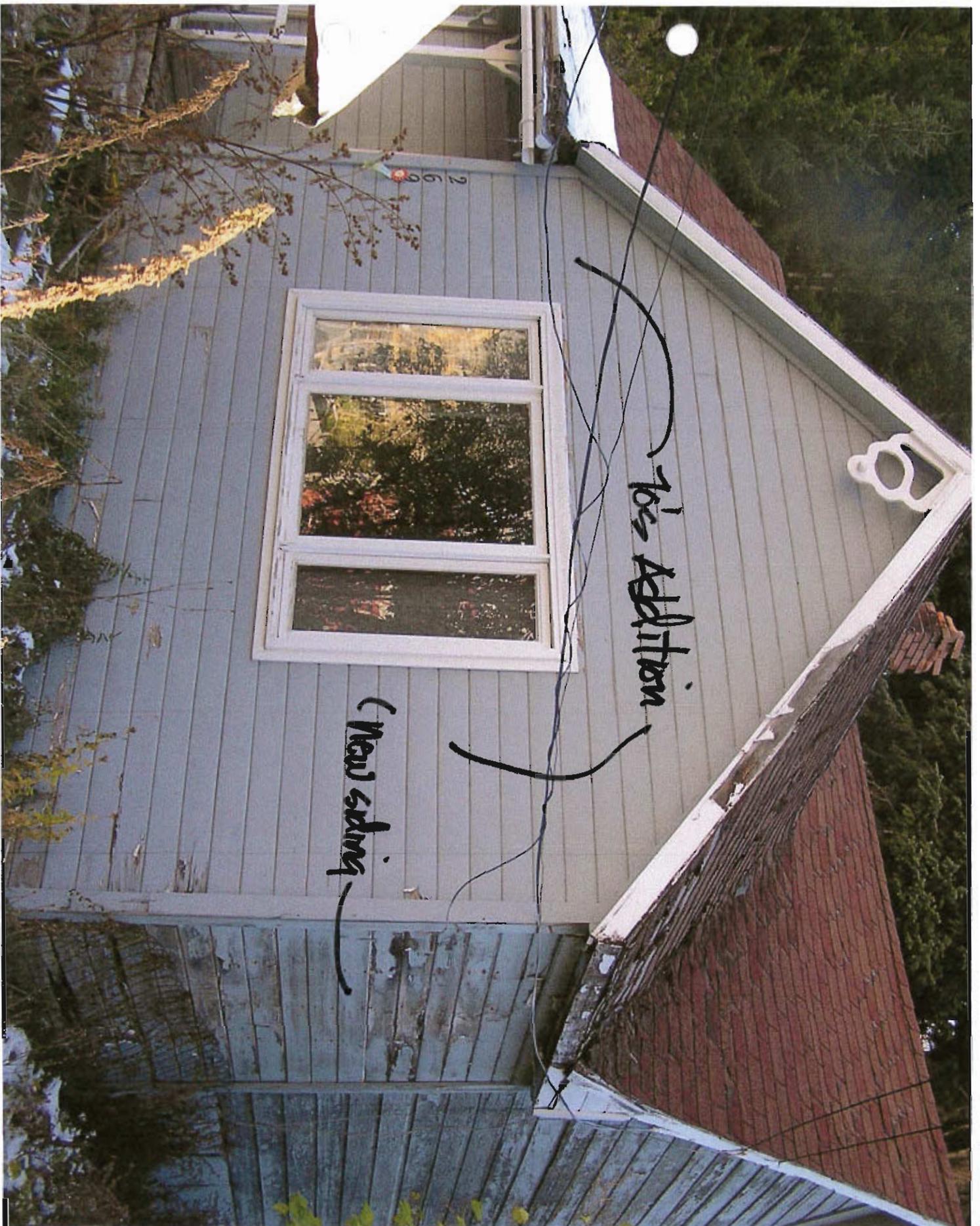
Based on a determination from the Park City Building Department dated 10/29/09 the home was designated a Dangerous Building and a structural analysis was performed. In addition to major structural issues, there is a significant mold problem throughout the house. During 2012, further inspections by the Planning Staff and Chad Root, Chief Building Official, it was reconfirmed that this is a home that would need to be totally reconstructed to meet current standards and safety considerations. Particular note was given to the collapsing roof on the east side of the Home (see photo).

At this point, an application for Historic Reconstruction of both the home and the Carriage House were submitted for and approved thru the Planning Department. In the process of Reconstruction, the shape of the Home will be brought back to the originally constructed footprint with an addition on the south and east sides of the building. The Carriage House will be reconstructed to original dimensions and details. It has been applied for to move the Home 4 feet to the west to create more separation from existing vegetation on the east side of the home.





Partial West Elevation - Home



Partial West Elevation - Home



70's Addition

South Elevation - Home.

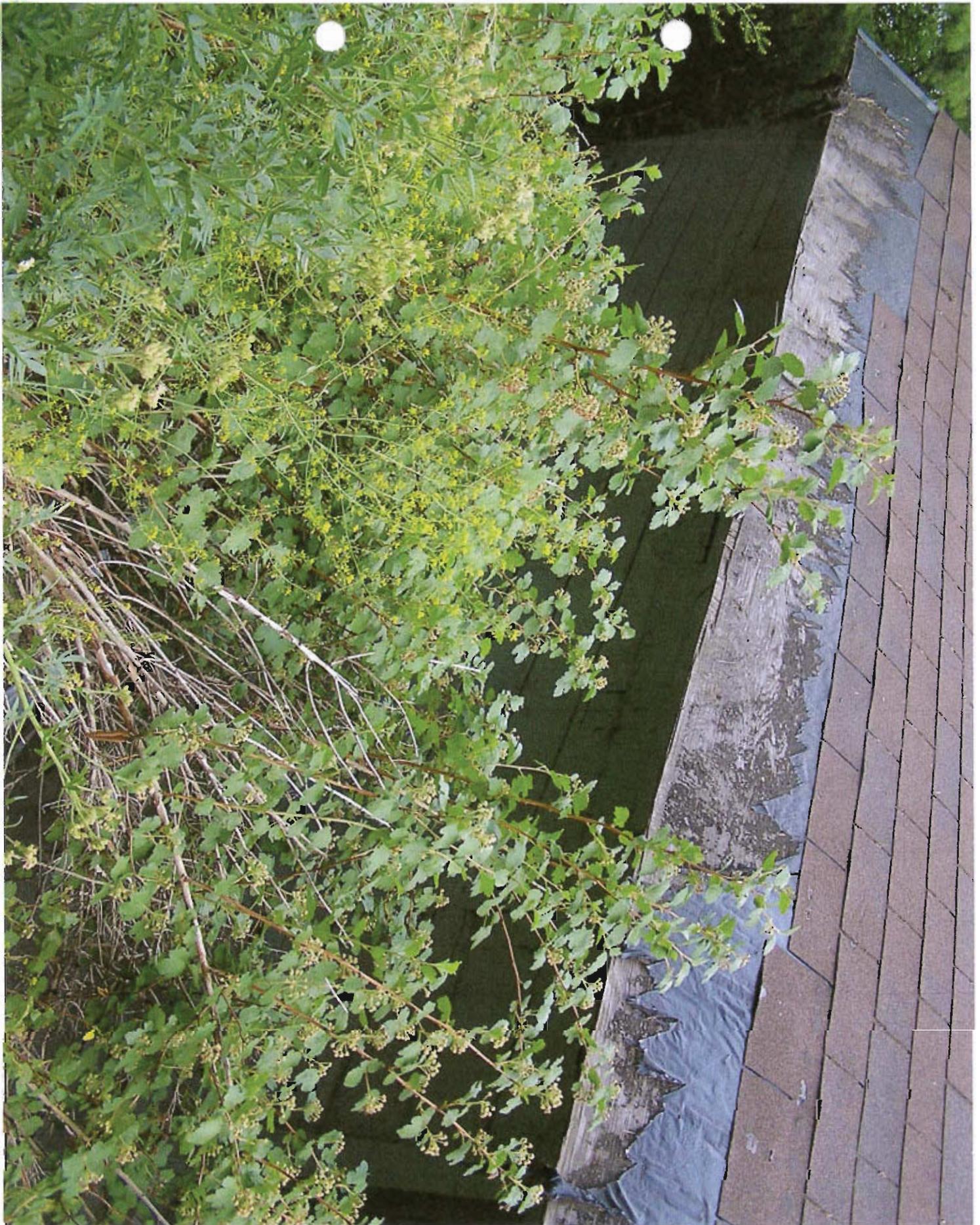


North Elevation - Home



Historic Preservation Board, September 18, 2013. Page 98 of 232

Partial East Elevation - Home



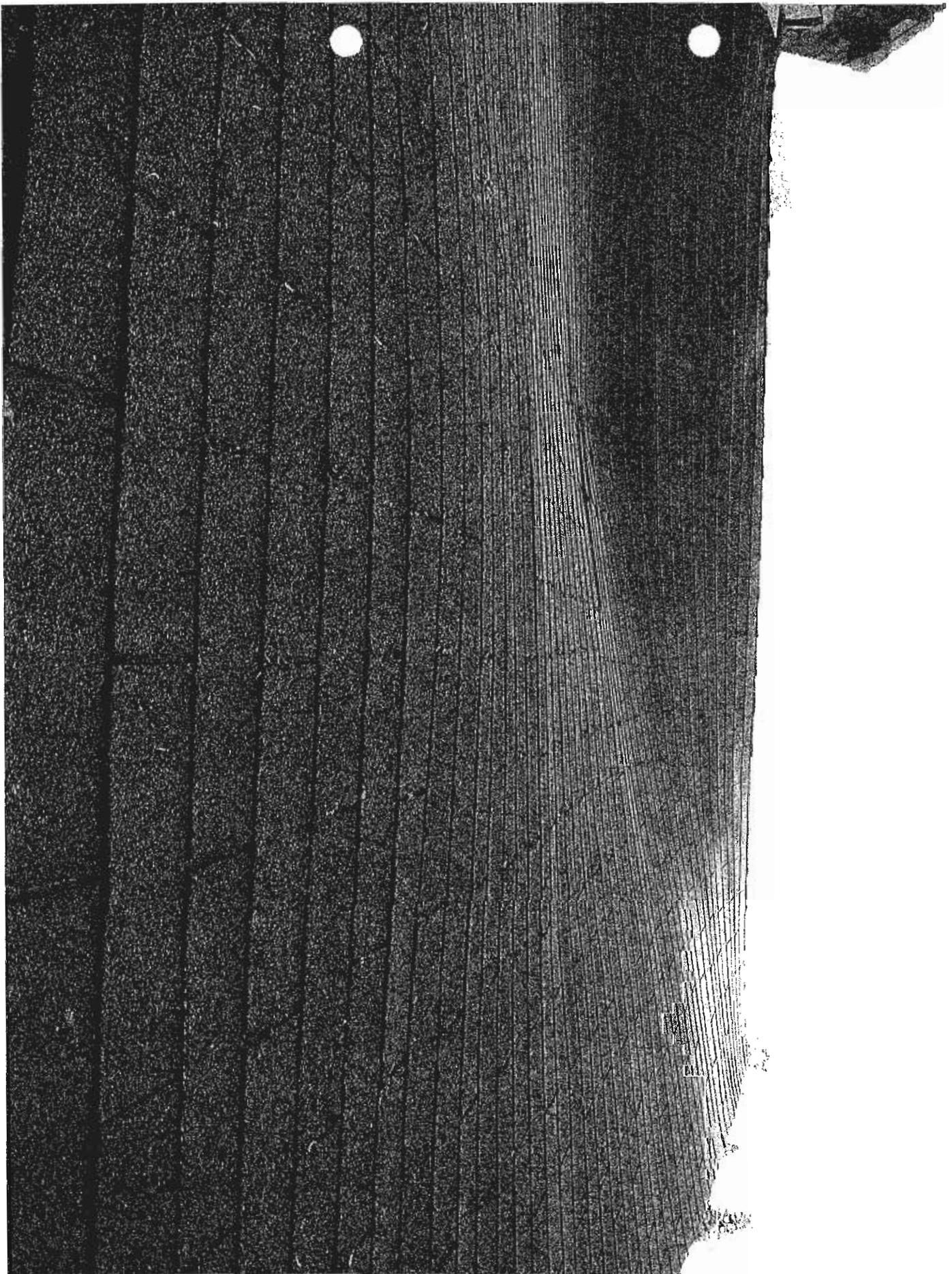
Partial East Elevation - Home.



Partial East Elevation - Home.



East facing Roof - Home .



East Facing Roof - Home



South Elevation - Carriage House



West Elevation - Carriage House



North Elevation - Carriage House.



East Elevation - Carriage House

Name of site _____ Subdivision _____
 Address 269 Daley _____ Block _____ Lot(s) _____
 Owner _____ Present Zoning HR-1
 Owner Address _____

PRIMARY STRUCTURE

View west facade



Date of photo 11/81
 Negative File 18/16a

Physical description: 1-story frame residence; ell-shape with gable roof; interior chimney; attached porch with pent roof, squared posts and balustrade, and decorative brackets; 3-bay with single entrance; modern window treatment; small decorative pendant in front gable.

Features of interest: _____

Building materials: wood Building type/style ell shape

Modifications: None to minor _____ Moderate X Major _____

Explain: Openings altered; house appears flat

Condition: Excellent _____ Good X Fair _____ Deteriorated _____

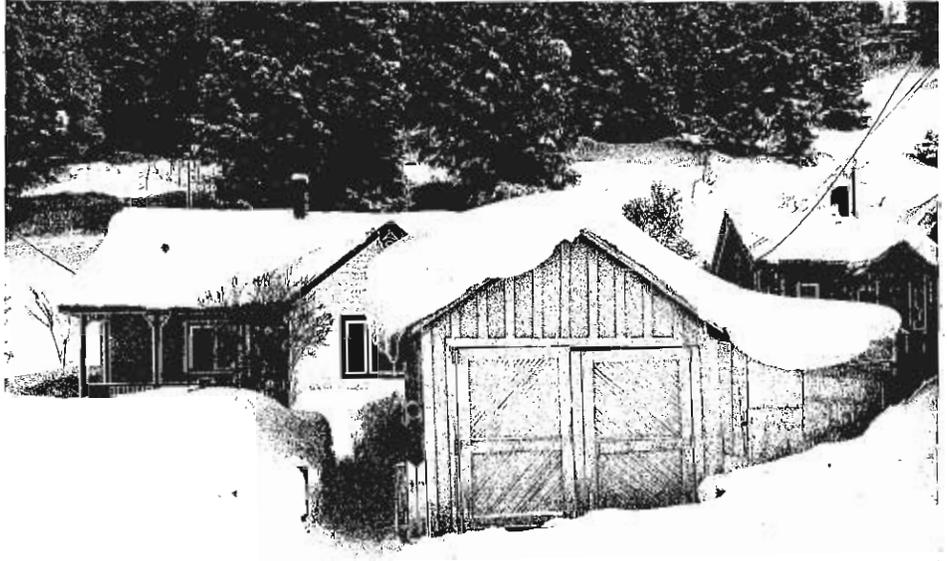
Comment: _____

Present use: residential Original use: residential

SIGNIFICANCE OF PRIMARY STRUCTURE

Individual landmark _____ Typical example X Contributes to district Qualified

Comment: _____



HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 269 DALY AVE

AKA:

City, County: Park City, Summit County, Utah

Tax Number: PC-632

Current Owner Name: MANN JANET C (JT)

Parent Parcel(s):

Current Owner Address: 3998 BROCKBANK WAY; SALT LAKE CITY, UT 84124

Legal Description (include acreage): PARK CITY BLOCK 73 (MILLSITE RES) BLOCK: 73 LOT: 34BUILDING: 0.004 ROOM 1 STORY HOUSE ON E'LY SIDE DALY AVENUE NO 269, BEING 36TH HOUSE E SIDE EMPIRE CANYON PARK CITY; ALSO DESC AS THAT PORTION OF NW1/4 NW1/4 SE1/4 SE1/4 SEC 21 T2SR4E SLBM BEG AT SW COR LOT 34 BLK 73 MILLSITE RESERVATION; TH N 74*55' W 16.6 FT TO PT ON DALY AVE; TH S 22*28' W 298.6 FT; TH S 69*57' E 35.4 FT TO TRUE PT OF BEG & RUN TH S 69*57' E 77.3 FT; TH S 20*55' W 46.3 FT; TH N 69*42' W 76.3 FT; N 19*26' E 46.0 FT TO TRUE PT OF BEG CONT 3490 SQ FT; ALSO BEG AT THE NE COR OF THAT CERTAIN TRACT OF LAND CONVEYED BY WD RECORDED JAN 7, 1982 AS ENTRY #187312 BK 207-743 OF THE OFFICIAL RECORDS SD PT BEING W 1095.20 FT & S 1521.21 FT FROM THE NE COR OF SEC 21 T2SR4E SLBM; & RUN TH S 69*57' E 85.77 FT M/L TO A PT ON THE E LINE OF WASHINGTON MILLSITE LOT 80-B; TH S 18*00' W ALONG SD E LINE 46.71 FT; TH N 69*42' W 88.15 FT TO THE SE COR OF THE ABOVE REFERENCED TRACT; TH N 20*55' E 46.30 FT TO THE PT OF BEG CONT 0.09 AC BAL 0.17 AC

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

- Original Use: Residential
- Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November, 08

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" cottage or "T" cottage

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # __1__ ; structure(s), # ____.

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Untreated wood picket fence, single car garage and extending shed (various wooden materials)

Foundation: Not visible and therefore its material cannot be verified.

Walls: Drop-novelty wood siding

Roof: Unable to verify (2006 photo shows roof covered in snow. 1995 photo exhibits asphalt shingles)

Windows: Vinyl casement and sliding

Improvements: Garage – Frame: 194 SF Fair Quality

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): Discrepancies in original building type as building card from 1968 indicates a simple rectangular structure with a 4'x6' porch covering in the front and center entryway of building. Earliest photo in 1995 indicates an "L" cottage type, although the gable-facing portion could have been added on between 1968-1995. Regardless, the resulting structure type is still complimentary to the mining era of this time. Material wear is starting to show in the painted trim detail of the porch roofline.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): Narrow building lot with adjacent residential properties of complimentary scale and building types. Building lot is fairly flat, with a steep hilly slope rising directly behind the property line. House is recessed to the center of the lot, while a makeshift single-car garage is directly adjacent to where the front of the property line meets the city roadway. (Garage is in fair condition). An untreated wood picket fence also separates the immediate boundary between the property and the city roadway. Various shrubs and natural grasses are throughout the landscape. A faltering chain-link fence separate this property and its neighbor to the left of the front elevation.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The distinctive elements that define this as a typical park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: 1901¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Northwest oblique. Camera facing southeast, 2006.

Photo No. 2: Accessory building. Camera facing east, 206.

Photo No. 3: Northwest oblique. Camera facing southeast, 1995.

¹ Summit County Recorder.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

KIND OF BUILDING	1958	1959	1960	1961	1962	19	19	19	19
GARAGE	31	31	31	31	31				
RESIDENCE	551	551	551	551	551				
TOTAL	582								
ASSESSED VALUE	235				235				

KIND OF BUILDING	19	19	19	19	19	19	19	19	19
GARAGE									
RESIDENCE									
TOTAL									
ASSESSED VALUE									

PC632

Serial Number

.....OF.....
Card Number

Owners Name J.L. Fekavich

Location _____

Kind of Bldg. Res St. No. 269 Daly Ave

Class 3- Type 1 2 3 4. Cost \$ 13186 x 94 %

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	720		\$ 2995	\$
	x x				
	x x				

Att. Gar.—C.P. _____ Flr. _____ Walls _____ Cl. _____

Description of Buildings	Additions	Additions
Foundation—Stone _____ Conc. <input checked="" type="checkbox"/> Sills _____		
Ext. Walls <u>Siding</u>		
Roof Type <u>Gable</u> Mtl. <u>RR</u>		
Dormers—Small _____ Med. _____ Large _____		
Bays—Small _____ Med _____ Large _____		
Porches—Front _____ <u>24 @ 150</u>	<u>36</u>	
Rear _____ @ _____		
Porch _____ @ _____		
Planters _____ @ _____		
Ext. Base Entry _____ @ _____		
Cellar-Bsmt. — ¼ ½ ¾ Full _____ Floor <u>Just</u>	<u>80</u>	
Bsmt. Gar. _____		
Basement-Apt. _____ Rms. _____ Fin. Rms. _____		
Attic Rooms Fin. _____ Unfin. _____		
Plumbing {	Class <u>2</u> Tub. <u>1</u> Trays _____	
	Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>	
	Wtr. Sfr. _____ Shr. St. _____ O.T. _____	
	Dishwasher _____ Garbage Disp. _____	<u>650</u>
Heat—Stove _____ H.A. <u>FA</u> HW _____ Stkr _____ Elec. _____		
Oil <u>Gas</u> Coal _____ Pipeless _____ Radiant _____	<u>322</u>	
Air Cond. — Full _____ Zone _____		
Finish—Fir. <input checked="" type="checkbox"/> Hd. Wd. _____ Panel _____		
Floor—Fir. <input checked="" type="checkbox"/> Hd. Wd _____ Other _____		
Cabinets <input checked="" type="checkbox"/> Mantels _____		
Tile—Walls _____ Wainscot _____ Floors _____		
Storm Sash—Wood D. _____ S. _____; Metal D. <u>1</u> S. _____	<u>60</u>	
Awnings — Metal _____ Fiberglass _____		

Total Additions 1148

Year Built 1901 Avg. 1.90 Replacement Cost 4143

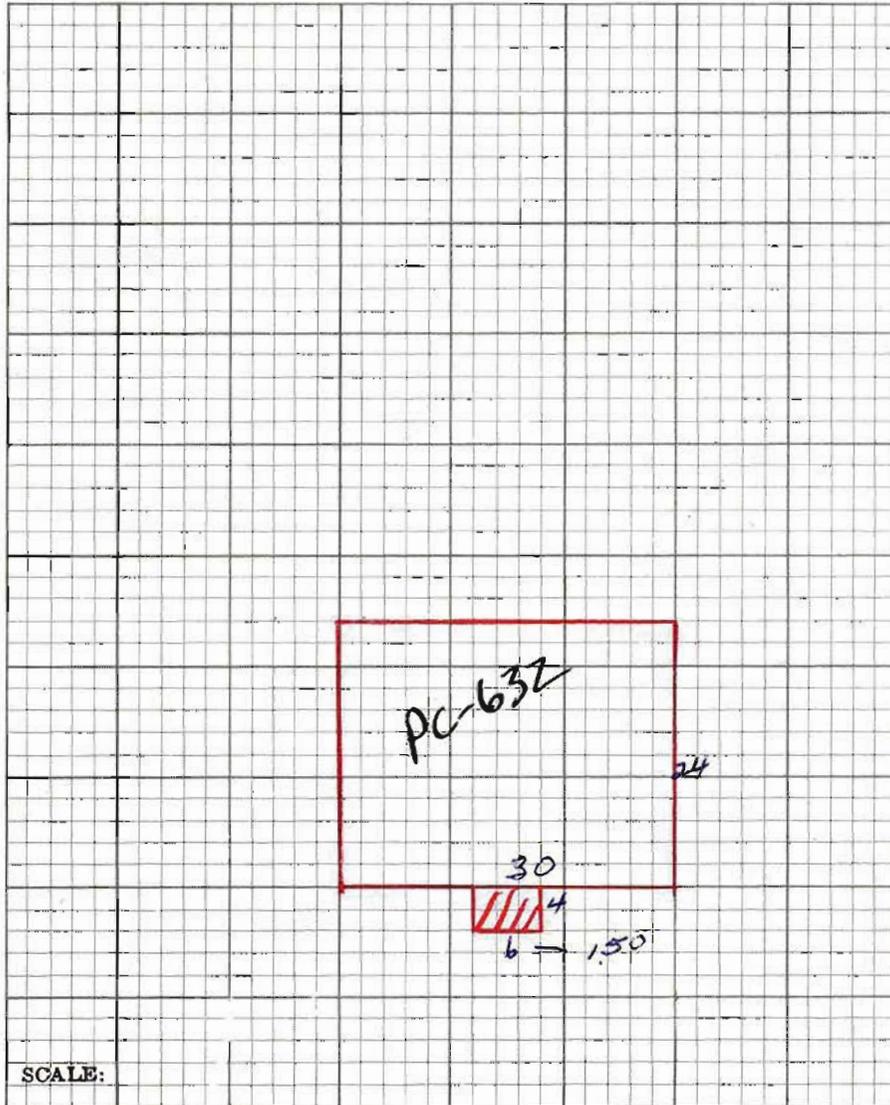
1964 Fur Age 2. Obsolescence _____

Inf. by { Owner - Tenant - Neighbor - Record - Est. Adj. Bld. Value _____ Conv. Factor x.47

Replacement Cost—1940 Base _____ Depreciation Column D 2 3 4 5 6 _____

1940 Base Cost, Less Depreciation _____ Total Value from reverse side Surveys 56

Total Building Value \$ _____



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Fac- tor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class 1 Depr. 2% 30

Cars 1 Floor wood Walls stg Roof T Doors 1

Size 10 x 18 Age 30+ Cost 223 x 47%

1940 Base Cost x 25 % Depr. = 56

Least Average Year of Construction Contribution: 56

REMARKS Year 1901 \$ 3761 = 91 % X 64 Year 5824

Year 1964 \$ 382 = 9 % X 1 Year 09

Average Year of Construction 1907 5833

61









PLANNING DEPARTMENT

Historic Preservation Board Staff Report

Subject: 1119 Park Avenue
Author: Anya Grahn, Historic Preservation Planner
Date: September 18, 2013
Application: PL-13-02036
Type of Item: Quasi-Judicial – Appeal of Staff’s Determination of Compliance with the Design Guidelines for Historic Districts and Historic Sites

Summary Recommendations

Staff recommends the Historic Preservation Board (HPB) review the submitted appeal of Staff’s determination denying the submitted Historic District Design Review (HDDR) due to the non-compliance with the Design Guidelines for Historic Districts and Historic Sites at 1119 Park Avenue. Staff has prepared findings of fact and conclusions of law affirming the determination of non-compliance for the Board’s consideration.

Description

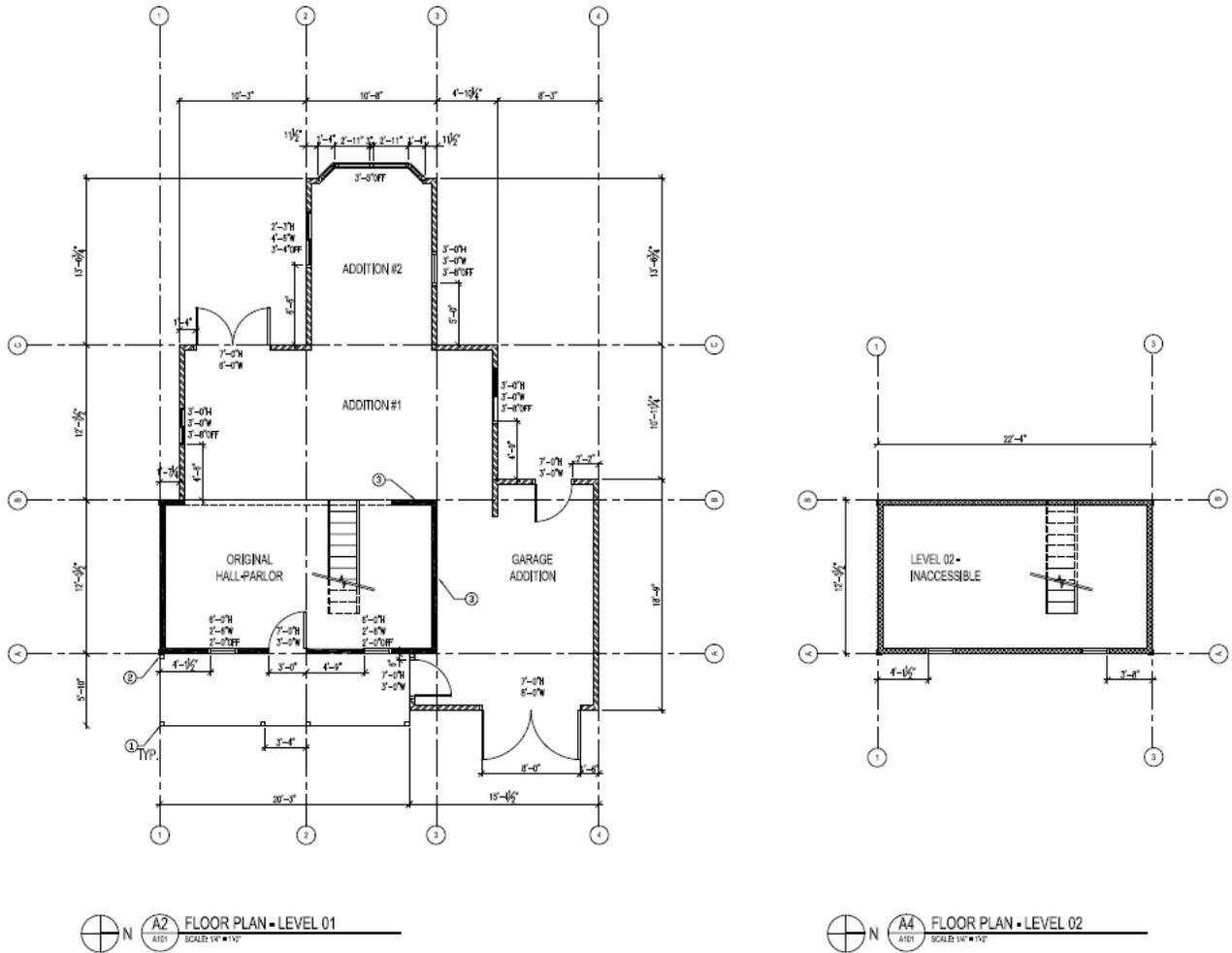
Applicant/ Appellant: Gregg Davison, property owner; Kurt Von Puttkammer, architect
Location: 1119 Park Avenue
Zoning: Historic Residential (HR-1) District
Adjacent Land Uses: Residential
Reason for Review: Appeals of Staff decisions regarding the Design Guidelines for Historic Districts and Historic Sites are reviewed by the HPB per 15-1-18(A) of the Land Management Code

Background

Built in 1895, the structure located at 1119 Park Avenue was initially constructed as a one (1)-story hall-and-parlor structure; however, a second level was added to the structure after 1907. A one (1) car concrete masonry unit (CMU) garage was added to the north side of the house prior to 1949, but is not considered historic at this time as it was constructed outside of the historic Mining Era and does not contribute to the architectural significance of the attached house. Two (2) rear additions were added to the main level in the 1970s/1980s. The Historic Sites Inventory (HSI) form stipulates that the structure has not been significantly altered and remains as it was described in the 1983 National Register nomination. The structure is listed as part of the overall Mining Boom Era Residences National Register Thematic District and is also individually eligible for the National Register of Historic Places. The HSI lists the property as a Landmark site.

On August 16, 2013, the City received an appeal of a Historic District Design Review (HDDR) application denied on August 5, 2013 for 1119 Park Avenue (PL-12-01611). The appeal is specific to Staff’s determination that the 1119 Park Avenue project does not comply with the Design Guidelines for Historic Districts and Historic Sites (Design

Guidelines) as well as not complying with the applicable Land Management Code (LMC) requirements. In an email to the applicant explaining his right to appeal, staff noted that the ten (10) day period in which the applicant could appeal would expire on August 16, 2013; however, Staff was mistaken and the ten (10) day period ended on August 15, 2013.



(Exhibit C-HDDR Submittal, Physical Conditions Report)

On May 16, 2012, the Building Department issued a Notice and Order to Repair and Vacate 1119 Park Avenue. The Notice and Order was recorded on June 28, 2012. During this time, the City commissioned Preservation Solutions (Dina Williams-Blaes) to complete a Physical Conditions Report of the property, documenting the physical characteristics and condition of the landmark house. A Historic District Design Review (HDDR) pre-application was submitted to the Planning Department on July 17, 2012. Planning Department Staff worked closely with the applicants to guide them through the HDDR process as well as create a stabilization (preservation) plan for the property.

On July 30, 2012, the Building Department received an application for selective demolition of non-historic components that were structurally deficient and stabilization of the structure. The Physical Conditions Report noted that the "original hall-parlor house has no foundation...but all material that once supported the perimeter walls has been removed. All that exists is the trenched perimeter where the original footing and/or foundation material was removed. The front and south sides of the building are suspended above the bottom of the trench by a series of 4 to 5 pipe jacks located haphazardly on the interior dirt where the floor joists and decking have been removed." Furthermore, inspectors noted that, in addition to the floor joists and sheathing having been removed, the original studs in the wall were removed and replaced with dimensional lumber in some areas. Overall, there was "no cohesive structural system."

The building permit for selective demolition and stabilization was issued on March 20, 2013. Work began in the spring of 2013 to stabilize the dilapidated landmark building with new footings and foundation. Inspections on this work began on May 1, 2013 and the most recent inspection was conducted on July 26, 2013. This is the first phase of stabilization, and additional inspections will be completed by the Building Department prior to closing the permit file. This first phase of stabilization will eliminate dangerous conditions and stabilize the structure, but will not make the structure habitable or permit any changes to the form of the historic structure.

On March 12, 2013, the Planning Department received a HDDR application for the proposed restoration and addition to the historic structure at 1119 Park Avenue. The applicant submitted the Physical Conditions Report completed by Preservation Solutions and a Preservation Plan by his architect Kurt VonPuttkammer. The application was deemed complete on May 23, 2013, and the first notice (14 days) was sent to all property owners within 100 feet.

The historic structure, not including the 1970s/1980s rear additions, has a footprint of approximately 252 square feet and the non-historic garage has a footprint of approximately 288 square feet. The applicant proposed removing the two (2) non-historic rear additions in order to accommodate a new addition with a footprint of approximately 788 square feet.

The proposed addition is the shape of a rectangular box attached to the rear of the historic structure with no transitional element. Planning Department staff met with and corresponded via e-mail with the applicant and architect to help guide the design into compliance with the Design Guidelines; however, on July 31, 2013, the applicant informed staff that they were submitting their final set of drawings. The HDDR application was denied by staff on August 5, 2013 as staff found it did not comply with the Design Guidelines (see Exhibit B). A notice (10 days) was sent to all property owners within 100 feet informing them of Staff's determination that the proposed plans did not comply with the Design Guidelines.

Historic District Design Standard of Review and Appeal Process

Pursuant to LMC § 15-1-18 Appeals and Reconsideration Process, appeals of decisions regarding the Design Guidelines shall be reviewed by the Historic Preservation Board (HPB) as described in LMC § 15-11-12(E). The HPB shall approve, approve with conditions, or disapprove the appeal based on written findings, conclusions of law, and conditions of approval, if any, supporting the decision.

Also pursuant to LMC 15-1-18(G), the HPB shall act in a quasi-judicial manner. The appellant has the burden of proving that the land use authority (Planning Staff) erred. The scope of review by the HPB shall be the same as the scope of review by Staff. Staff reviews a Historic District Design Review by determining compliance with the Guidelines. The HPB shall review factual matters de novo (as new) and it shall determine the correctness of a decision of staff in its interpretation and application of the Code.

Appeal

As shown by Exhibit C, the applicant proposed to stabilize and restore the historic structure as well as add a substantial rear addition. On the floor plan, the two (2)-story rear rectangular addition was attached to the historic structure with no transitional element. The north and south (side) elevations attempt to create a transitional element by reducing the height of the roof and applying a stone veneer to this portion of the rear addition to create additional separation and imply a transitional element.

As detailed in the analysis, Staff found that this rear addition did not comply with the Design Guidelines for Historic Sites in Park City. Staff found that the addition was not visually subordinate to the historic building when viewed from the primary public-right-of-way as a portion of the two (2)-story addition was visible behind the one (1)-story garage. The addition would contribute significantly to the loss of historic materials, notably the original wood siding along the west (rear) elevation. Where the new addition abuts the historic building, a clear transitional element between the old and the new was not proposed, as required by the Historic District Design Guidelines. Overall, the mass and scale of the rectangular shape of the proposed addition did not complement the visual and physical qualities of the historic building. Moreover, the new addition was not proposed in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored due to the loss of historic materials as well as the connection between the new addition and historic structure.

The appellant raised objections to the following reasons of denial of the proposed 1119 Park Avenue renovation project:

- Destruction of historic material.
- Destruction of historic features.
- Destruction of spatial relationships that characterize the site and building
- Proposed addition does not complement the visual and physical qualities of the historic parlor house.
- If at some point in the future the addition was removed, it would not be possible due to the manner of the design and construction of the addition.

Analysis

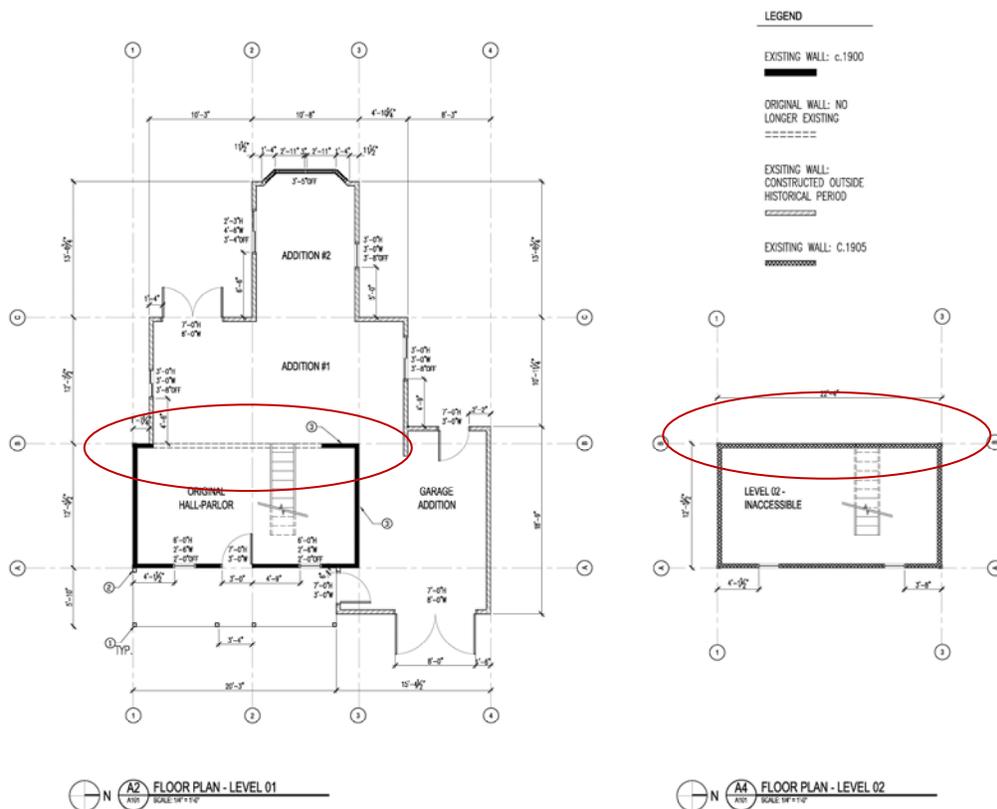
Destruction of Historic Material

The first objection raised by the appellant is that the proposed addition and new construction will not destroy historic material. Universal Design Guideline #9 states:

New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the site or building.

The appellant states that the proposed addition has a maximum disruption of 114 square feet of historic siding and trim from the second story west (front) elevation, all of which they plan to recover and use to replace weather damaged siding on the historic south gable elevation. They also argued that the framing along the west elevation of the historic hall-parlor house would be preserved in place.

As seen below and on the West Elevation drawing on the following page, though much of the original wall along the west elevation's first level does no longer exist due to incompatible 1970s/1980s additions, the second story wall remains intact.



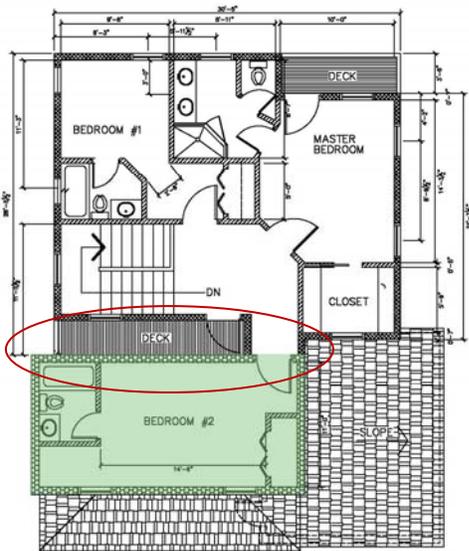
(Exhibit C-HDDR Submittal, Existing Conditions)



C2 WEST ELEVATION
 A201 SCALE: 1/4" = 1'-0"

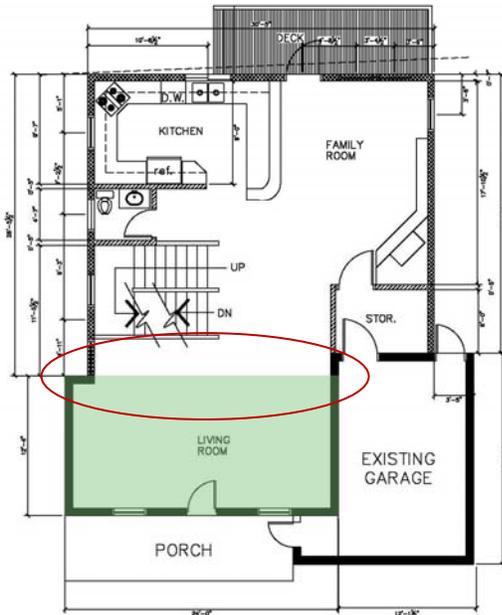
(Exhibit C-HDDR Submittal, Existing Conditions)

Staff finds that the new addition, as proposed, does not comply with this guideline. By attaching the new addition directly to the rear of the house, without a transitional element or connector between the new addition and historic structure historic materials along the second elevation of the west wall will be enclosed within the interior house and will be lost. Though the owner has proposed to retain this second floor west wall and even reuse the historic wood siding on other parts of the building, the enclosure of the wall does not permit its future preservation by the Planning Department. The wall could be removed in the future because the Planning Department does not regulate interiors. According to Specific Design Guideline D.1.3, additions should not obscure or contribute significantly to the loss of historic materials.



UPPER LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"



FIRST LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"

PROJECT DATA	
EXISTING HISTORIC STRUCTURE	592 S.F.
PROPOSED FIRST LEVEL	788 S.F.
PROPOSED SECOND LEVEL	756 S.F.
EXISTING GARAGE	233 S.F.
TOTAL	2,369 S.F.

(Exhibit C-HDDR Submittal, Floor Plans)

Destruction of Historic Features

As previously discussed, Universal Design Guideline #9 states:

New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the site or building.

The appellant noted that Webster's Dictionary defines feature as a prominent part or characteristic. The appellant confirms that the new addition will impact the siding, eave, and roof structure on the west (rear) wall. They find that the addition as proposed will hide all of these historic materials from street view, behind the addition and will be reused or retained. They stipulate that the historic materials are present in larger and prominent locations on the other walls of the historic hall-and-parlor house. The materials in question are so non-prominent, according to the appellant, that they retain the paint from pre-1980, while the other walls have been painted at least three times. Furthermore, the second story west (rear) wall can only be seen from the back yard or while standing on the shed roof.

Staff finds that historic preservation is more than preserving those elevations visible from the primary public rights-of-way. In the Introduction to the Design Guidelines, the Approach and Treatment for Historic Sites asks the applicant to evaluate the overall

character of the site, noting changes that have been made over time to the site and its historic structures.

In the past, Planning Staff has reviewed HDDR applications holistically, ensuring that new additions meet specific design guidelines outlined in D.2. General Compatibility. Section D Additions to Historic Structures states that additions should be visually subordinate to historic buildings when viewed from the primary public right-of-way; however, D.2.1 also says that additions should complement the visual and physical qualities of the historic building.

The 2009 Design Guidelines define a feature as:

A prominent or conspicuous part or characteristic, a typical quality or an important part of something.

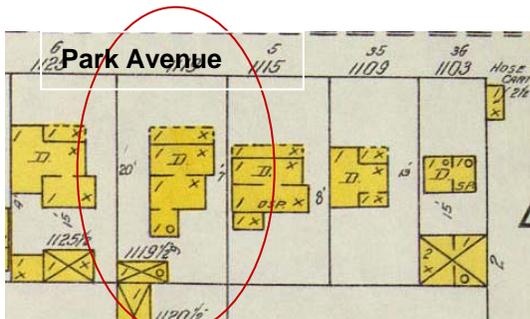
Exterior features of the building may include its roof, windows, entrances and porches, or even materials. According to the Secretary of the Interior's Standards, of which our Design Guidelines are based, protecting and maintaining these features involves the least degree of intervention or alteration. Staff finds that removing a length of approximately twenty-two feet (22') of the exterior wood siding, leaving only approximately two feet (2') of the original twenty-four foot (24') wall visible from the exterior, to accommodate the new addition would have an adverse effect on the features of the west elevation wall. Even if the removed siding were to be utilized to replace deteriorated siding elsewhere, moving such a large amount of wood siding would be a destruction of the historic materials.

As stated by the applicant, the proposed addition will impact the siding, eave, and roof structure of the west (rear) wall. Staff finds the new addition impacts a large area of the second level west (rear) elevation where historic materials are in-tact and remain in place on the historic structure. As previously described, the removal and possible destruction of the historic materials along this wall does not comply with Universal Design Guideline #9, and the proposal is not sympathetic to preserving these historic materials on the historic structure.

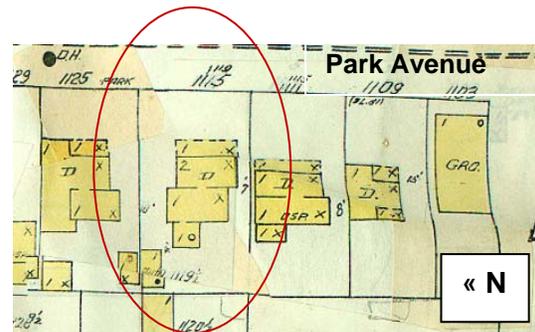
Destruction of spatial relationships that characterize the site and building

The third objection of the appellant also challenges Staff's interpretation of Universal Design Guideline #9 regarding staff's finding that the proposed addition will destroy spatial relationships that characterize the site and building as incorrect and improperly applied. The appellant contends that this provision would be relevant if the historic hall-and-parlor house was proposed to be moved, either within the site or removed from the site. They assert that their proposal does not include moving the historic hall-and-parlor house. Furthermore, there is currently an addition to the rear of the historic house, replacing a non-historic addition with another non-historic addition cannot change its spatial relationship to the site.

The destruction of spatial relationships that characterize the site and building is the third and last criteria of Universal Design Guideline #9 which, per Staff's interpretation, seeks to protect the historic materials, features, and spatial relationships of historic structures. The applicant is correct in that there currently exists non-historic rear additions to the historic structure. In addition, the Sanborn Fire Insurance maps document the evolution of the site and demonstrate that a number of rear additions have historically existed on this site.



1907 Sanborn Map
(Exhibit C-HDDR Submittal, Physical Conditions Report)



1929 Sanborn Map

Nevertheless, Staff finds that the proposed addition destroys spatial relationships in that it consumes both the first and second levels of the rear west wall. Previous additions, including the 1970s/1980s rear additions, are one (1) story in height. Though the 1970s/1980s addition adversely impacted the historic materials along the first level west (rear) elevation and resulted in their loss, the second level remained unscathed.

The arrangement and sequence of spaces are individually and collectively important in defining the historic character of the building. Unlike a building's façade, secondary elevations are often more functional than decorative. While there is greater flexibility in changing these elevations, specifically the rear, it is nonetheless important that the changes made do not have a detrimental effect on the overall historic character of the structure.

Staff finds that the proposed addition will have a significant impact, and thus a detrimental effect, on the historic materials along the west rear elevation. The mass and scale of the proposed addition consumes the rear wall, on both the first and second levels. This will, as previously noted, adversely affect the original wood siding along this elevation as twenty-two feet (22') in length of this siding will be removed or destroyed where the new addition abuts the historic structure. Within these twenty-two feet (22'), trim, eave, and roofing material will also be impacted. Whereas previously much, if not all, of the second level's rear elevation and roof were visible, this elevation will now be almost entirely obstructed by the new addition, leaving only two feet (2') of length along the rear elevation of the historic structure and three and one-half feet (3½') of the garage structure visible from the rear and side yards.

Proposed addition does not complement the visual and physical qualities of the historic parlor house

The applicant argues that the proposed addition complements the historic hall-and-parlor house in the following ways:

- In scope, their proposed addition replaces a previously constructed and reconstructed single story addition with a two (2) story addition;
- Location. The proposed addition is behind the historic house and is thus subordinate to it;
- Size. While larger than the historic hall-and-parlor house, is hidden behind the historic structure from the street. The appellant stipulates that over 90% of the addition is unobservable;
- Materials. The materials selected to clad the new addition are wood and stacked stone. The windows of the new addition are similar in type and size to those on the historic structure. Similarly, the trim also mimics that of the historic structure. The applicant ascertains that these materials complement the horizontal historic siding, windows, and CMU block of the 1940s attached garage.

Section D—Additions to Historic Structures of the Design Guidelines addresses how new additions should be designed in order to be compatible to historic structures. Staff has used these guidelines to analyze the proposed addition and found that the proposed design does not meet the following Design Guidelines:

*D.1.2 Additions should be visually subordinate to historic buildings when viewed from the primary public right-of-way. **Does not comply.***

A clear transitional element, or connector, is essential to introducing a new addition to the rear of a historic structure. This transitional element prevents the new addition from attaching to the historic structure and contributing to the significant loss of historic materials. Due to the loss of the west wall along the rear of the structure, the proposed new addition is able to attach itself to the historic structure with a much larger footprint than would typically be seen on the first level; however, a transitional element is necessary on the second in order to preserve the remaining material.

This transitional element would also provide greater spatial separation of the new addition from the historic structure and CMU garage. Because the two (2)-story addition is setback only three feet six inches (3'-6") from the north elevation of the garage, it is likely that the new addition will be visible from Park Avenue.

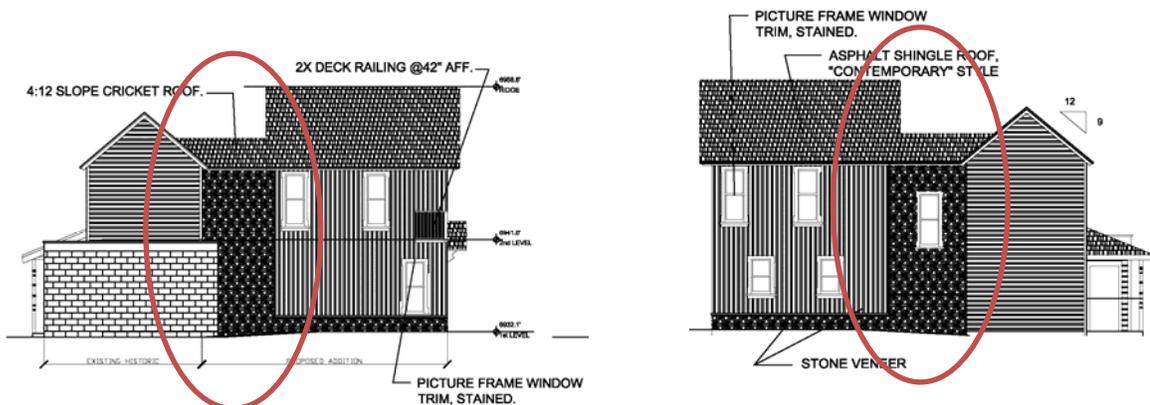
Staff finds there are discrepancies in the height of the roof. The applicant's elevation drawings show that the historic structure is 24'6" tall; however, the site plan shows the height of the roof ridge to be 21'6". The Physical Conditions Report by Preservation Solutions shows the height of the historic structure to be 24' tall. Staff recommends that if the Historic Preservation Board (HPB) denies the appeal that a licensed surveyor completes a roof plan for submittal. Therefore, it is likely that an addition measuring 26'7 1/4" will be visible from the Park Avenue elevation.

D.1.3 Additions should not obscure or contribute significantly to the loss of historic materials. Does not comply.

As previously described, the west (rear) wall on the second level of the historic house is original and contains a substantial amount of historic material. The proposed new rear addition abuts this wall with no transitional element. Though the applicant has offered to preserve the wall and the historic building materials, the enclosure of the wall prevents Planning Department assurance of its future preservation. The Planning Department regulates exteriors, but does not regulate interiors.

D.1.4 Where the new addition abuts the historic building, a clear transitional element between the old and the new should be designed and constructed. Minor additions, such as bay windows or dormers do not require a transitional element. Does not comply.

The design attempts to create a transitional element between the historic structure and the new addition through a change in roof height and materials. As shown on the plans below, the design calls for a stacked stone veneer to be applied to a portion of the north and south elevations in order to create a visual transition. Furthermore, the roof over this portion of the house is lower to contribute to this implied transitional element.



North Elevation

South Elevation

Staff, however, finds that this differentiation in materials and roof height does not create a clear transitional element between the new addition and the historic structure. The purpose of such a transitional element is to preserve significant historic materials, features, and form; create compatibility; and differentiate the new addition from the historic building, as seen in the diagram below.



The Design Guidelines specifically show how a transitional element, or connector, differentiates the new addition from the historic house (page 34).

The National Park Service's Technical Preservation Services division has published a series of briefs, intended to provide guidance on preserving, rehabilitating, and restoring historic buildings. According to *Preservation Brief 14—New Exterior Additions to Historic Buildings: Preservation Concerns*, the purpose of the transitional element or hyphen is to physically separate the old and the new volumes or set the addition back from the wall plane(s) of the historic building. Furthermore, the transitional element is intended to avoid a new addition that might unify the new and old into a single architectural volume, thus making it difficult to distinguish the old from the new. The historic structure should not be lost in a new and larger composition, but rather be clearly identifiable. Moreover, its physical integrity must not be compromised by the new addition.

As previously described, staff finds that the new addition consumes the historic structure, rather than complements it. On the floor plan, it is difficult to distinguish the historic structure from the new addition. The elevation drawings also make it difficult to differentiate the historic structure from its rear addition. The placement and size of the new addition will also compromise the physical integrity of the structure as much of the original siding on the second level west elevation will be consumed by the new structure.

*D.1.5 Retain additions to structures that have achieved historic significance in their own right. **Not applicable.***

The rear additions were constructed in the 1970s-1980s and thus have not achieved historical significance in their own right.

*D.2.1 Additions should complement the visual and physical qualities of the historic building. **Does not comply.***

The scale and mass of the new addition does not complement the existing historic structure. Directly behind the garage, the addition extends past the

historic hall-and-parlor structure and overshadows the historic structure and CMU garage. The large, rectangular shape of the new addition does not relate to the refined proportions of the historic structure. Moreover, with no breaks in the massing, the new addition appears “tacked” onto or attached to the historic, rather than integrated into its design.

*D.2.2 Building components and materials used on additions should be similar in scale and size to those found on the original building. **Does not comply.***

Though the design has been sympathetic to reproduce the proportions of historic elements such as doors and windows on the new addition, the overall use of materials on the addition greatly contrasts, rather than complements the historic structure. In particular, the extensive use of stone veneer is not consistent with the Design Guidelines and does not complement the existing historic wood siding. Traditionally, Staff has permitted the use of stacked stone on foundations; however, it is typically not seen on above finished grade elevations.

*D.2.3 Window shapes, patterns and proportions found on the historic building should be reflected in the new addition. **Complies.***

The applicant has chosen window and door sizes, glazing patterns, and proportions that complement and replicate those found on the historic structure.

*D.2.4 Large additions should be visually separated from historic buildings when viewed from the public right of way. **Does not comply.***

The two (2) story rear addition abuts the historic structure with no transitional element. As depicted in the elevation drawings, this large addition is visible from the primary right of way. Moreover, it consumes the historic structure from the secondary elevations. Rather than isolate the historic structure and create clear differentiation between the old and the new, the addition consumes the historic structure and creates a single architectural whole.

*D.2.5 In-line additions should be avoided. **Complies.***

The applicant is not proposing an in-line addition.

If at some point in the future the addition was removed, it would not be possible due to the manner of the design and construction of the addition.

The appellant states that Staff has denied his application because if at some point in the future the addition was removed, it would not be possible due to the manner of the design and construction of the addition. They believe this claim is without merit and is incorrect. A future removal of their proposed addition, they assert, would be a simple matter of demolition and removal that would leave the historic hall-and-parlor house nearly intact and whole, with only a three-foot (3') doorway to replace.

Staff finds that the proposed addition does not comply with Universal Design Guideline #10 which states:

New additions and related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored.

Staff's interpretation of this design guideline is that any new addition would involve some degree of material loss to the exterior of the structure; however, damaging or destroying significant materials and craftsmanship should be avoided as much as possible. Rather than consuming the historic structure in one comprehensive architectural design, introducing a transitional element creates separation between the new addition and historic structure, resulting in a limited loss of historic material as well as creating a clear definition between the old and the new. This clear definition ensures that, if someday in the future the addition were to be removed, the historic structure is isolated and clearly defined.

As previously outlined, staff does not find that this addition could be removed in the future due to the loss of historic materials along the west (rear) elevation of the historic structure. The proposed addition not only consumes much of the original wood siding material along the second level of the west elevation, but it also adversely impacts the trim, eaves, and roof. If the proposed addition were to be removed in the future, only the north, south, and east elevations of the structure would be intact.

In conclusion, staff finds that the design of the proposed addition does not comply with the Design Guidelines for Historic Sites. Building such addition would have an adverse effect on the historic structure, detracting from the historic house as well as diminishing its National Register eligibility.

Notice

The property was posted and a notice was mailed to adjacent property owners. Legal notice was also placed in the Park Record.

Public Input

No public input has been received by the time of this report.

Alternatives

A. Approve the Request:

The Historic Preservation Board may affirm the determination of denying the Historic District Design Review application due to non-compliance of the Design Guidelines for Historic District and Historic Sites, wholly or partly; or

B. Deny the Request:

The Historic Preservation Board may reverse the determination of denying the Historic District Design Review application due to non-compliance of the Design Guidelines for Historic District and Historic Sites; wholly or partly; or

C. Continue the Item:

The Historic Preservation Board may continue the discussion to a specified or unspecified date.

Summary Recommendations

Staff recommends the Historic Preservation Board review the submitted appeal of Staff's determination of non-compliance with the Design Guidelines for Historic Districts and Historic Sites for the restoration and proposed addition to be located at 1119 Park Avenue. Staff has prepared findings of fact and conclusions of law affirming the determination of non-compliance for the Board's consideration below.

Findings of Fact

1. The property is located at 1119 Park Avenue, more specifically.
2. The parcel is approximately 2,812.5 square feet in size.
3. The minimum lot size in the Historic Residential (HR-1) District is 1,875 square feet.
4. The property is located in the HR-1 District.
5. The property is identified on the City's Historic Sites Inventory and is designated as a Landmark Site. The house structure has been identified as historic; however, the garage and rear additions are not historically significant.
6. The proposal intends to restore the historic structure and add a rear addition.
7. The maximum building height allowed in the HR-1 District is twenty-seven feet (27') feet measured from existing grade.
8. There are discrepancies as to the height of the historic structure. The applicant's elevation drawings show that the historic structure is 24'6" tall; however, the site plan shows the height of the roof ridge to be 21'6". The Physical Conditions Report by Preservation Solutions shows the height of the historic structure to be 24' tall. Therefore, the addition measuring 26'7 1/4" exceeds the height of the historic structure and will be visible from the Park Avenue elevation.
9. The proposed addition is 26'-7 1/4" tall.
10. The required setbacks in the HR-1 District include a minimum 3' side yard setback as well 10' front and rear setbacks.
11. Per LMC 15-2.2-4, existing historic structures that don't comply with building setbacks are valid complying structure. The northwest corner of the structure is approximately six inches (6") from the north side yard property line. The southeast corner of the historic structure is approximately six inches (6") from the south side yard property line.
12. Additions must comply with building setbacks, building footprint, driveway location standards, and building height. The proposed new addition meets the required three foot (3') side yard setbacks as well as the ten foot (10') rear yard setback. Its proposed height of 26'-7 1/4" is less than the maximum 27' height limitation.
13. The proposed building design complies with the Universal Guideline #1 for Historic Sites in that the site will be used as it was historically or be given a new use that requires minimal change to the distinctive materials and features. The applicant intends to use the property for residential use, as it was utilized historically.
14. The proposed building does not comply with Universal Guideline #2 for Historic Sites because changes to the site or building that have acquired historic significance in their own right will not be retained and preserved. The west elevation of the historic structure will not be preserved, but destroyed by the new addition as proposed. Staff

finds that removing a length of approximately twenty-two feet (22') of the exterior wood siding, leaving only approximately two feet (2') of the original twenty-four foot (24') wall visible from the exterior will negatively impact the historic integrity of the structure by destroying historic materials.

15. The proposed building does not comply with Universal Guideline #3 due to the fact that the historic exterior features of the building will not be retained and preserved. Staff finds that removing a length of approximately twenty-two feet (22') of the exterior wood siding on the second level of the west elevation, leaving only approximately two feet (2') of the original twenty-four foot (24') wall visible from the exterior will destroy a significant portion of historic material.
16. The proposed construction does not comply with Universal Guideline #4 in that distinctive materials, components, finishes, and examples of craftsmanship will be retained and preserved. The west elevation of the historic structure will not be preserved, but destroyed by the new addition as proposed. Staff finds that removing a length of approximately twenty-two feet (22') of the exterior wood siding, leaving only approximately two feet (2') of the original twenty-four foot (24') wall visible from the exterior will negatively impact the historic integrity of the structure by destroying historic materials.
17. The proposed construction does not comply with Universal Guideline #5 as further clarification is necessary to determine if deteriorated or damaged historic features and elements should be repaired rather than replaced. The submitted Preservation Plan acknowledges that all non-historic structures will be removed from the site and that work will be completed to restore the historic two (2) story structure; however, the Preservation Plan does not go into sufficient detail in addressing what elements can be restored or what elements will need to be replaced in-kind due to deterioration.
18. The proposed building complies with Universal Guideline #6 as features that do not contribute to the significance of the site or building and exist prior to the adoption of these guidelines if proposed to be changed, will be brought into compliance with these guidelines. The applicant is proposing to remove the 1970s/1980s rear additions that do not contribute to the significance of the site.
19. The proposed building complies with Universal Guideline #7 due to the fact that the site will be recognized as a physical record of its time, place, and use. The applicant is not proposing to introduce architectural elements or details that visually modify or alter the original building design when no evidence of such elements or details exist.
20. The proposed construction does not comply with Universal Guideline #8 as further clarification is needed as to whether or not the applicant intends to use chemical or physical treatments that cause damage to historic materials. Specific restoration treatments were not addressed in the Preservation Plan. Moreover, a number of details outlined in the Physical Conditions Report, such as the condition of wood trim and wood windows, were not specifically addressed in the Preservation Plan.
21. The proposed addition does not comply with Universal Guideline #9 in that the new addition, exterior alterations, and related new construction will destroy historic materials, features, and spatial relationships that characterize the site or building. Again, the west elevation of the historic structure will not be preserved, but destroyed by the new addition as proposed. Removing a length of approximately

twenty-two feet (22') of the exterior wood siding, leaving only approximately two feet (2') of the original twenty-four foot (24') wall visible from the exterior, will negatively impact the historic integrity of the structure by destroying historic materials.

22. The proposed addition does not comply with Universal Guideline #10 in that the new addition and related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored. Staff does not find that this addition could be removed in the future due to the loss of historic materials along the west (rear) elevation of the historic structure. The proposed addition not only consumes much of the original wood siding material along the second level of the west elevation, but it also adversely impacts the trim, eaves, and roof. If the proposed addition were to be removed in the future, only the north, south, and east elevations of the structure would be intact.
23. The proposed building complies with Specific Guideline A1. Building Setbacks & Orientation in that the design maintains the existing front and side yard setbacks of Historic Sites; preserves the original location of the main entry; and maintains the original path and steps leading to the main entry.
24. Specific Guidelines A.2 Stone Retaining Walls, A.3 Fences and Handrails, and A.4 Steps are not applicable to this HDDR application.
25. The proposed design does not comply with Specific Guideline A.5 Landscaping and Site Grading as further clarification is necessary to determine compliance. The applicant did not submit a landscape plan.
26. The proposed design does not comply with Specific Guideline B.1 Roofs as further clarification is needed as to whether or not the design complies to B.1.3 as it is unclear whether or not historic building elements and materials will be removed to install gutters and downspouts.
27. The proposed design does not comply with Specific Guideline B.2 Exterior walls as further clarification is necessary on the treatment of the exterior building materials. It is unclear whether or not recognized preservation methods will be used to repair deteriorated and damaged façade materials. It is also unclear how historic elements such as windows will be disassembled and repaired. The Preservation Plan also does not specifically address which exterior materials will need to be replaced in-kind and which can be restored.
28. The proposed design does not comply with Specific Guideline B.3 Foundations as the plans do not specifically address how or if the new foundation will raise the historic structure and if the original grade can be retained.
29. The proposed design complies with Specific Guideline B.4 Doors. Historic door openings, doors, and door surrounds will be maintained. No new doors, screen doors, or storm doors were proposed.
30. The proposed design does not comply with Specific Guideline B.5 Windows as additional information is needed regarding whether or not the historic the wood windows on the façade will be restored or replaced in-kind and if storm windows are necessary.
31. Specific Guideline B.6 Mechanical Systems, Utility Systems, and Service Equipment does not apply as these systems were not addressed in the submitted plans.
32. The proposed design does not comply with Specific Guideline B.7 Paint and Color

- as further clarification is needed as to whether or not the stained board and batten wood siding will have an opaque rather than transparent finish. Moreover, the applicant did not indicate if low-VOC (volatile organic compound) paint will be used.
33. The proposed design does not comply with Specific Guideline C.1 Off-Street Parking as the no landscape plan was provided and it is unclear whether or not the parking area/driveway will be visually buffered from the adjacent properties.
 34. The proposed design complies with Specific Guideline C.2 Driveways.
 35. The proposed design does not comply with Specific Guideline D.1 Additions to Historic Structures. The new addition is not visually subordinate to the historic building when viewed from the primary public right of way, and the proposed addition will obscure and contribute significantly to the loss of historic materials. The new addition is also proposed to be tacked onto the historic structure, and no clear transitional element between the old and the new has been proposed.
 36. The proposed design does not comply with Specific Guideline D.2 General Compatibility. The scale and mass of the new addition does not complement the existing historic structure, but, rather, consumes the historic structure. The building components and materials proposed for the addition are not similar in scale and size to those on the original building as the proposed materials greatly contrast those of the historic structure. In particular, the extensive use of stone veneer is not consistent with the Design Guidelines. Moreover, the large addition is not visually separated from the historic building when viewed from the public right-of-way.
 37. Per LMC § 15-1-18(G) the appellant has the burden of proving that Staff erred in its denial of HDDR for 1119 Park Avenue.
 38. The appellant appealed staff's determination that the proposed work did not comply with Universal Design Guidelines #9 and #10.
 39. The discussion in the Analysis section of this Staff Report is incorporated herein.
 40. The application was received on March 12, 2013.
 41. The application was deemed complete on May 23, 2013. The property was noticed and letters were sent to adjacent property owners on that date.
 42. The application was denied by staff on August 5, 2013.
 43. The appeal was received on August 16, 2013.
 44. In an email to the applicant explaining his right to appeal, staff noted that the ten (10) day period in which the applicant could appeal would expire on August 16, 2013.

Conclusions of Law

1. The proposal does not comply with the Design Guidelines for Historic Districts and Historic Sites as conditioned.
2. The appeal was received more than 10 calendar days after Staff's final decision.

Order

1. The appeal is denied in whole and the Staff's determination is upheld.

Exhibits

- Exhibit A – Appeal
- Exhibit B – Denial Letter
- Exhibit C – HDDR Submittal

Exhibit A

Gregg Davison
51 Thaynes Canyon Dr.
Park City Utah, 84060
phone # 435-513-0704
Project Address:
1119 Park Ave
Park City, Utah, 84060
Re:Appeal of Planning Department Denial
Application # PL-12-01611

To whom it may concern,

As property owner and applicant I am appealing The Park City Planning Department denial of my HDDR submission for an addition to my home at 1119 Park Ave. Pursuant to Code and Guideline I request an appeal by "de novo" review of my application before the Historic Preservation Board at the next available meeting.

Comprehensive statement of reasons for appeal:

1. Staff has denied my application because they contend that the proposed addition and new construction will destroy historic material. This is wrong. The proposed addition has a maximum disruption of 114 ft sq of historic siding from the second story West wall, all of which will be recovered and used to replace the weather damaged siding on the historic South gable wall. The same for eave trim. The existing historic West wall framing material will be preserved in place.
2. Staff has denied my application because they contend that the proposed addition and new construction will destroy historic features. This is wrong.

The merriam webster relevant web definition of "feature" is:

"3a : a prominent part or characteristic".

The proposed addition to the West wall impacts siding, eve, and roof structure on said wall. All of these materials are hidden from view behind the house and will be reused or retained. These historic materials are present in larger and prominent locations on the other walls of the historic parlor house. The materials in question are so non-prominent that they retain the paint from pre 1980, while the other walls have been painted at least three times. The second story West wall can only be seen from the back yard or while standing on the shed roof.

3. Staff has denied my application because they contend that the proposed addition will destroy spatial relationships that characterize the site and building. This is wrong and improperly applied.



This provision would be relevant if the historic parlor house was proposed to be moved, either within the site or removed from the site. My proposal contains no moving of the historic parlor house. Furthermore, there is currently an addition to the rear of the historic house, replacing a non-historic addition with another non-historic addition can not change its spatial relationship to the site.

4. Staff has denied my application because they contend that my proposed addition does not complement the visual and physical qualities of the historic parlor house. This is wrong.

My proposed addition complements the historic parlor house by the following ways: a) In scope, my proposed addition replaces a previously constructed and reconstructed single story addition with a two story addition. b) location, my proposed addition is behind the Historic parlor house and subordinate to it. c) Size, my proposed addition while larger than the historic parlor house, is hidden behind it from the street with over 90% of the addition unobservable. d) materials, the materials selected to side my addition are wood, stacked stone, similar window in type and size and similar trim in type and size. These materials complement the horizontal historic siding, windows and CMU block of the 1940's attached garage.

5. Staff has denied my application because they contend that if at some time in the future the addition was removed it would not be possible due to the manner of design and construction of my addition. This claim is without merit and wrong. A future removal of my proposed addition would be a simple matter of demolition and removal leaving the historic parlor house nearly entirely intact and whole, with only a three-foot doorway to replace.

In Conclusion; all of the submissions that I have made to the Planning Department have been compliant with HDDR guidelines and The Land Management Code. The latest submission is by far the best from our standpoint in functional design and aesthetics. I hope this appeal process can be a continuation of the collaborative effort between my team and Park City Municipal to accomplish my goal of a 3 bedroom home for my family and a notable preservation of the landmark Walker House. I must confess to the frustration on my teams part to have worked for months with Planning Staff to only be rejected by what appears to be novel concerns.



Gregg Davison



August 5, 2012

Building • Engineering • Planning

Gregg Davison
51 Thaynes Canyon Drive
Park City, UT 84068

Notice of Planning Department Action

<u>Application #:</u>	PL-12-01611
<u>Subject:</u>	1119 Park Avenue
<u>Description:</u>	Historic District Design Review
<u>Action Taken:</u>	Denied due to Non-Compliance with Historic District Design Guidelines
<u>Date of Action:</u>	August 5, 2012

Dear Mr. Davidson:

Due to your submittal not meeting the requirements for the Design Guidelines for Historic Districts and Historic Sites, your application for 1119 Park Avenue has been denied and the file has been closed. Upon submittal of a new application that is in compliance with the Historic District Design Guidelines, staff will be able to review your application. As proposed, we have found that the new addition, exterior alterations, and related new construction will destroy historic materials, features, and spatial relationships that characterize the site and building. The new addition and related new construction was not proposed to be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored. Moreover, the proposed addition does not complement the visual and physical qualities of the historic building.

Therefore, due to the reasons noted above, your application with the aforementioned description is hereby denied. You may submit a new application that complies with current code requirements. If you have any questions regarding this letter do not hesitate to contact me at (435) 615-5067 or anya.grahn@parkcity.org.

Sincerely,

A handwritten signature in cursive script that reads "Anya E. Grahn".

Anya Grahn
Historic Preservation Planner

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060



HISTORIC DISTRICT/SITE DESIGN REVIEW

For Office Use Only

PROJECT PLANNER FRANCISCO ASTORGA

APPLICATION # PL-12-01611

DATE RECEIVED 3.12.2013

EXPIRATION _____

PLANNING DEPT _____

HIST. PRES. BOARD _____

BRD. OF ADJUSTMENT _____

APPROVED _____

APPROVED _____

APPROVED _____

DENIED _____

DENIED _____

DENIED _____

PROJECT INFORMATION

NAME: HISTORIC PRESERVATION PLAN and ADDITION

ADDRESS: 1119 PARK AVE

TAX ID #: _____ OR

SUBDIVISION: _____ OR

SURVEY: _____ LOT #: _____ BLOCK #: _____

APPLICANT INFORMATION

NAME: Gregg Dawson

MAILING ADDRESS: 51 Frances Canyon Dr.

CITY/STATE/ZIP: Park City, UT 84068

PHONE #: (435) 513 0704 FAX #: _____

EMAIL: mollyblooms@yahoo.com

Please check one:

OWNER OPTIONEE BUYER AGENT OTHER (Specify): _____

APPLICANT'S REPRESENTATIVE

NAME: Kurt Von Pultkemmer

PHONE #: 1-801-509-2829

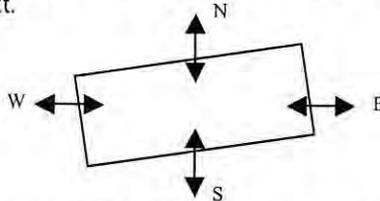
EMAIL: vonvisions@gmail.com

If you have questions regarding the requirements of this application or the process, please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



SUBMITTAL REQUIREMENTS - It is the policy of the Park City Planning Department to only accept applications that have fulfilled all of the items listed below at the time of submittal. (*Required prior to the Pre-Application Conference with the Design Review Team. Submittal requirements for the Pre-Application Conference are restated on Page 6 of this application form.)

- ✓✓ 1. Completed and signed application.
- ✓✓ ② Design Review fees - See the Fee Schedule in the Planning Department.
- ✓✓ 3. *Existing Site Plan - A certified topographical boundary survey of the existing site prepared by a licensed surveyor at an approved scale with two foot contours, along with 11"x 17" reductions, which includes the following:
 - a. existing grades referenced to USGS elevations
 - b. building footprint(s) of all existing buildings, structures and improvements on the site
 - c. existing physical encroachments on and off-site
 - d. existing utility locations
 - e. existing vegetation
 - f. existing drainage facilities
 - g. existing on- and off-site circulation and parking
- ✓✓ 4. *Physical Condition Report (see form that accompanies this application) - A written report, supported by photographic documentation, describing the existing conditions of the site.
- ✓✓ 5. *Current Photographs - Four (4) panoramic views of the existing property showing the site from the perimeter of the property from 90 degree compass intervals (camera facing toward site). Four (4) panoramic views showing the neighborhood taken from the perimeter of the property at 90-degree compass intervals (camera facing away from site). One (1) aerial photograph placing the subject property in a neighborhood context.

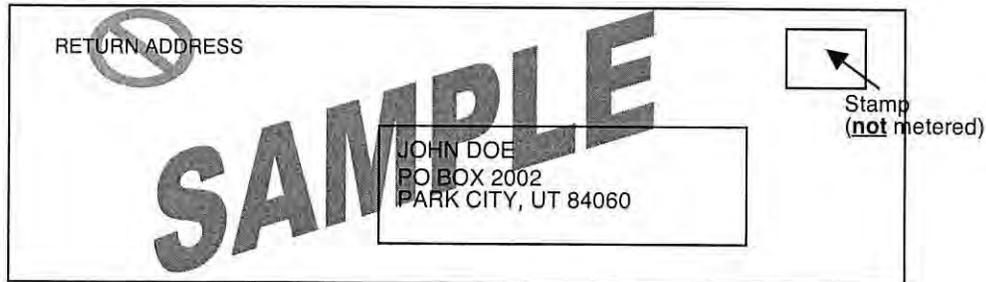


- ✓✓ 6. Proposed Site Plan - Based on the submitted certified topographic boundary survey drawn at an approved scale with two foot contours, along with 11"x17" reductions, which includes the following:
 - a. proposed grades referenced to USGS elevations
 - b. proposed building footprint(s) of all buildings, structures and improvements on site
 - c. superimposed building roof plans of all structures on site having ridgelines referenced to USGS elevations
 - d. existing physical encroachments on- and off-site
 - e. proposed utility locations
 - ✓ f. existing and proposed vegetation
 - g. proposed drainage facilities
 - h. proposed on- and off-site circulation and parking
 - i. proposed ground surface treatments
- ✓✓ 7. Complete set of proposed floor plans drawn at quarter-inch scale, along with 11"x17" reductions.
- ✓✓ 8. Complete set of proposed building sections drawn at quarter-inch scale, along with 11"x17" reductions.
- ✓✓ 9. Complete set of proposed building elevations - All building elevations illustrating the proposed work drawn to quarter-inch scale, along with 11"x17" reductions, with the elevations referenced to USGS datum on the submitted site plan demonstrating the following:
 - a. USGS datum points indicating existing and/or proposed floor levels
 - b. proposed final grade
 - c. top of foundations
 - d. overall roofline

If you have questions regarding the requirements of this application or the process, please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



- e. measurement line drawn 27 feet above and parallel to the final grade
 - f. a measurement string line identifying the highest point of structure
 - g. any additional diagrams necessary to confirm height compliance
 - h. proposed materials called out
- X 10. Streetscape elevation - A streetscape including 100 feet on either side of the subject property along the project side of the street to indicate accurate height, width, and building separations for all proposed work in relation to existing surrounding and adjacent buildings. It should be drawn at 1/8 inch scale (min. scale). If access to properties is limited, a photographic streetscape is allowed.
- N/A 11. Construction details - Any construction details drawn to an approved scale, along with manufacturer's cut sheets for proposed windows, doors, handrails, exterior trim and architectural ornamentation, etc.
- X 12. Presentation materials - The applicant should be aware that presentation materials for the Planning Department deliberations or the Historic Preservation Board meetings might be required. The presentation materials may include, but are not limited to the following:
 - a. 20"x30" presentation boards or electronically formatted equivalent
 - b. colored elevations and/or perspectives
 - c. additional photographs and/or graphic illustrations
 - d. a massing model
 - e. material samples
13. Notice Requirements - Two sets of stamped, addressed #10 size business envelopes for property owners within 100 feet of the proposed project.
 - a. List of property owners' names and addresses as described above.
 - b. Envelopes (example given below of proper addressing) with mailing labels and stamps affixed. **Do not use self-adhesive envelopes. Do not include a return address. Do not use metered postage.**



ADDITIONAL REQUIREMENTS FOR HISTORIC SITES

- J ✓ 14. *Measured As-Built Drawings - A complete set of measured drawings--elevations, floor plans, sections and/or details--depicting existing and/or historic conditions. Drawings:
 - a. should be drawn at quarter-inch scale, along with 11"x17" reductions.
 - b. must be produced from recorded, accurate measurements taken in the field and not based on estimates or assumptions, dimensions should be shown on the drawing.
 - c. must not include portions of the building(s) that are not accessible. Instead, these areas must be clearly labeled on the drawing as inaccessible.
 - d. must indicate existing materials along with construction details of any innovative or problematic structural or mechanical systems that are incorporated into the building.
 - e. should differentiate additions by shading as indicated:
 - i. original building - blacked-in walls
 - ii. addition(s) - different shading to illustrate the progression of additions and a legend with corresponding dates.
 - f. should include interior dimensions and room names (optional, but recommended)
- J ✓ 15. *Historic Preservation Plan (see form that accompanies this application).

If you have questions regarding the requirements of this application or the process, please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



- 16. *Historic Photographs (if available).
- 17. *Historic Site Form (available from the Planning Department).

PROPERTY INFORMATION

- 1. Historic Site? No Yes: Landmark Site Significant Site
- 2. Existing Zoning: HR-1 ; Applicant requesting a zone change? NO YES to _____
- 3. Current use of property: RES
- 4. Please check the following statements that are applicable to the proposed project:
 - Modifying the exterior of an existing building and/or structure.
 - Altering square footage of an existing building and/or structure.
 - Modifying elements of the site other than buildings and/or structures.
 - Constructing a new building and/or structure.
- 5. Lot size: Acres: _____ Square feet: _____
- 6. Building (main) square footage: Existing: _____ Proposed: _____
- 7. Building (accessory) square footage: Existing: N/A Proposed: N/A
- 8. Number of residential units: Existing: 1 Proposed: 1
- 9. Commercial Area: Gross floor area: N/A Net lease area: N/A
- 10. Type(s) of proposed business activity: Retail Office Other (specify): RES
- 11. Number of parking spaces: Existing: 1 Proposed: 1
- 12. Is any new construction or addition occurring on a slope greater than 30%? YES NO
- 13. Is the project located within the Sensitive Lands Overlay? YES NO
- 14. Ownership/Occupancy:
 - Owner-occupied Lease Condominium Nightly Rental Timeshare

ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me in writing that it has been deemed complete.

I will keep myself informed of the deadlines for submission of materials and the progress of this application. I understand that a staff report will be made available for my review the week prior to any public hearings for public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: [Signature] Date: 3/13/13
 Name of Applicant: Gregg Dawson
 Mailing Address: 51 Thayer Canyon Dr
 City/State/Zip: Park City, UT 84068

If you have questions regarding the requirements of this application or the process, please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



Phone #: (435) 513-0704 Fax #: _____
 Email: mollyblooms@gdoo.com

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization (provided) from the owner to pursue the described action.

Name of Owner: Gregg Dawson
 Address of Subject Property: 1119 Park AVE
 Signature: _____ Date: 3/13/13

1. If you are not the fee owner, attach another copy of this form that has been completed by the fee owner, or a copy of your authorization to pursue this action.
2. If a corporation is fee titleholder, attach a copy of the resolution of the Board of Directors authorizing this action.
3. If a joint venture or partnership is the fee owner, attach a copy of the agreement authorizing this action on behalf of the joint venture or partnership.
4. If a Home Owner's Association is the applicant then the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with a statement that the vote meets the requirements set forth in the CCRs.

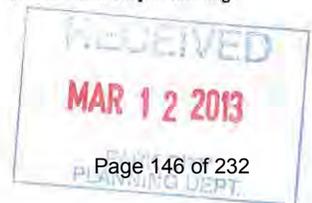
PLEASE NOTE: This affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to final action.

ACKNOWLEDGEMENT - APPLICATION MATERIALS AND REQUIREMENTS

As applicant for this proposal, I fully understand and agree to the following:

- This application is not deemed complete until the Planning staff has received all of the submittal requirements. The Project Planner will confirm a complete application in writing to the applicant.
- This application shall not be scheduled for review until the application is deemed complete.
- A fourteen (14) day public comment period will begin once a completed application is submitted.
- This Historic District/Site Design Review application will be reviewed for compliance with the *Design Guidelines for Historic Districts and Historic Sites* within forty-five (45) days of the end of the public comment period.
- I am in receipt of a current copy of the Steep Slope criteria and the specific zoning requirements of the Land Management Code for the area in which my project is located.
- I am in receipt of a current copy of the *Design Guidelines for Historic Districts and Historic Sites* that apply to my project.
- I am aware that all subdivision-related issues such as the removal of interior lot lines, combination or separation of existing lots and/or parcels, etc., shall be resolved prior to or in conjunction with the approval of this application.
- The approval of this project by the Planning Department is required prior to the issuance of any building permits.
- In the case of denial of this application, the Project Planner will notify me in writing of this action. If denied, I have the right to file an appeal of the decision, in writing, to the Historic Preservation Board within ten (10) days of said action.

If you have questions regarding the requirements of this application or the process, please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



Upon approval of this application, the Project Planner will notify me in writing. The action letter shall include any specific Conditions of Approval describing how the project shall be executed. Failure to adhere to the Conditions of Approval may result in a stop-work order during construction or the reconstruction of the project per Conditions of Approval at the applicant's expense.

Signature of Applicant: [Signature] Date: 3/13/13
Name of Applicant: Gregg Dawson
Street Address of Subject Property: 1199 Park Ave

If you have questions regarding the requirements of this application or the process, please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.

Snyder's Addition to Park City Block 5, Lot 5 & the Southerly Half of Lot 6



- Legend**
- ✦ Found Street Monument 359025
C/A Park Ave. & 13th St.
E-1890228
 - ⊕ Found meter 359025
⊕ Found meter 359025
⊕ Found 5/8" rebar-no cap
⊕ Found 5/8" rebar-no cap
 - ⊕ Electric meter
 - ⊕ Telephone box
 - ⊕ Water hydrant
 - ⊕ Utility pole

NARRATIVE

1. Survey requested by: Dina Blom, Preservation Solutions.
2. Purpose of survey re-establish the deed description, the topographic relief and the improvements on the property.
3. Basis of survey: Found Street Monuments on shown Block 5, Lot 5, and the Southerly Half of Lot 6, as shown on Map by Bush & Guegel, Inc. Recorded as Entry No. 197785 in the office of the Summit County Recorder, Subdivision of Block 5 from the Map of Park City by Colwell & Richards Engineers, traced from the original map July, 1927.
4. Aerial survey July 16, 2013, found as shown.
5. Located in the Northwest Quarter of Section 16, Township 2, South, Range 4 East, Salt Lake Base & Meridian.
6. The owner of this property should be aware of any items affecting the property that may appear in a title insurance policy.
7. An elevation of 8900.28 feet, from said Park City Monument Control Map at the intersection of Park Avenue and 13th Street, is the basis of elevations on this plat.

DEED DESCRIPTION

All of Lot 5, and the Southerly 1/2 of Lot 6, Block 5, Snyder's Addition to Park City, according to the Official Plat thereof, on file and of record in the Office of the Summit County Recorder, containing 2812.5 sq. ft., more or less.

SURVEYOR'S CERTIFICATE

I, J.D. Galley, a Registered Land Surveyor as prescribed by the laws of the State of Utah, Licensee No. 359025, do hereby certify that I have supervised a survey of the herein described property and that this plat is a true representation of said survey.

Date _____ J.D. Galley RLS#359025



FLOOR PLAN GENERAL NOTES:
 1. AREAS LACKING DIMENSIONS ARE A RESULT OF LIMITED ACCESS.

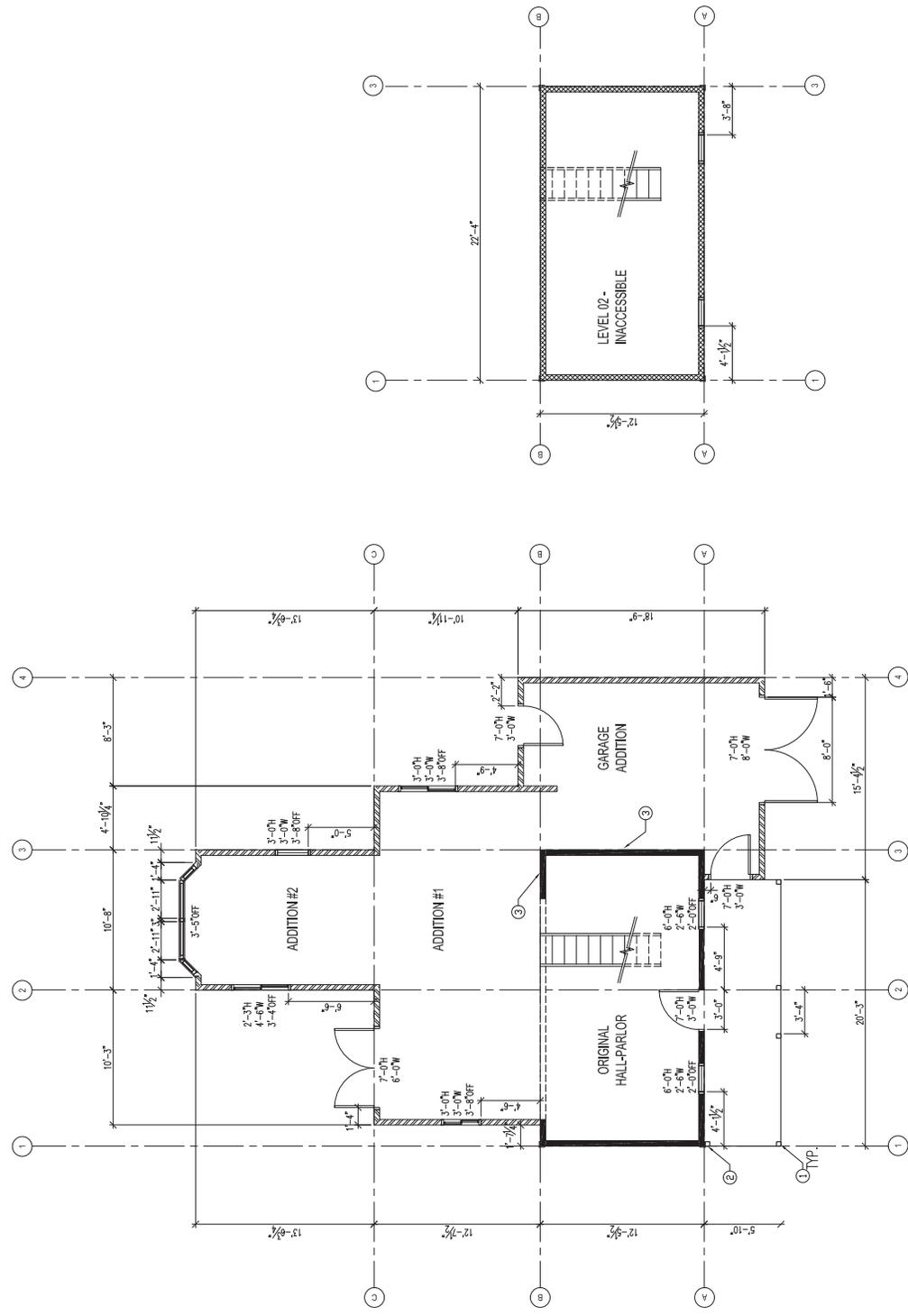
5

4

3

2

1



A4 FLOOR PLAN - LEVEL 02
 (A10) SCALE: 1/4" = 1'-0"

A2 FLOOR PLAN - LEVEL 01
 (A10) SCALE: 1/4" = 1'-0"



Architectural NEXUS, Inc.
 2001 Main Street, Suite 84 109
 Salt Lake City, Utah 84103
 1.801.352.3300 1.801.264.2600
 info@architecturalnexus.com

FLOOR PLAN KEY NOTES:
 1. 5/8" NOMINAL WOOD POST
 2. 1/4" NOMINAL WOOD CORNER BOARD
 3. ORIGINAL DROP/NOVELTY WOOD SIDING

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**PRESERVATION SOLUTIONS
 FIELD VERIFICATION
 119 PARK AVE.
 PARK CITY, UT**

REVISIONS

REVISIONS	DATE	BY

LEGEND

EXISTING WALL: c.1900
ORIGINAL WALL: NO LONGER EXISTING
EXISTING WALL: CONSTRUCTED OUTSIDE HISTORICAL PERIOD
EXISTING WALL: C.1905

NEXUS PROJECT #: 12134
 CHECKED BY: JBD
 DRAWN BY: LSC
 CURRENT/REV. DATE: 07/2012

EXISTING FLOOR PLANS

A101

1

2

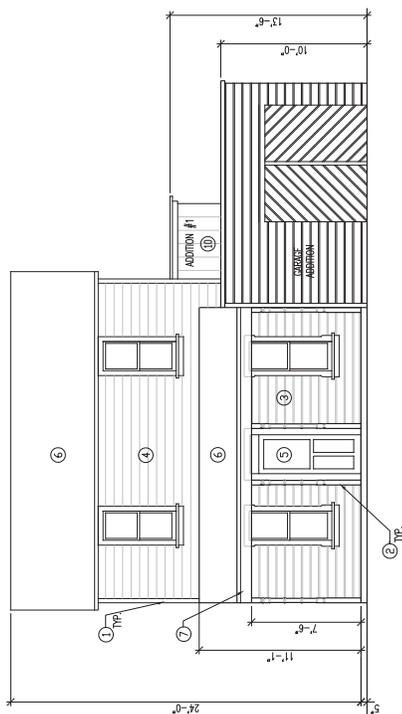
3

4

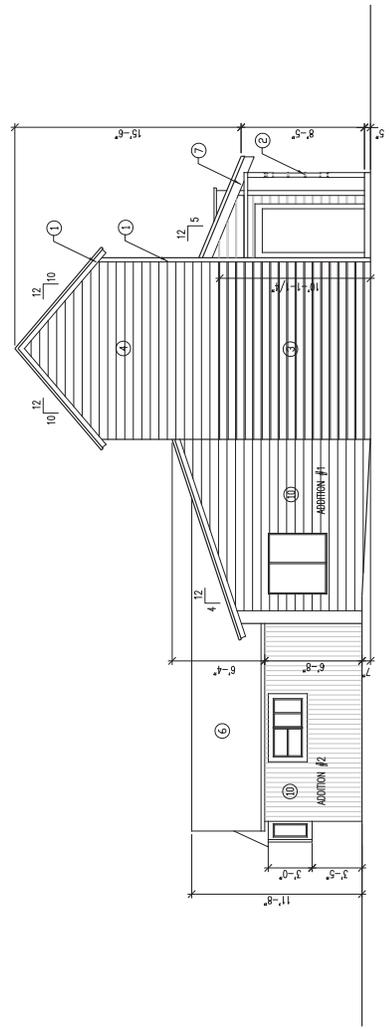
5

ELEVATION GENERAL NOTES:

1. AREAS LACKING DIMENSIONS ARE A RESULT OF LIMITED ACCESS



C2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



A2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES:

1. 1"x4" NOMINAL WOOD CORNER BOARD
2. 5"x5" NOMINAL WOOD POST
3. ORIGINAL DROP/NOVELTY WOOD SIDING
4. HISTORIC SHIP-LAP WOOD SIDING
5. SCREEN DOOR IN FRONT OF SOLID PANEL DOOR
6. 3"-1/8" ASPHALT SHINGLE ROOF
7. WOOD FASCIA
8. ELWOOD SIDING
9. WOOD SHINGLE ROOF
10. T1-11 SIDING
11. CONCRETE MASONRY UNIT WALL

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127134
Salt Lake City, Utah 84109
Tel: 801.462.5500 Fax: 801.462.5501
www.architecturalnexus.com



PRESERVATION SOLUTIONS
FIELD VERIFICATION
119 PARK AVE.
PARK CITY, UT

REVISIONS

NEXUS PROJECT # 127134
CHECKED BY: JBD
DRAWN BY: LSC
CURRENT DATE: 07/2012

EXISTING
ELEVATIONS

A201

FLOOR PLAN GENERAL NOTES:

1. AREAS LACKING DIMENSIONS ARE A RESULT OF LIMITED ACCESS

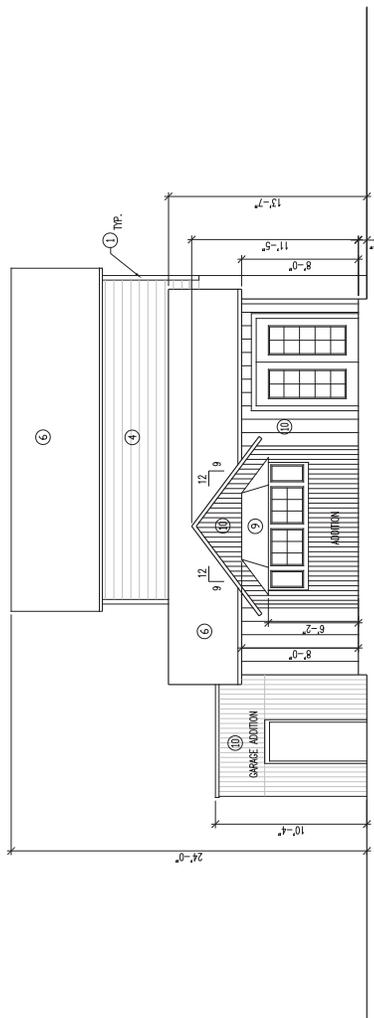
5

4

3

2

1



ELEVATION KEY NOTES:

1. 1 1/4" WOOD CORNER BUNG
2. 5/8" WOOD POST
3. ORIGINAL DROP/NOVELTY SIDING
4. HISTORIC SHINGLED WOOD SIDING
5. SCREEN DOOR IN FRONT OF SOLID PANEL DOOR
6. 3-7/8" ASPHALT SHINGLE ROOF
7. WOOD FASCIA
8. PLYWOOD SIDING
9. WOOD SHINGLE ROOF
10. T1-11 SIDING
11. CONCRETE MASONRY UNIT WALL

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 PARK CITY, UT**

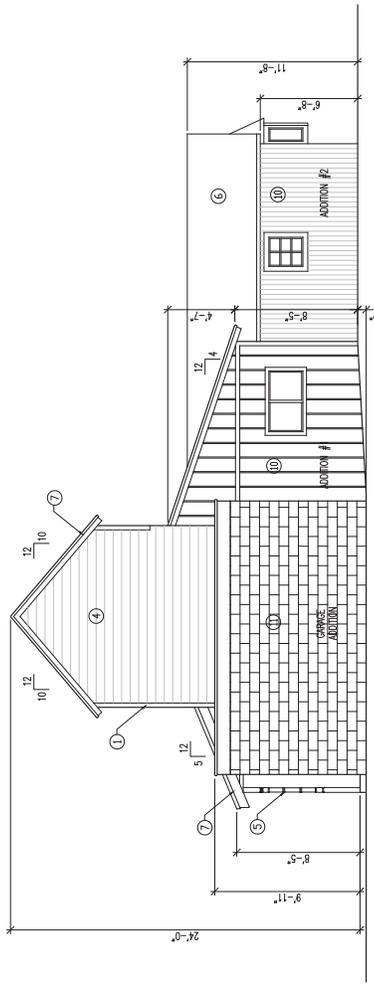
REVISIONS

NEWS PROJECT #: 12134
 CHECKED BY: JBD
 DRAWN BY: LSC
 CURRENT DATE: 07/2012

**SHEET CONTENTS
 EXISTING
 ELEVATIONS**

A202

C2 WEST ELEVATION
 2001 SCALE: 1/4" = 1'-0"



A2 NORTH ELEVATION
 2001 SCALE: 1/4" = 1'-0"



PROJECT NAME:

1119 PARK AVENUE
 PRESERVATION PLAN AND ADDITION TO
 PARK CITY, UTAH 84060

REVIEWS:
 DATE BY COMMENTS
 1 10/13 KJP (TY) SUBMITTA
 2
 3
 4

PROJECT INFORMATION:

DRAWN BY: KJP
 CHECKED BY: KJP
 PROJECT NUMBER: 130116
 DATE: JAN 7, 2013

SHEET TITLE:

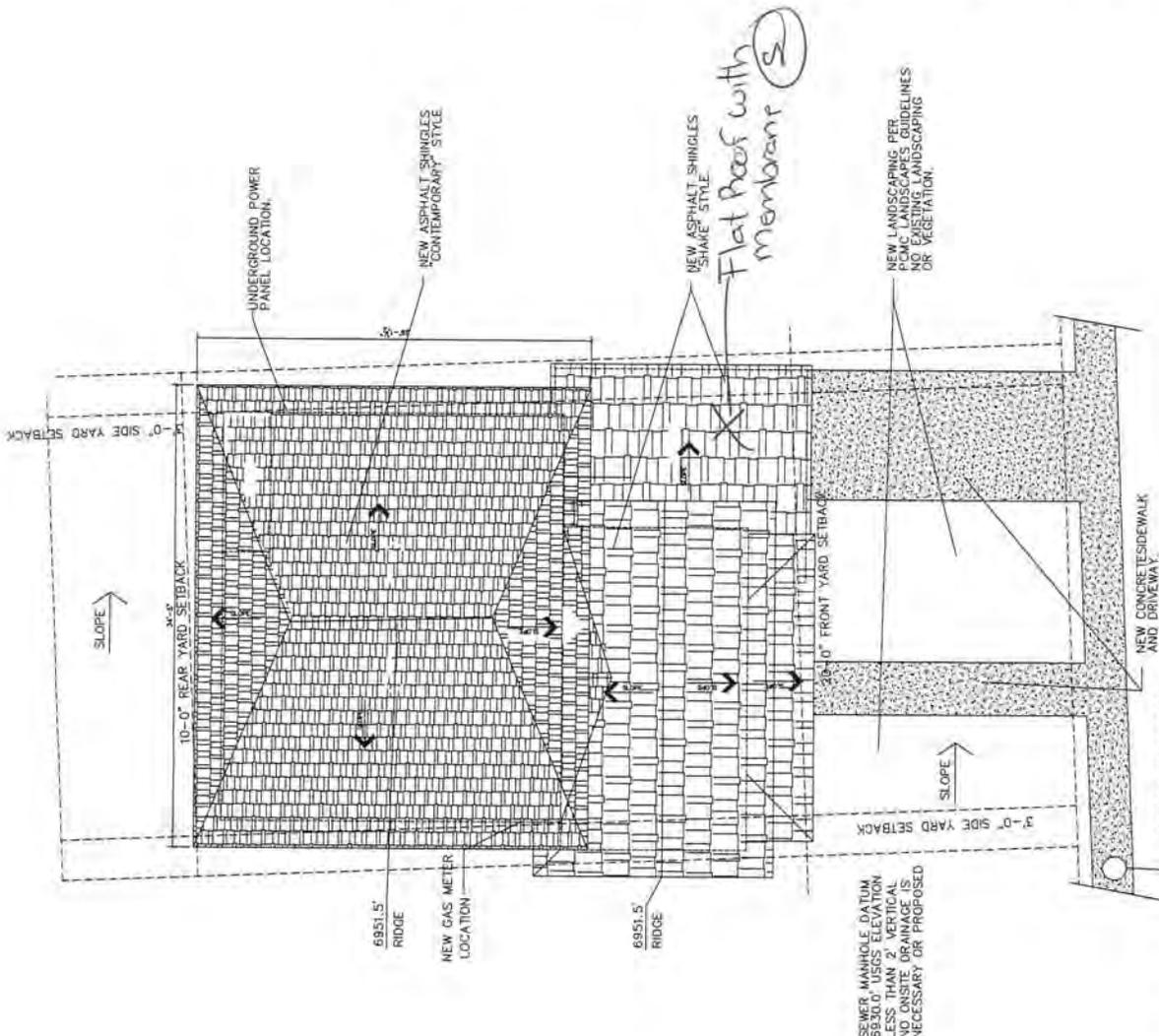
A-1

SHEET NUMBER OF SHEETS

MAY 02 2013

SITE PLAN

SCALE 1/4" = 1'-0"



PROJECT DATA

LOT SIZE (37.5' X 75')	2,812.5 S.F.
EXISTING HISTORIC STRUCTURE	964 S.F.
PROPOSED FIRST LEVEL	1,084 S.F.
PROPOSED SECOND LEVEL	1,052 S.F.
TOTAL LIVING SPACE	3,120 S.F.

SEWER MANHOLE DATUM
 6930.0' USGS ELEVATION
 LESS THAN 2' VERTICAL
 NO ONSITE DRAINAGE IS
 NECESSARY OR PROPOSED

SEWER MANHOLE DATUM
 6930.0' USGS ELEVATION
 LESS THAN 2' VERTICAL
 DROP ACROSS LOTS.



1119 PARK AVENUE
 PARK CITY, UTAH 84060

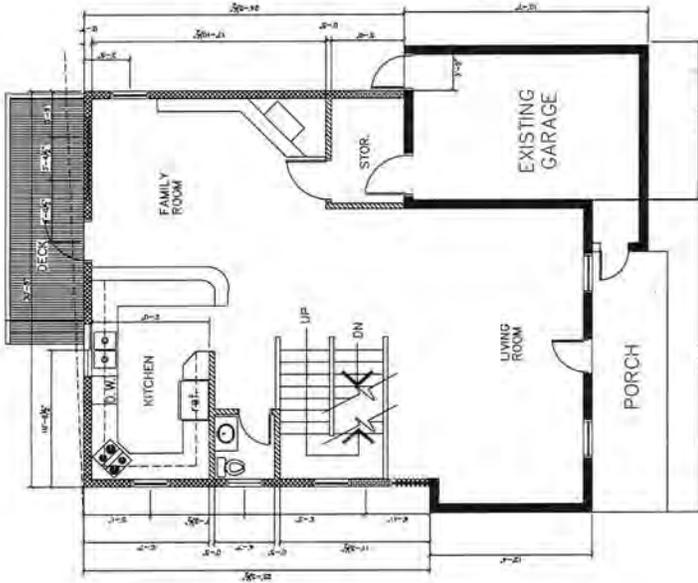
PROJECT NAME:

REVISIONS:
 DATE: 01/11/10
 BY: KJP
 CHECKED BY: KJP
 COMMENTS:
 ADD BATH
 ADD STAIRS
 ADD STAIRS

PROJECT INFORMATION:

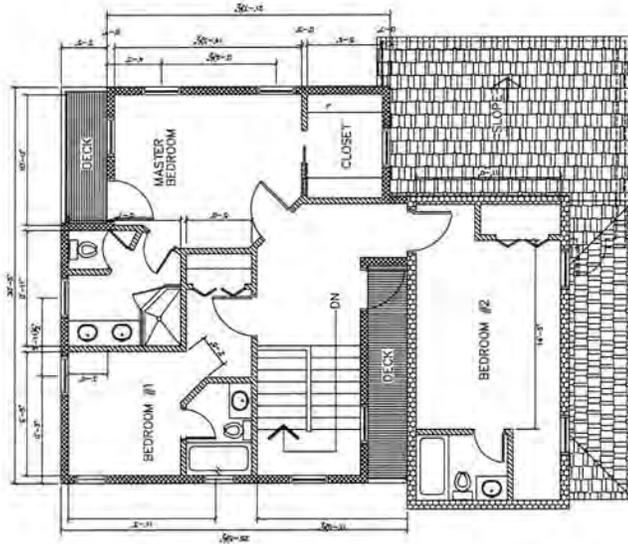
DRAWN BY: KJP
 CHECKED BY: KJP
 PROJECT NUMBER: 130110
 DATE: JAN 7, 2013

SHEET TITLE:



FIRST LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"



UPPER LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"

PROJECT DATA

EXISTING HISTORIC STRUCTURE	562 S.F.
PROPOSED FIRST LEVEL	788 S.F.
PROPOSED SECOND LEVEL	756 S.F.
EXISTING GARAGE	233 S.F.
TOTAL	2,339 S.F.



PROJECT NAME

1119 PARK AVENUE
 PRESERVATION PLAN AND ADDITION TO
 PARK CITY, UTAH 84060

REVISIONS:

DATE	BY	COMMENTS
1. 4/15/13	KJP	ISSUE SUBMITTAL
2. 6/21/13	KJP	CITY COMMENTS
3. 7/17/13	KJP	STAFF REVIEW COMMENTS
4. 7/17/13	KJP	ISSUE SUBMITTAL

PROJECT INFORMATION

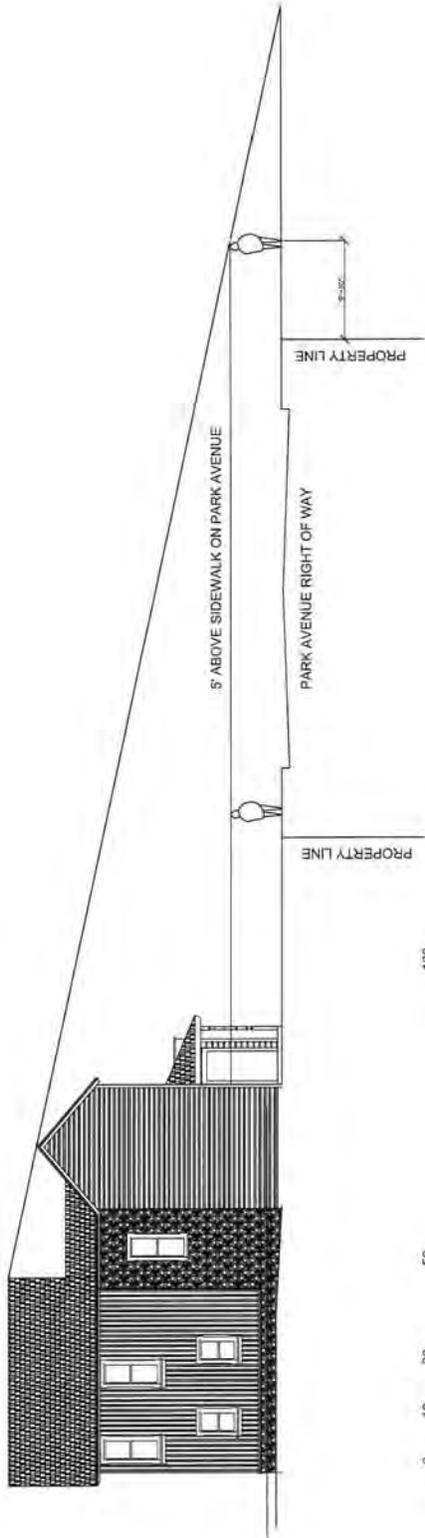
DRAWN BY: KJP
 CHECKED BY: KJP
 PROJECT NUMBER: 1301.00
 DATE: APRIL 15, 2013

SHEET TITLE

LINE OF
 SIGHT



SHEET NUMBER: OF SHEETS



LINE OF SIGHT DIAGRAM

SCALE 3/16" = 1'-0"

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060 ° (435) 615-4906 FAX



PHYSICAL CONDITION REPORT

For use with the *Historic District/Site Design Review Application*

PROJECT PLANNER FA/AG *For Office Use Only* APPLICATION # PL-12-01011
DATE RECEIVED _____

PROJECT INFORMATION

HISTORIC SITE? NO YES: LANDMARK SIGNIFICANT DISTRICT: HR-1 _____
NAME: House at 1119 Park Avenue
ADDRESS: 1119 Park Avenue
Park City, Utah 84060
TAX ID #: SA-48 OR
SUBDIVISION: _____ OR
SURVEY: _____ LOT #: _____ BLOCK #: _____

CONTACT INFORMATION

NAME: Dina Blaes, Preservation Solutions for Park City Municipal Corporation
PHONE #: 801/487-2021 FAX #: 801/486-8854
EMAIL: d26b0wb3@qwest.net

Instructions for Completing the PHYSICAL CONDITION REPORT

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings, and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

WRITTEN DESCRIPTION

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

PHOTOGRAPHS

Digital photographs must be included with this report. Low-resolution digital photographs should be inserted into the document to illustrate the written descriptions and high-resolution photographs should be submitted on a disk. Specifications for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

SITE FEATURES

A.1. TOPOGRAPHY - Describe the topography of the site, including any unusual conditions.

Describe the existing feature(s) and condition:

The lot is generally flat in the front and side yards. Because of the overall topography of the area, the rear yard is believed to be flat but the numerous and large piles of debris and fill create significant grade changes that are not natural. The most severe grade change occurs due to a mound of unknown composition in the NW corner of the property where the Sanborn Maps show there was an accessory building in 1907 and a different shaped accessory building in 1929.



1119 Park Avenue, primary façade.

A.2. LANDSCAPING - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates.

Describe existing feature(s) and condition:

In the front yard (east) of the house, a tree has been allowed to grow to approx. 22' on the NE corner of the original house. Overall, weeds, dirt, debris, and the aforementioned tree are all that exist as landscaping. The driveway and adjacent and parallel raised curb on the NE is overgrown. The front porch is concrete. A worn path to the porch exists though in photos from 2006 there was a concrete path from the sidewalk to the front porch. The path is not immediately evident and may be overgrown by weeds and grass or may have been removed.



The 2' side yard (distance from the house to the temporary fence installed by the city) on the south of the house has been trenched along the house for reasons that are not known to those preparing this report. The south side yard includes tall grass and unmaintained vegetation.

In the rear yard trees at the southwest corner of addition 1 have been allowed to grow too close to the house. A large tree in the north-rear side yard has also been allowed to grow and overhang the rear additions. Other than plentiful weeds, grass, and vines, the remaining rear yard landscaping is made up of piles of building materials, garbage, stoves, boats, trailers, garbage, tires, and other manmade debris. The large piles of fill and debris in the NW corner of the property have fostered growth of weeds and grass.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



A.3. RETAINING WALL(S) - Describe any functional or decorative walls on the site, including approximate dates of construction.

Describe the existing feature(s) and condition:

There are no retaining walls on the site.

A.4. EXTERIOR STEPS - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

There are no steps on the site.

A.5. FENCE(S) - Describe any fences on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:



For safety purposes, the city has placed a temporary chain link fence around the front and side yards to limit access to the site and structure; the fence is padlocked. In addition to the temporary chain link, a 3' high picket fence separates the front yard from the neighbor to the north. There is a wooden slat fence and a chain link fence along the remainder of the north property line. The wood fence turns the corner and runs along the rear (west) of the property and stops at the rear of an outbuilding on the abutting west property. A wood slat fence continues south of the neighboring outbuilding, turns the corner (southwest) and meets the chain link on the south property line in the rear yard. There is a power pole in the NW corner of the lot.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

A.6. OTHER SITE FEATURES (SPECIFY): _____

Describe the existing feature(s) and condition:

There are no other site features.

MAIN BUILDING

B.1. ROOF - Describe the existing roof materials, roof framing, pitch and elements such as skylights, vents or chimneys along with the approximate dates of the features.

Describe the existing feature(s) and condition:

The following description is based on the form of the house depicted in the accompanying measured drawings. The house is described in five parts; the original hall-parlor house, the front porch, the garage addition, addition 1 (shed addition projecting west of the original house), and addition 2 (gable addition that projects into the rear yard).

Historic hall-parlor portion: This is the primary roof. The form is an uninterrupted side gable with a 10/12 pitch that runs parallel with Park Avenue. The east pitch is clad in a black 3-tab asphalt shingle of undetermined age. The west pitch has the same 3-tab shingle from the ridge down with rolled roofing material from about the midpoint to the eave. Undetermined roofing materials under the re-roof shingles are clearly evident. The framing elements of the primary roof were inaccessible because of the condition of the structure and, therefore, not noted here.



Front porch: A 2/12 pitch partial width shed roof projects from a 2"x10" ledger board attached to the exterior siding of the primary façade.

The porch roof consists of 2"x10" rafters notched to accept a 4"x4" beam supported by four 5"x5" turned wood posts. The rafters overhang the posts by approximately 1' and the structure is not enclosed with a soffit. None of the porch materials date from the historic period.

Garage addition: A flat roof with undetermined roofing materials. This roof was inaccessible due to the condition of the structure and the site. The garage roof structure, visible from the interior, is 2"x8" rafters attached to a ledger board using undersized joist hangers.



The ledger board may or may not be secured directly to the

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north wall of the original hall-parlor house; two 4"x4" posts placed along the 12' span may be the primary support. The decking material is plywood.

Addition 1: A 3 or 4/12 pitch shed roof projects from the west wall of the original hall-parlor house. It is clad in a black 3-tab asphalt shingle of undetermined age. The roof is supported by wood 2"x4" mono-pitch trusses and include nail plates and hangers that likely date from the 1970s or 1980s. Only a few of the bottom chords are girder or wall supported and several top chords have been extended to reach the stud frame of the west wall.



Addition 2: A gable pitched roof addition projects perpendicularly from the shed addition to form a rear cross wing. The roof ridge beam sags, giving this addition a roof pitch that ranges from 6/12 to 9/12. It is clad in a black 3-tab asphalt shingle of undetermined age. The roof structure is unknown; it is neither visible nor accessible. The roof of the bay window on the rear of this addition is clad in cedar shakes.

B.2. EXTERIOR WALL - PRIMARY FAÇADE - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The primary façade is shown as *east elevation* in the accompanying drawings. It should be noted that the structure's foundation has been significantly compromised and exterior wall heights stated in this report are not precise nor are they based on an established datum plane.

The 2-story primary façade is original and was constructed in two parts during the historic period (1869-1929). The first floor is believed to have been constructed c. 1900 with the second story added c. 1905. The primary façade, approximately 22' wide, is near symmetrical with a flush central entry door flanked by narrow, vertically oriented one-over-one double-hung windows, typical of the hall-parlor house type. The upper story has two symmetrically placed narrow, vertically oriented double-hung windows.



The horizontal drop-novelty siding on the first story is approximately a 6 1/4" exposure. The second story also has a horizontal siding with a 6 1/4" exposure but it is a tongue and groove type. Both are original but are severely weathered and checked; some boards are cracked their full length. The 1" x 4"

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corner boards are original as well as the windows and the window trim. The blue paint appears to have been applied in the 1990's and is failing.

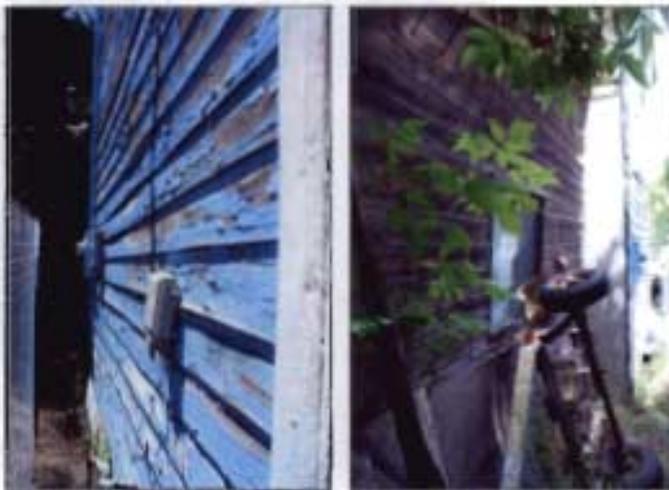
The extant front porch was added after 1948. It is made up of a shed roof that rests on a small beam resting on four 5"x5" wood turned posts. None of the porch materials date from the historic period.

A one-story cinder block garage addition was constructed to the north of the original hall-parlor house; exact date of construction is unknown. The garage is sided with a horizontal wood 1" channel siding with a 6 1/2" to 7" exposure. The garage has an unadorned carriage type door with the 1" channel siding set at a diagonal to form a chevron pattern.

B.3. EXTERIOR WALL - SECONDARY FAÇADE 1 - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The secondary façade 1 is shown as the *south elevation* in the accompanying drawings. It should be noted that the structure's foundation has been significantly compromised and exterior wall heights stated in this report are not precise nor are they based on an established datum plane.



The south façade of the hall-parlor house is original siding similar to the primary façade; the first story is a drop-novelty siding and the upper story is clad in a tongue and groove type. There are not windows on the original house. The gas meter is on this facade. The meter base and mast are also on this facade.

Addition 1: Wall height at the point the addition abuts the original hall-parlor is approximately 12'. At the west end, the wall height is approximately 8' from finished grade (finished grade is obscured by piles of debris and building

materials). The wall is clad in horizontal wood tongue and groove siding with approximately 6" exposure. The siding is weathered and shows signs of checking and cracking. This wall includes one aluminum horizontal window.

Addition 2: Wall height is approximately 6'8" from the finished grade. The wall is clad in T1-11 with a narrow exposure between vertical channels. There is one wood window on this façade, which appears to be a composite of two separate windows. The configuration is a result of the cobbled-together nature of the window (likely salvaged) and appears to be fixed.

B.4. EXTERIOR WALL - SECONDARY FAÇADE 2 - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

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The secondary façade 2 is shown as the *north elevation* in the accompanying drawings. It should be noted that the structure's foundation has been significantly compromised and exterior wall heights stated in this report are not precise nor are they based on an established datum plane.

A one-story cinder block garage addition obscures the first floor of the original hall-parlor house. It should be noted, however, that the original drop-novelty wood siding serves as the interior wall finish of the south wall of the garage.

Addition 1: Wall height at the point the addition abuts the original hall-parlor is approximately 12' to 13'. At the west end, the wall height is approximately 8' from finished grade (finished grade is obscured by piles of debris and building materials). The wall is clad in T1-11 with approximately 12" wide exposure between approximately 1" vertical channels. This wall includes one vinyl horizontal slide window.

Addition 2: Wall height is approximately 6'-8" from the finished grade. The wall is clad in T1-11 with a narrow exposure between vertical channels. There is one multi-light wood window on this façade. The window (likely salvaged) appears to be fixed. The window was badly built, is in terrible disrepair, and has no salvage value.



B.5. EXTERIOR WALL - REAR FAÇADE - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The rear facade is shown as the *west elevation* in the accompanying drawings. It should be noted that the structure's foundation has been significantly compromised and exterior wall heights stated in this report are not precise nor are they based on an established datum plane.



The first floor of the original hall-parlor house is obscured by later additions, but it should be noted (see plans) that some of the original drop-novelty wood siding is extant on the west wall of the house. It has been covered with wallpaper and additional materials and is not completely visible. Remnants of roofing tar along the upper section of the west wall show that the original shed roof met the house at a higher elevation.

Garage addition: The rear wall of the garage is clad in a T1-11 with narrow exposure between small vertical channels and includes a door opening with a flush door. Some of the cladding is missing, exposing a section of the stud wall.

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Addition 1: On the north side, the addition is clad in T1-11 with approximately 12" wide exposure between approximately 1" vertical channels. On the south side, the wall is clad in the same T1-11 siding but includes a multi-light double French door. The doors are non-original steel with plastic muntins for the divided lights.



Addition 2: The wall is clad in T1-11 with a narrow exposure between vertical channels. Centered in the rear façade is a two-angle bay window with fixed sidelights and paired central three-over-three awning type windows. The window was badly built, is in terrible disrepair, and has no salvage value.



B.6. FOUNDATION - Describe the existing foundation noting the current materials, evidence of previous upgrades as well as evidence and probable cause of failure or deterioration and approximate dates of construction.

Describe the existing feature(s) and condition:

The original hall-parlor house has no foundation. County tax assessor building cards suggest that the structure had wooden sills on dirt or rubble foundation as late as 1968, but all material that once supported the perimeter walls has been removed. All that exists is the trenched perimeter



where the original footing and/or foundation material was removed. The front and south sides of the building are suspended above the bottom of the trench by a series of 4 to 5 pipe jacks located haphazardly on the interior dirt where the floor joists and decking have been removed.



There is a poured concrete foundation wall under addition 1 of a recent vintage, evidenced by the concrete and sill sealer foam.

A foundation under addition 2, if extant, was neither visible nor accessible due to the extensive piles of debris both inside and outside the structure.

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B.7. PORCH(ES) - Describe the current porch(es) including materials, finishes, dimensions, evidence of changes and the approximate date of construction.

Describe the existing feature(s) and condition:

The front porch is the only extant porch. The concrete deck of the porch and the roof structure appear to be added sometime after 1948. Historic photographs show narrower structure with a shallow hip roof with brackets at the top of the slender posts. Paint line shadows on the primary façade show the locations of the original porch posts.



B.8. DORMER(S) / BAY(S) - Describe any projecting dormers or bays noting the location, materials, finishes, dimensions and approximate date of construction.

Describe the existing feature(s) and condition:

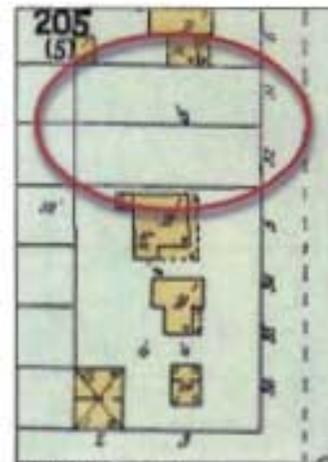
There is one bay window on the west façade of addition 2. It is described above in Section B.5.



B.9. DEVELOPMENT HISTORY - Briefly describe the development history of the site in a chronological order of development including changes to the site, original building, accessory buildings, and structures. For Historic Sites, this description should correspond to the measured as-built drawings of the buildings/structures:

The following information is based on various photographs, Sanborn Fire Insurance maps (1900, 1907 and 1929), Summit County Tax Assessor Cards, and the Utah SHPO's Historic Site-National Register nomination form (dated 1983).

The original hall-parlor house was constructed as a one-story house after 1900. Despite what is written on the 1983 National Register nomination form, the one-story structure does not appear on Sanborn Fire Insurance maps until 1907. The second story was added before 1929 and the house is considered historically significant as a two-story hall-parlor type. When originally constructed, the home had a full-width front porch and two rear one-story additions; one roofed with wood shingles and the smaller one roofed with a non-combustible material; likely metal. In addition, a fairly large accessory structure

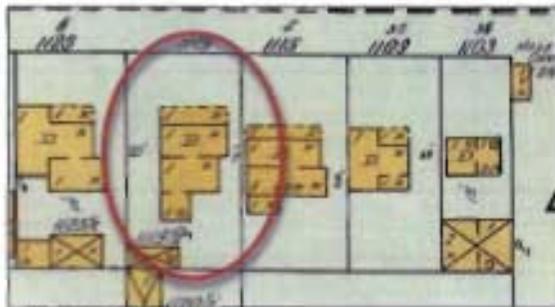


1900 Sanborn Map

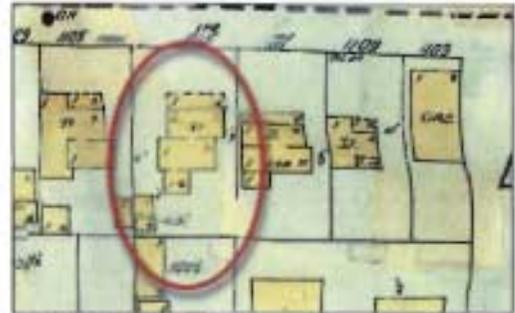
If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-6060.

was constructed in the northwest corner of the property. It was a one-story stable with a metal roof.

According to Sanborn maps, by 1929 the main house was two-stories and still had a full-width porch and two rear additions; the same general configuration reflected in the 1907 Sanborn map. An accessory structure was located in the northwest corner of the property but was smaller, not longer used as a stable, and was roofed in a composite material.



1907 Sanborn Map



1929 Sanborn Map

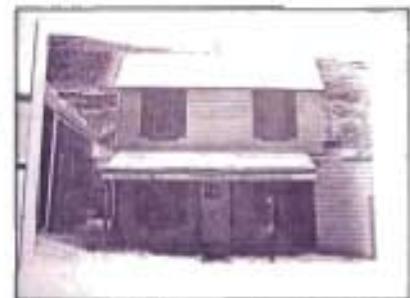
A tax photo from c.1935 taken at an oblique angle facing northwest shows that the full-width front porch has been shortened and centered on the primary façade. The porch roof is a very low-pitched truncated hip roof with a decorative crenellation. Decorative cutwork brackets top the slender porch posts. The porch decking is narrow and made of wood. The windows appear as they do today; on the lower level they flank a slightly off-center entry door and on the upper level are symmetrically placed on the façade.



Tax Photo c.1935

A small portion of the rear shed addition is seen and suggests a far steeper roof pitch that exists today.

Summit County Tax Assessor cards from 1949, 1958, and 1968 show significant changes to the house. By 1949, the one-story cinder block garage has been built but the floor is dirt. The assessor indicates a full dirt cellar beneath the house and 2/3 of the siding is wood and 1/3 is sheet. Unfortunately, the location of the siding is not specified. Other than the garage and a small 6'x5' pad or structure attached to the rear addition, the footprint remained as it appeared in the 1929 Sanborn Fire Insurance map. The building card does not reflect any accessory or outbuildings so it is assumed the accessory structure from the 1929 map was demolished and removed. By 1958, very little has changed except that the house is listed as vacant and most of the information recorded on the card is given to the assessor by the neighbor. In 1968, the house remained vacant and the 6'x5' addition on the rear is recorded as a rear porch. Again, in 1968, the footprint remained largely as it was in 1949 and 1929.



National Register nomination file photo, 1983.

In 1983, the Utah State Historic Preservation Office nominated the property to the National Register of Historic Places as part of

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the Mining Boom Era Residences Thematic Historic District. It was listed and remains on both the Register and the city's Historic Sites Inventory. It is one of only three mining era residences to have a second story added during the historic period; the others are 125 Main Street and 150 Main Street.



Reconnaissance Level Survey photo, 1995.

By 1995, the site reflected the general form seen today; the porch deck was concrete, the porch was extended the full-width of the primary façade except where it abuts the garage addition. The rear facades are not visible in the 1995 Reconnaissance Level Survey photographs. It is also not clear when the extensive interior demolition began.

Currently, the structure is severely compromised in terms of its structure and historic integrity. Much of the historic material is lost. None of the interior walls from the historic period remain and the original substructure from the original hall-parlor is gone. The only remaining materials from the historic period are the 1) siding materials on the

north, east, and south facades; some material is extant on the west façade but it may not be salvageable, 2) the original wood windows and trim, and 3) approximately 4 or 5 wall studs.

B.10. MECHANICAL SYSTEM

Describe the existing mechanical system and condition:

There is no mechanical system. There is a gas meter on the south side of the original hall-parlor portion of the structure and there are parts of ductwork lying in the dirt inside and outside the structure. There are several wood burning stoves in the back yard and there are empty propane tanks piled around the site. But there is no evidence of a functioning mechanical 'system.'

B.11. ELECTRICAL SYSTEM

Describe the existing electrical system and condition:

There is a meter base and service entrance on the south side of the original hall-parlor portion of the building and there is Romex visible in several areas on the interior. Many of the wires are out and many of the metal electrical boxes are just hanging loosely from what is left of the walls. There is no working electrical 'system.'

B.12. STRUCTURAL SYSTEM

Describe the existing structural system, including the foundation, floors, walls, and roof structure. Park City will allow very limited and non-structural disassembly of a structure to investigate these conditions.

Describe the existing structural system and condition:

The following description was not prepared by a structural engineer but reflects the team's extensive experience and some common sense – A complete structural analysis was not conducted.

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The disassembly has already been done and it is not limited. The floor joists and sheeting assembly in the main house and the shed roof addition have been removed completely. From the front door, one has to step down 3+' to the uneven dirt and rock "floor." With the original foundation removed and the roof structure supported only by 4 to 5 pipe jacks, the house is unsafe.

The original studs in the walls have been removed and replaced with dimensional lumber in some areas. Spot footings have been poured in a few locations but the beam spanning those has warped, waned, and failed. Attempts at bracing it further are unsophisticated at best and negligent at worst. The roof trusses of the shed roof addition are failing and in most cases fall short of the bearing wall. The 4'x8' beam that was meant to carry half of the trusses is salvaged lumber and fails to have permanent trimmer or king stud support. The stairs to the upper level are supported only by a broken piece of 2'x12' board hanging from above and a short salvaged section of wall resting in the dirt. We did not attempt to use the stairs, nor should anyone else. There is no cohesive structural system.



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B.13. HAZARDOUS MATERIALS

Provide a statement regarding the presence of hazardous materials including, but not limited to, lead-based paint, asbestos and mold. Describe the materials' location on the site, the test methods used to verify the hazardous material, and the extent of the problem:

Lead paint may exist in the exterior paint of the original hall-parlor portion of the building. Since there are no interior finishes there is probably no lead paint elsewhere, but the site should be evaluated further. The existence of asbestos and mold could not be determined. While the team did not diligently inspect for scat, it is reasonable to assume the site has been, and may currently be, inhabited by raccoons, rats, squirrels, bats, snakes, feral cats, and other nuisance wildlife.

B.14. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

None

MAIN BUILDING - DETAILS

C.1. WINDOWS - Describe the number of windows, dimensions, configuration of panes, types, whether the windows are original to the building (if known) and approximate dates.

Describe the existing feature(s) and condition:

There are four original wood windows, all located on the primary façade. They are double hung, single pane. Some of the glass is missing and the sashes are painted closed. The sills are badly checked and the checkrails are damaged on the second story.

The remaining windows include the aluminum horizontal slide unit on the south elevation of addition 1 and the vinyl horizontal slide unit on the north side of addition 1. In addition, various salvaged wood windows are used



on all three facades of addition 2. There is no evidence to suggest these windows were once part of the original house and could not be reused because they are in severely deteriorated condition.

C.2. DOORS - Describe the doors including materials, dimensions, types, whether the doors are original to the building (if known) and approximate dates.

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Describe the existing feature(s) and condition:

None of the doors are original. The front door is a flush door - no panels. The double French door located on the west elevation of addition 1 is steel and plastic. The hollow core interior door used to access the garage from the rear yard has deteriorated and is half gone.

C.3. TRIM - Describe the trim (window and door, eaves and soffits, corner boards, pilasters, etc.) including location, dimensions, and approximate dates.

Describe the existing feature(s) and condition:

Window and door trim on the original primary façade are made up of simple 1"x- lumber. The corner boards are also 1"x- lumber, though several are missing on the southwest corner. The soffits on the original structure appear to have been replaced with a sheet material and the fascia on the front porch, not original, are warping and shows signs of rot.

C.4. ARCHITECTURAL ORNAMENTATION - Describe the architectural ornamentation that is applied or integrated into the exterior facades including the location, dimensions, materials and approximate dates.

Describe the existing feature(s) and condition:

There is no architectural ornamentation.

C.5. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

None

ACCESSORY BUILDING(S)

D.1. ACCESSORY BUILDING(S) - Mark all the boxes below that apply to your property. Describe each accessory building including location on the site (should correspond to the existing site plan), materials, and approximate dates.

Type(s): Garage Root Cellar Shed Other (specify):

Describe existing accessory building(s) and condition:

There are no detached accessory buildings.

STRUCTURE(S)

E.1. STRUCTURE(S) - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

Type(s): Tram Tower Animal Enclosure Other (specify):

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe existing structure(s) and condition:

There is a power pole located in the northwest corner of the property.

ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: _____ N/A _____ Date: __July 20, 2012____

Name of Applicant: N/A _____

At the request of Park City Municipal Corporation’s Building and Planning Departments, the following members of the project team prepared this Physical Conditions Report:

Dina Williams-Blaes, Project Manager & Preservation Consultant
Principal, Preservation Solutions, Salt Lake City

Michael H. Mahaffey, General Contractor & Preservation Specialist
President & Owner, Home-Tech Incorporated, Salt Lake City

Laura Clayton, Measured Drawings
AIA Associate, Architectural Nexus, Salt Lake City

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

PHYSICAL CONDITION REPORT - PHOTOS

Low Resolution Photos Inserted into the Body of the Report:

Digital photographs illustrating the descriptions must be included with this report.

Each feature described in this report must include *at least one* corresponding photograph. More than one photograph per description is encouraged.

To avoid creating a large and unmanageable file, it is recommended that you use an image file compressor when importing images into the report.

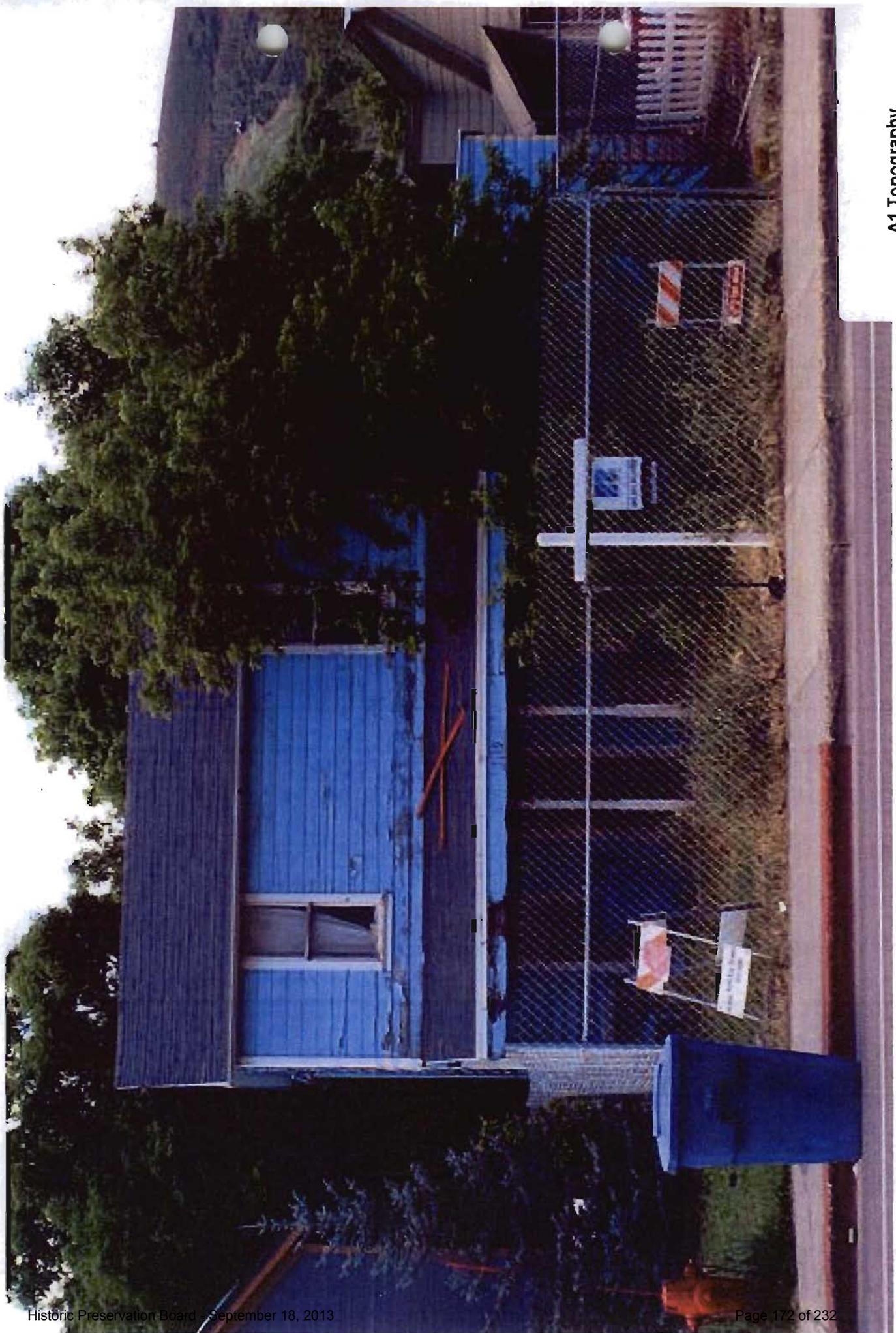
- Microsoft offers a free download of Image Resizer for Windows XP at www.microsoft.com.
- iPhoto provides the option to resize an image (while maintaining the aspect ratio) when the image is exported from the photo library.
- Other resizing options are available in Adobe Photoshop or in a free download from VSO Software at www.vso-software.fr

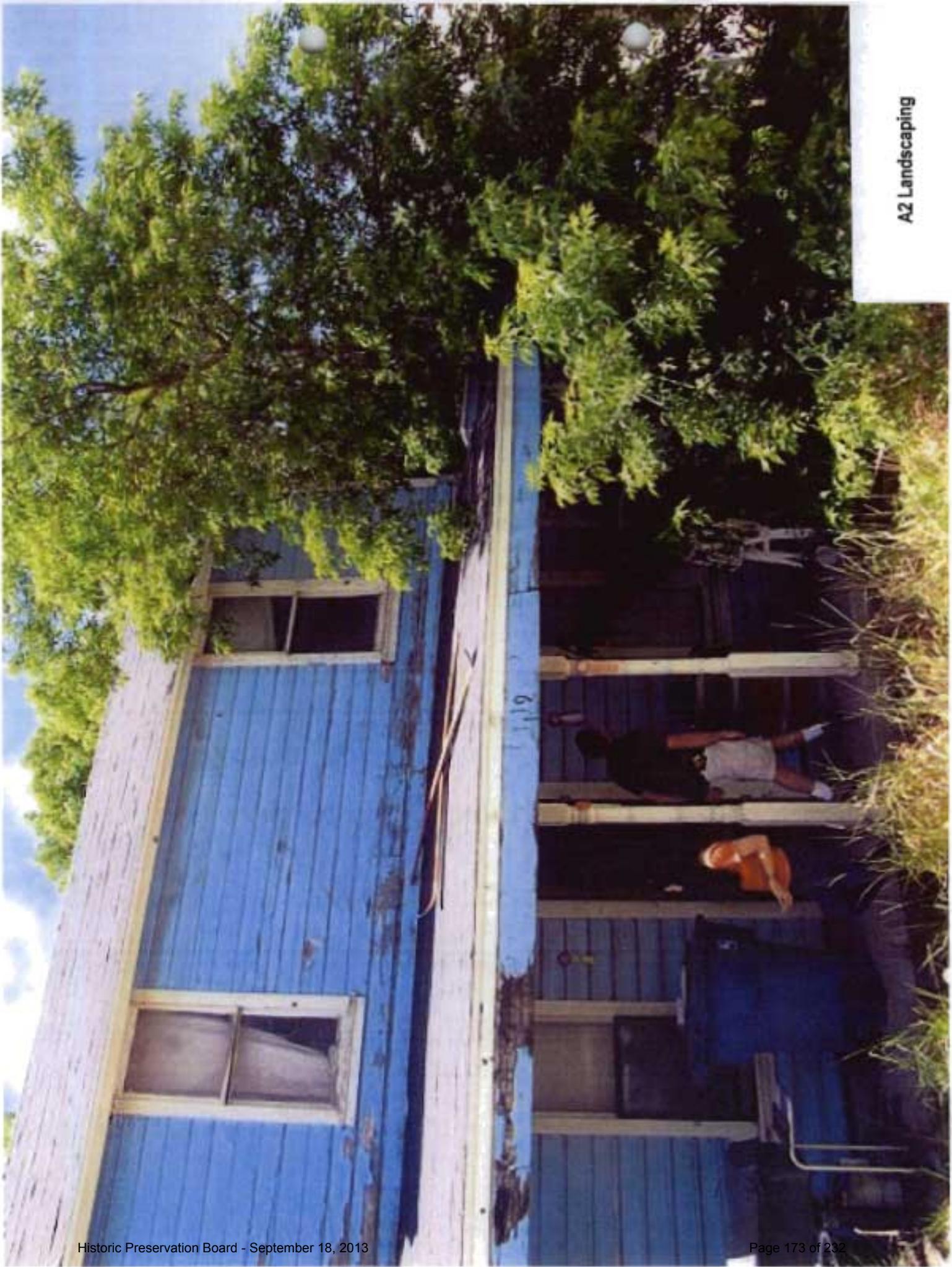
High Resolution Photos Submitted on a Disc:

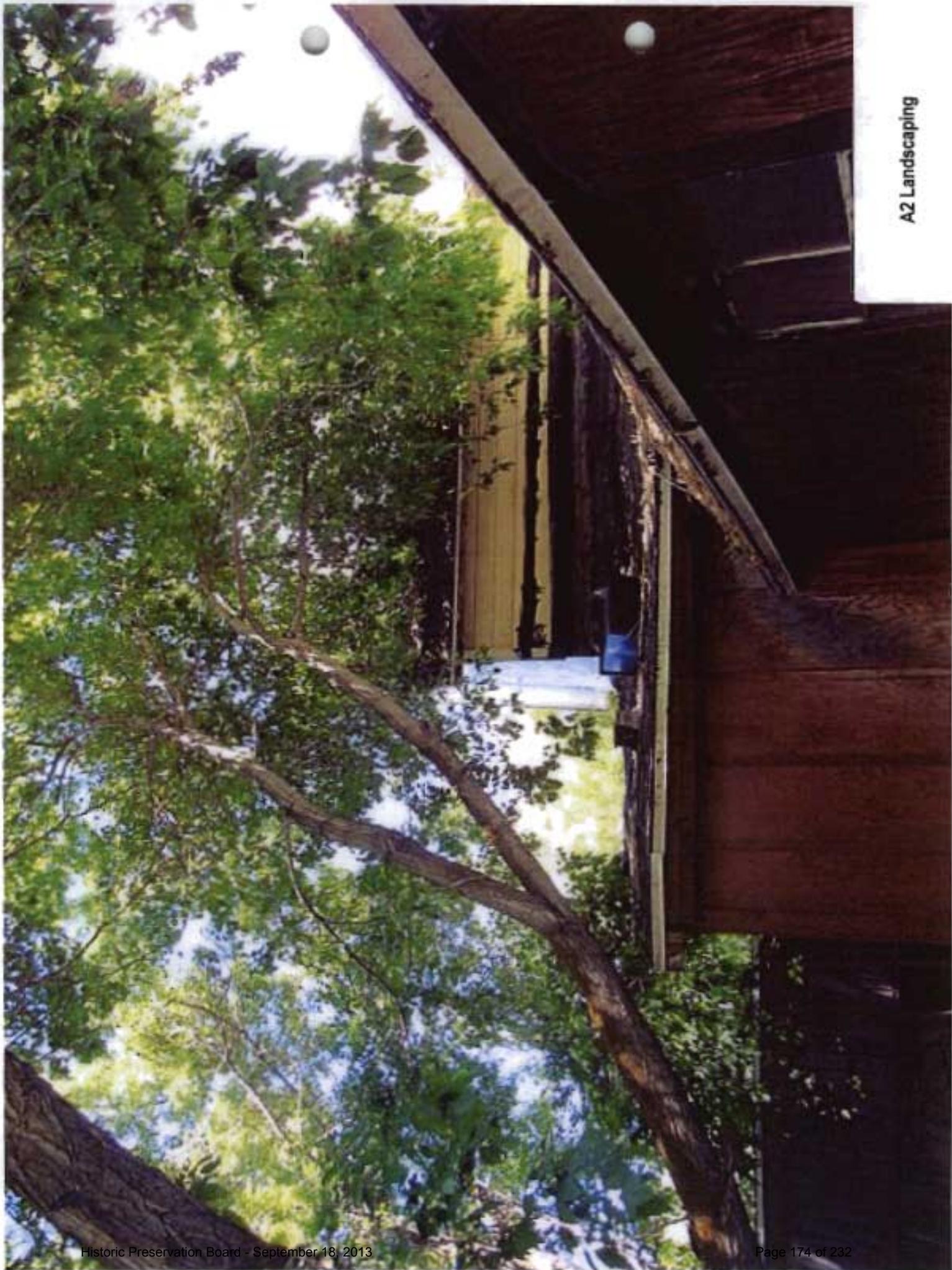
Digital copies of photographs used in the report should be saved separately on a CD-R and submitted to the Planning Staff with the report. Do not submit a disc with original images. Materials submitted with the form will not be returned to the applicant.

- The image size should be at least 3,000 x 2,000 pixels at 300 ppi (pixels per inch) or larger (if possible).
- It is recommended that digital images be saved in 8-bit (or larger) format.
- TIFF images are preferred, but JPEG images will be accepted.
- The CD-R should be labeled as follows: **PCR Form "Property Address" "Date"**.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

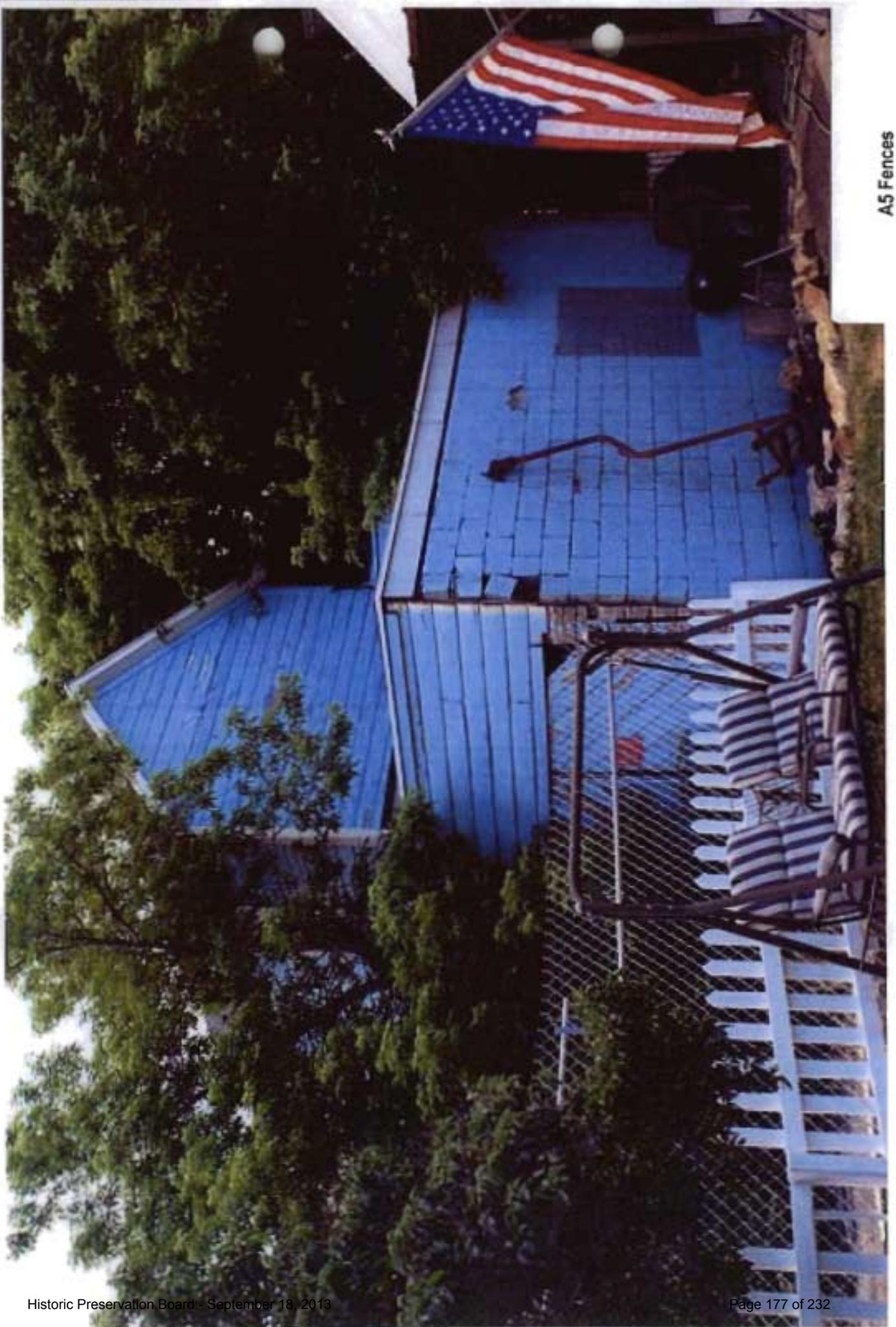




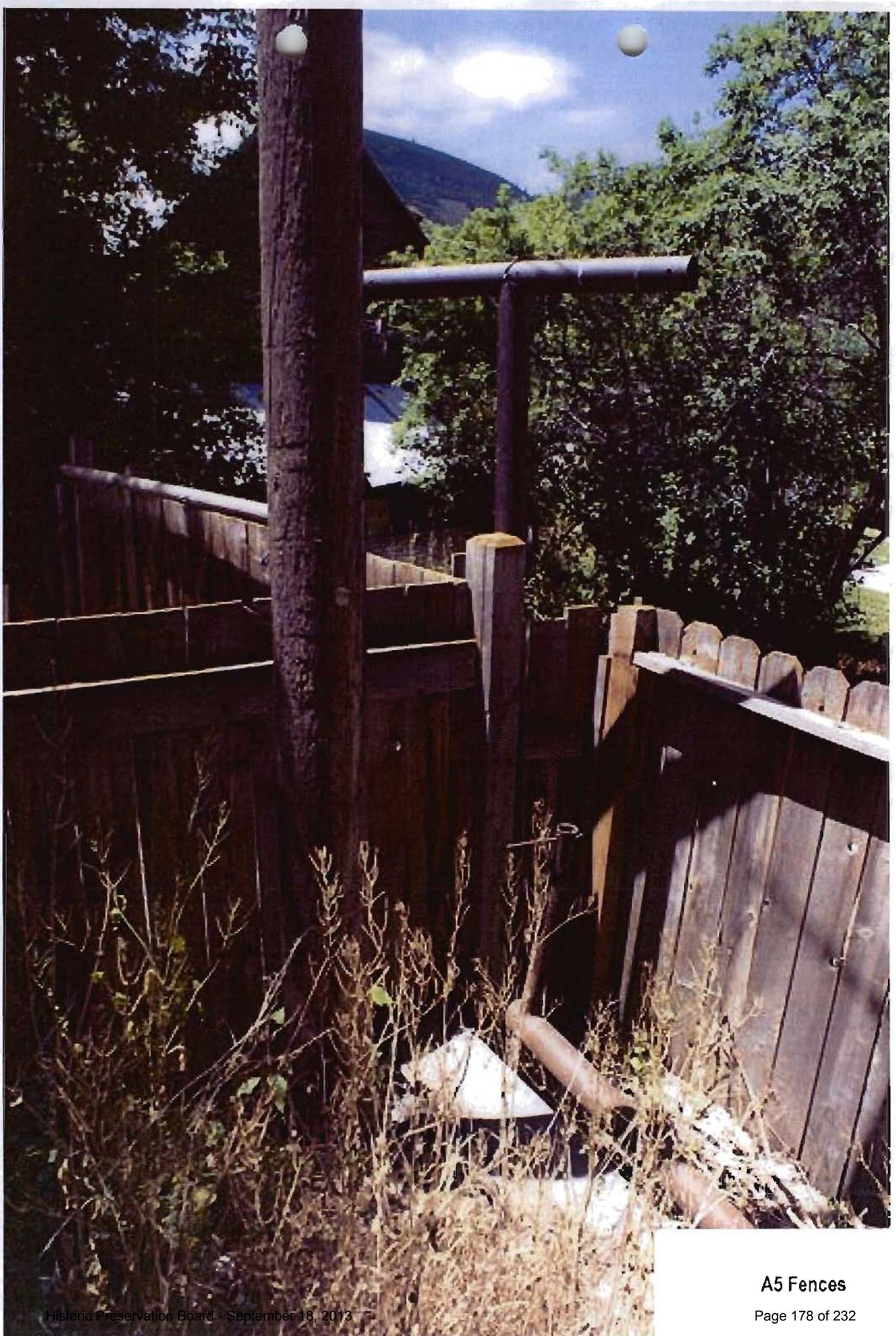


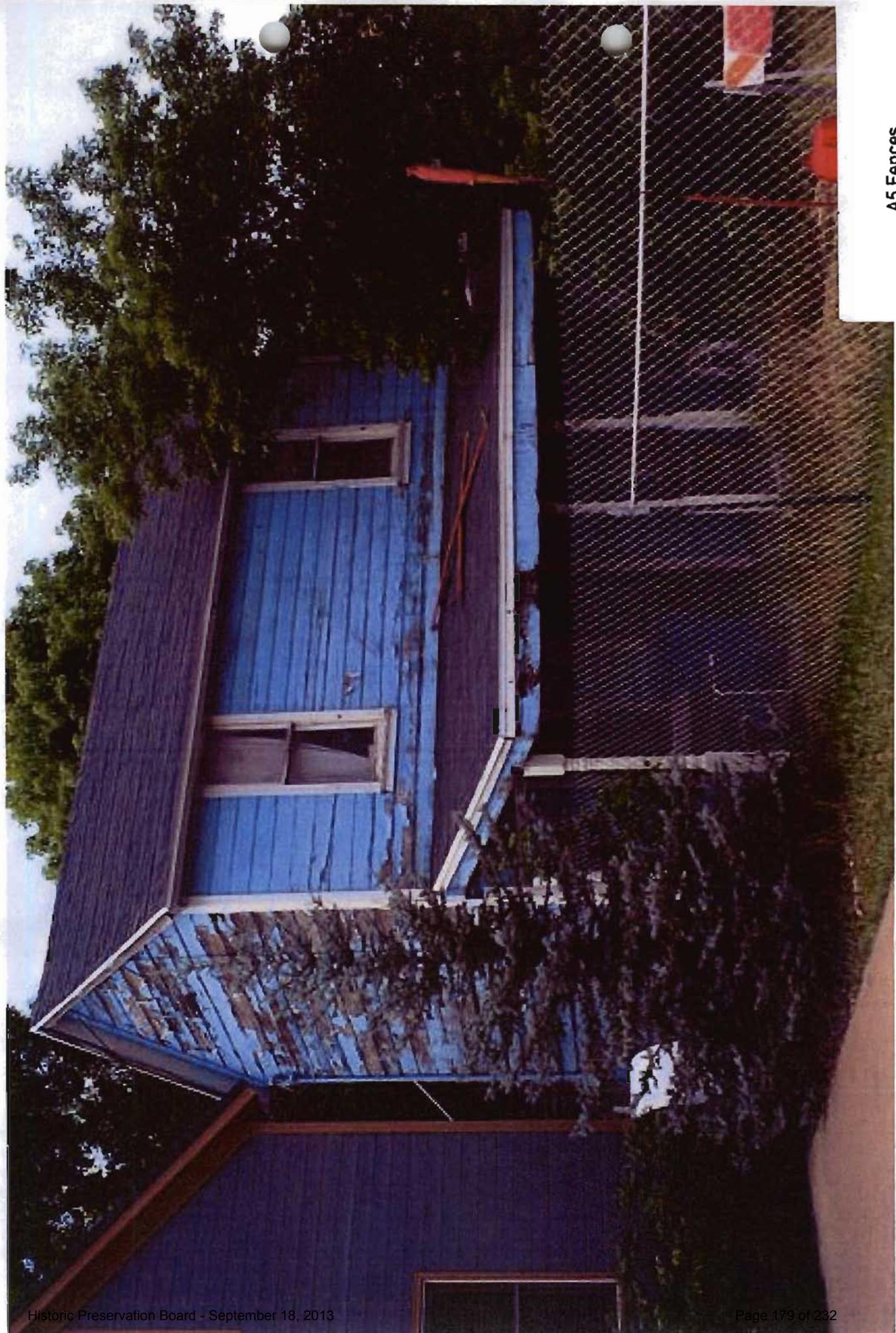




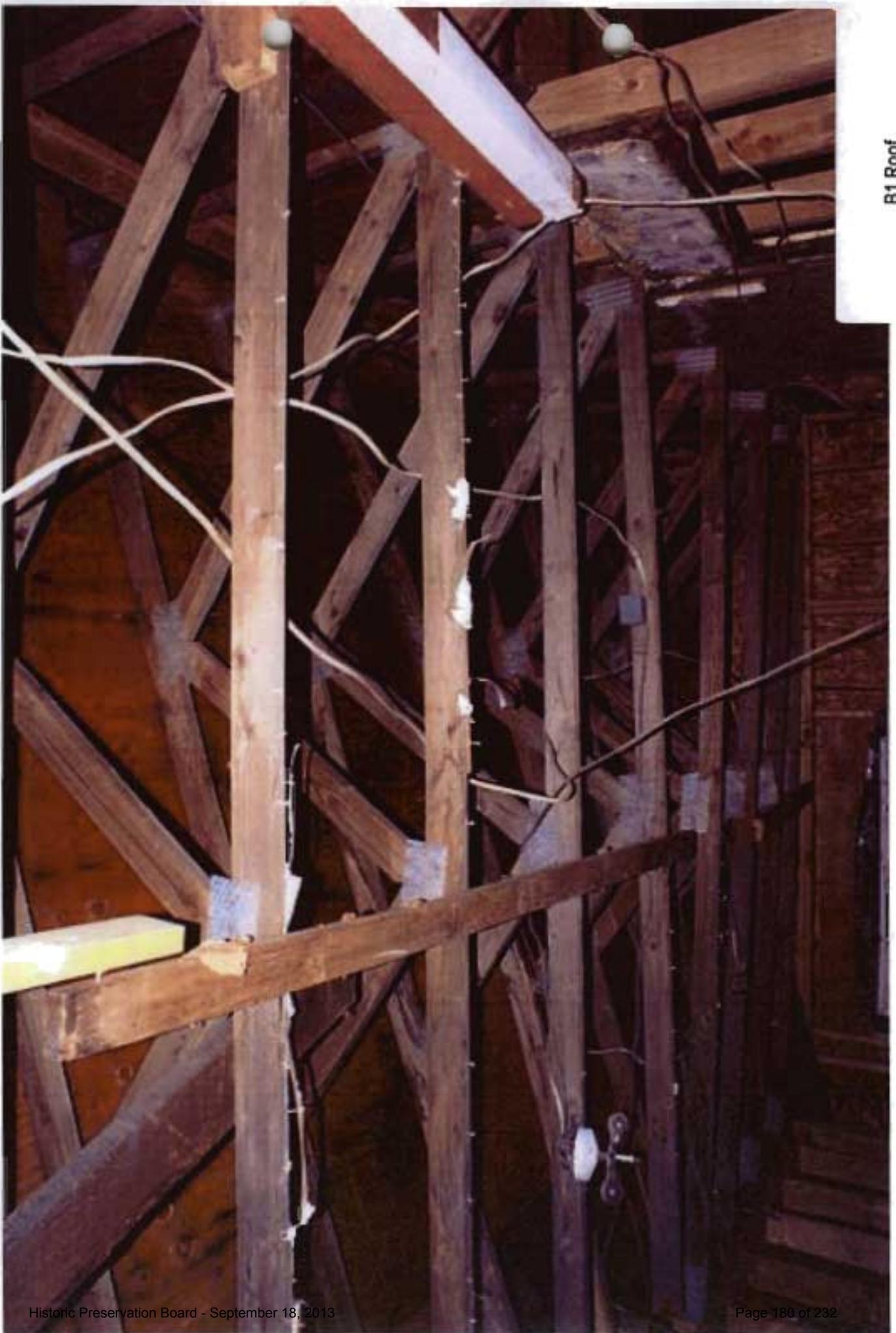


A5 Fences



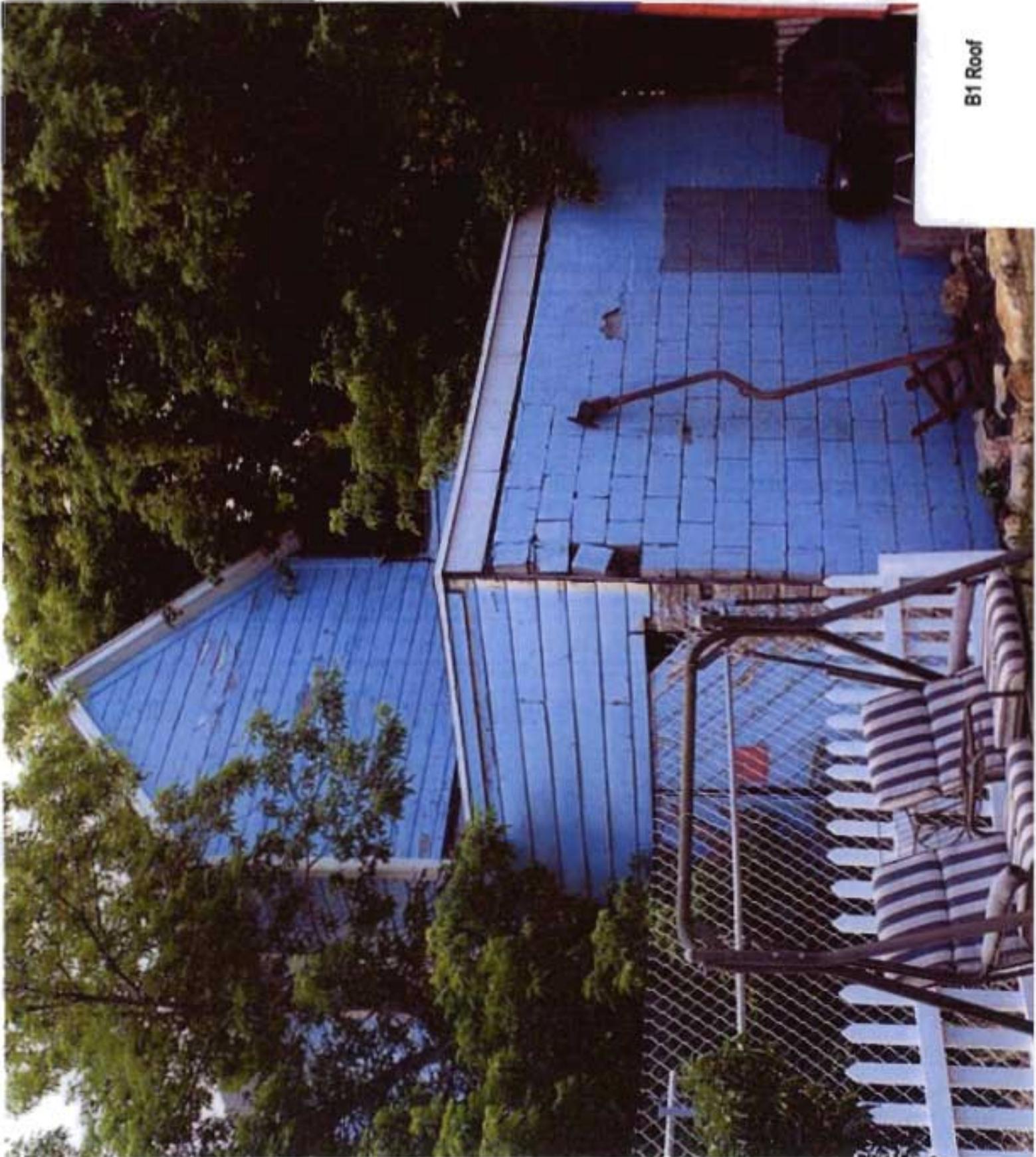


A5 Fences

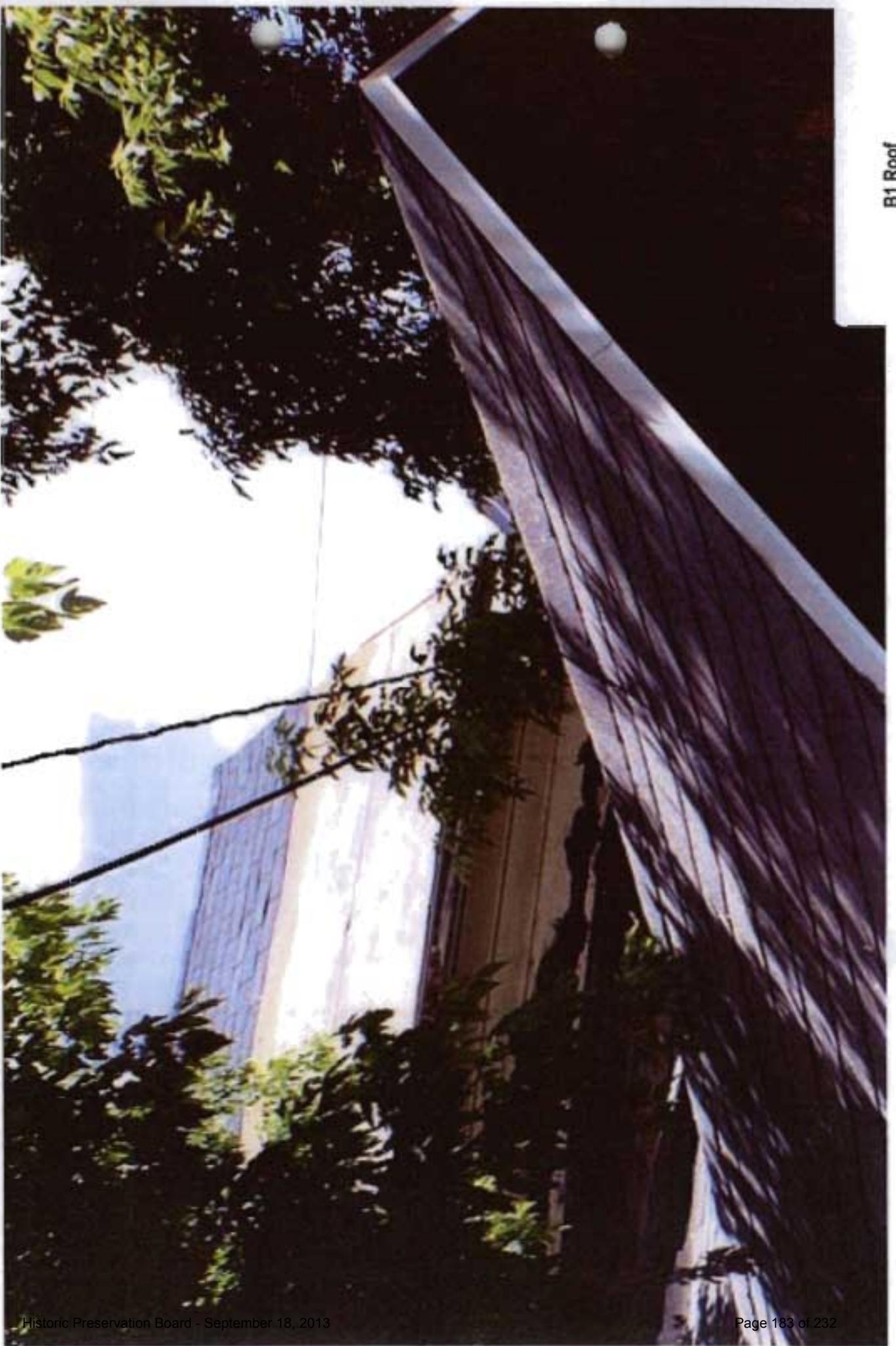


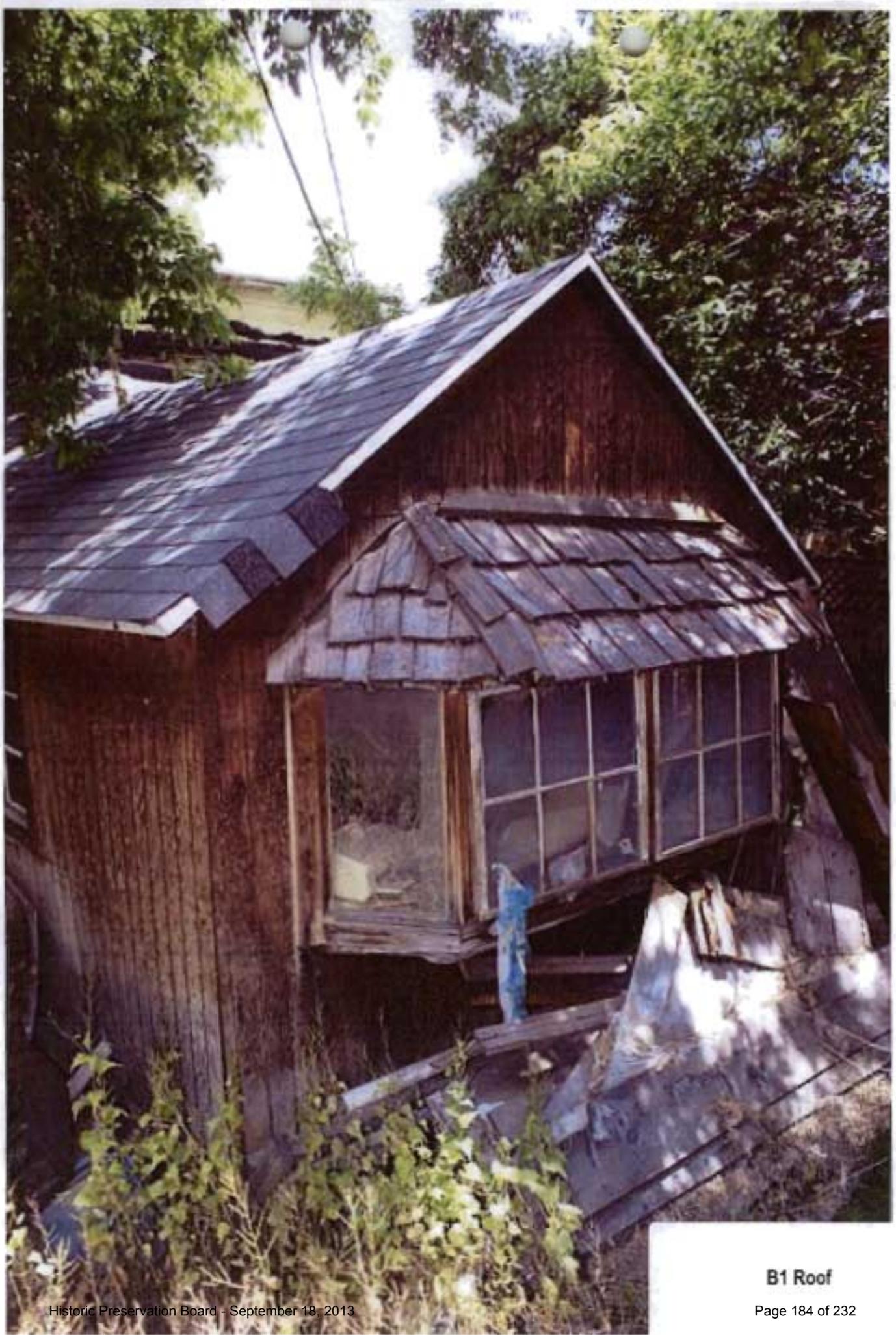


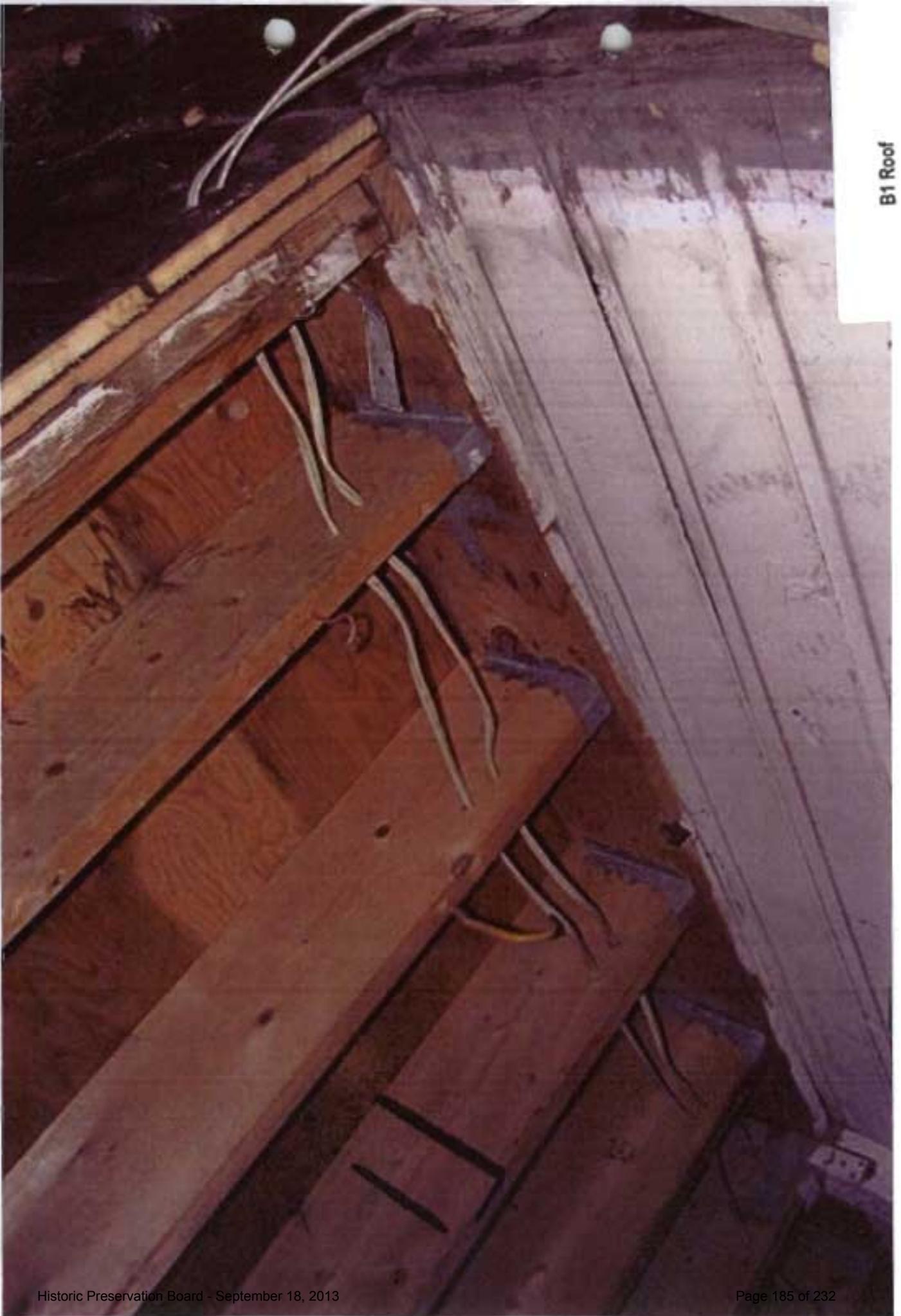
B1 Roof



B1 Roof

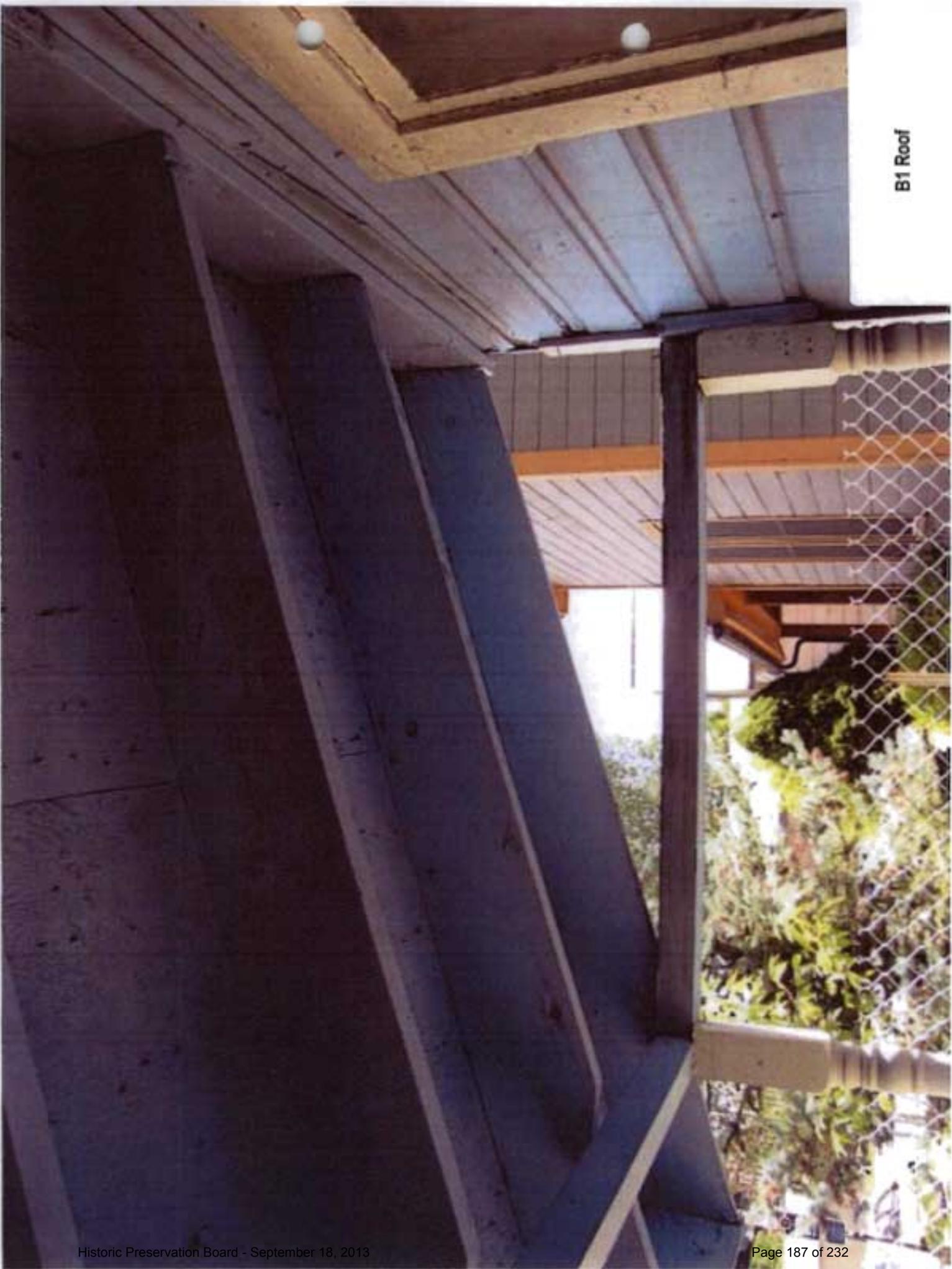


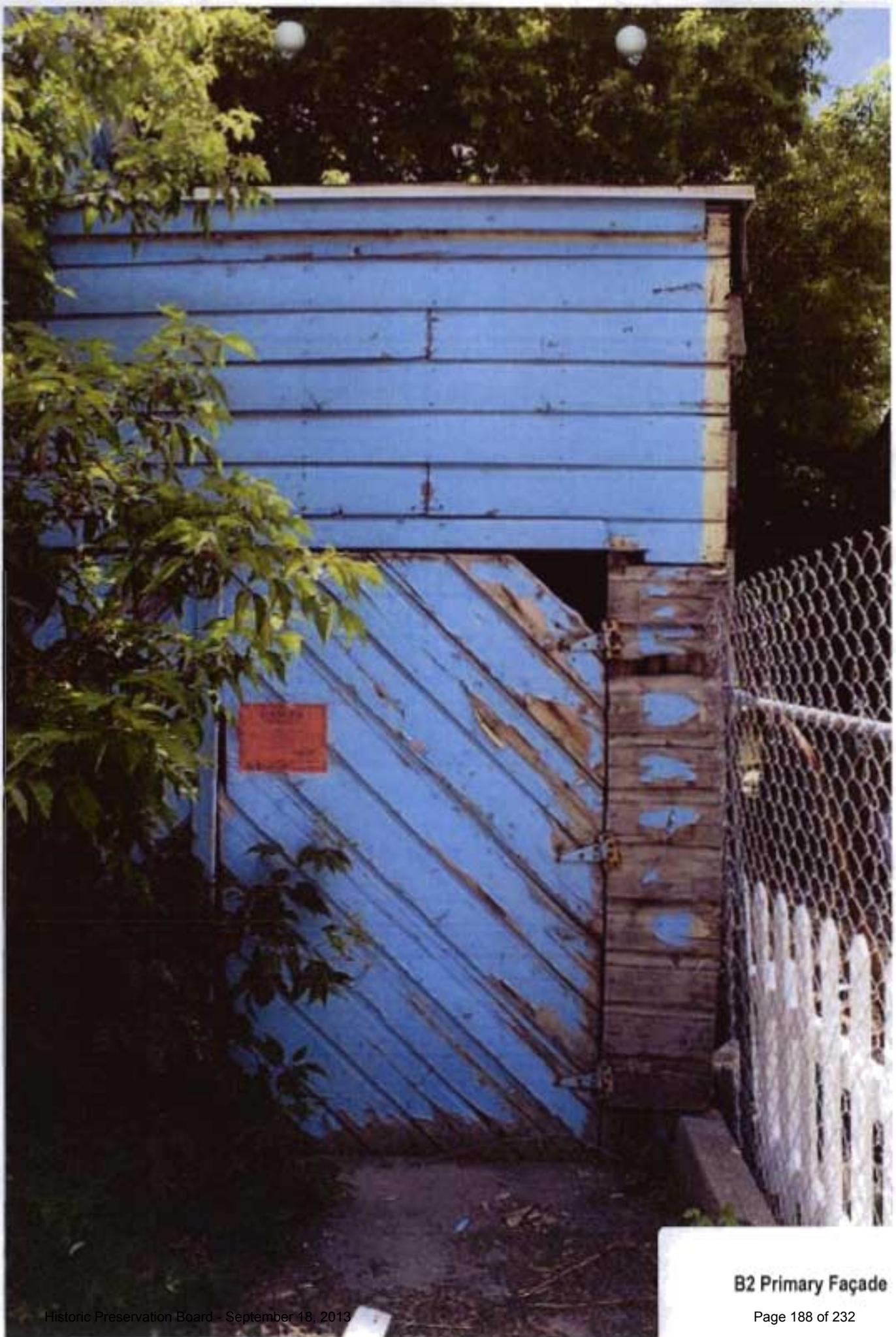




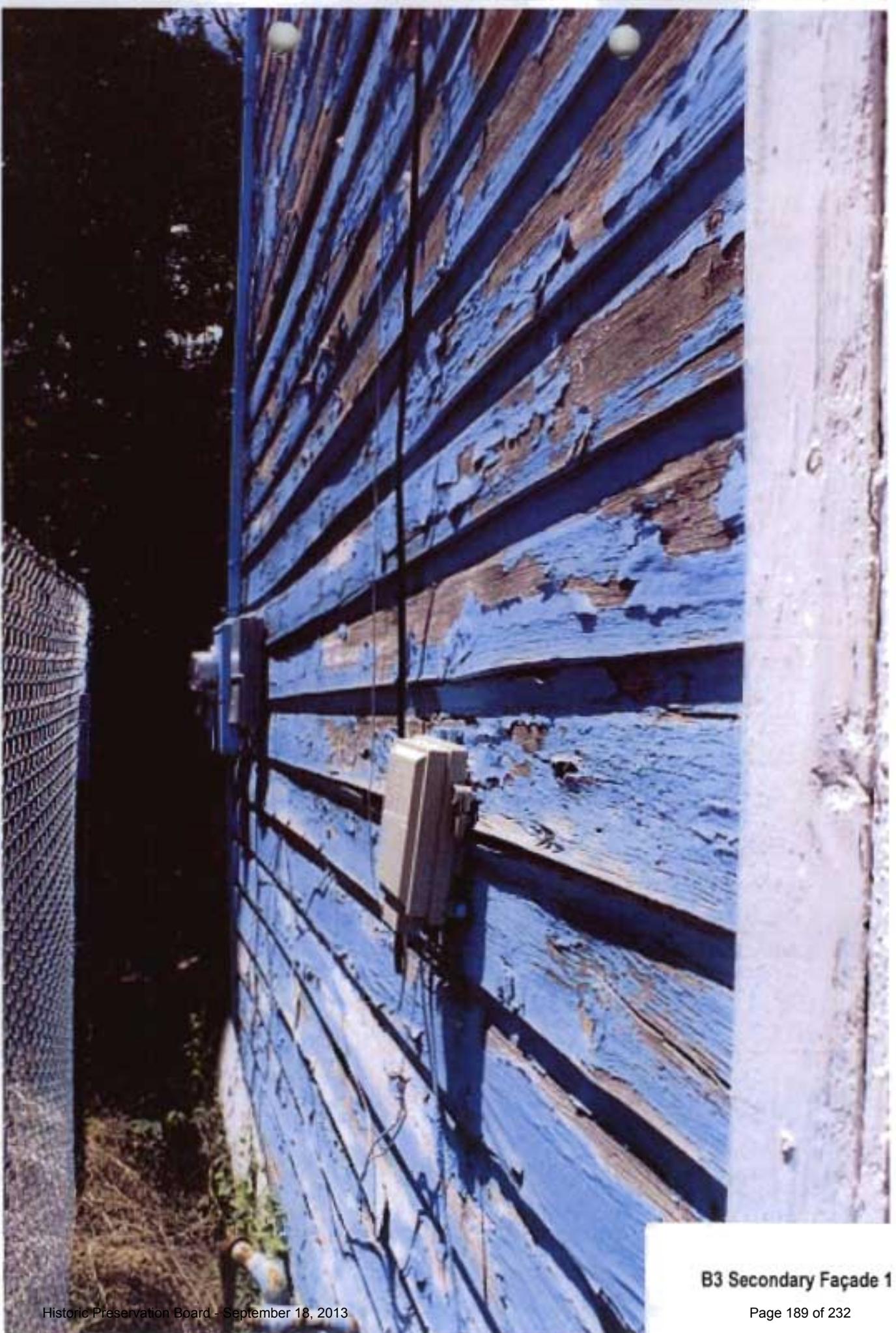
B1 Roof







B2 Primary Façade

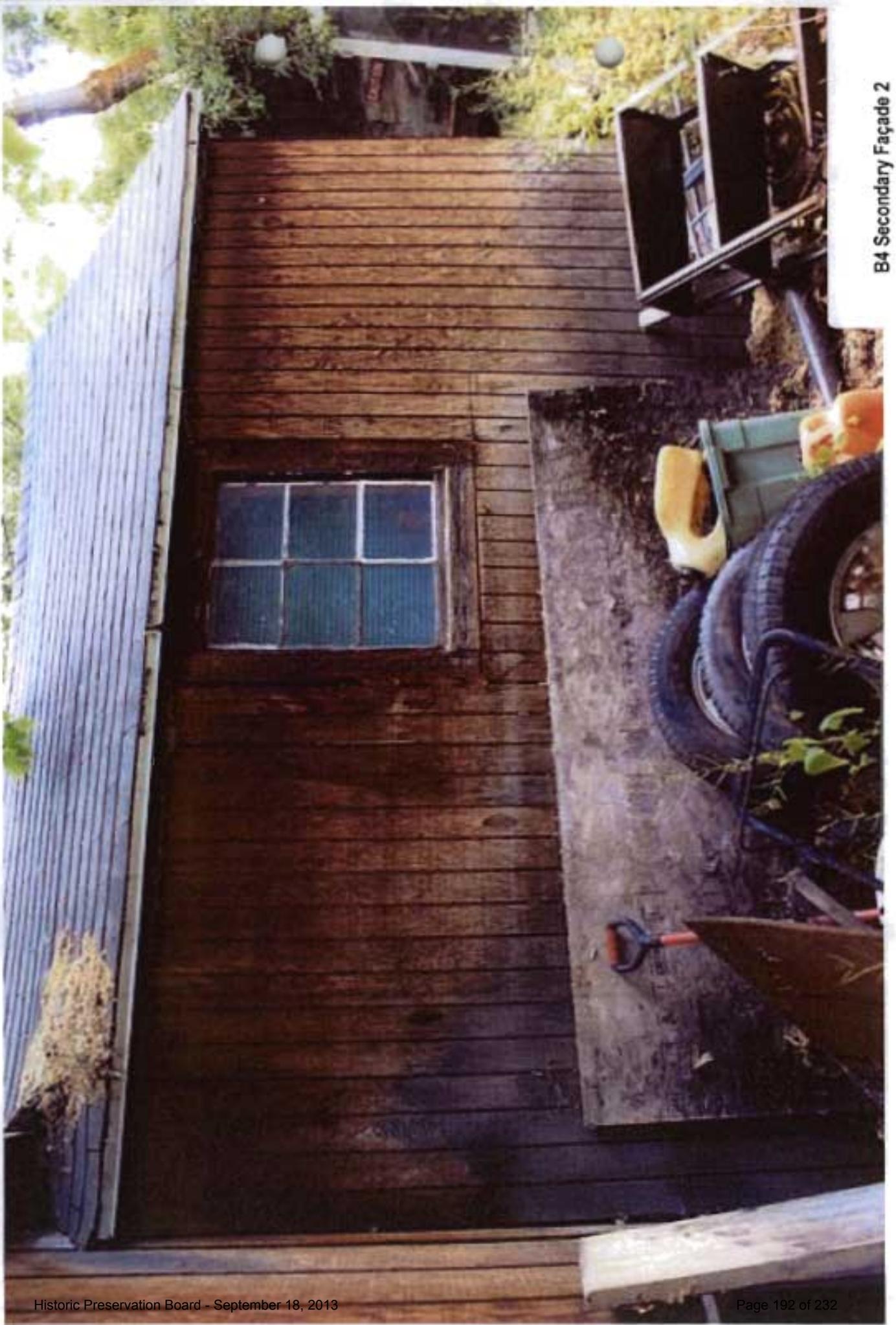




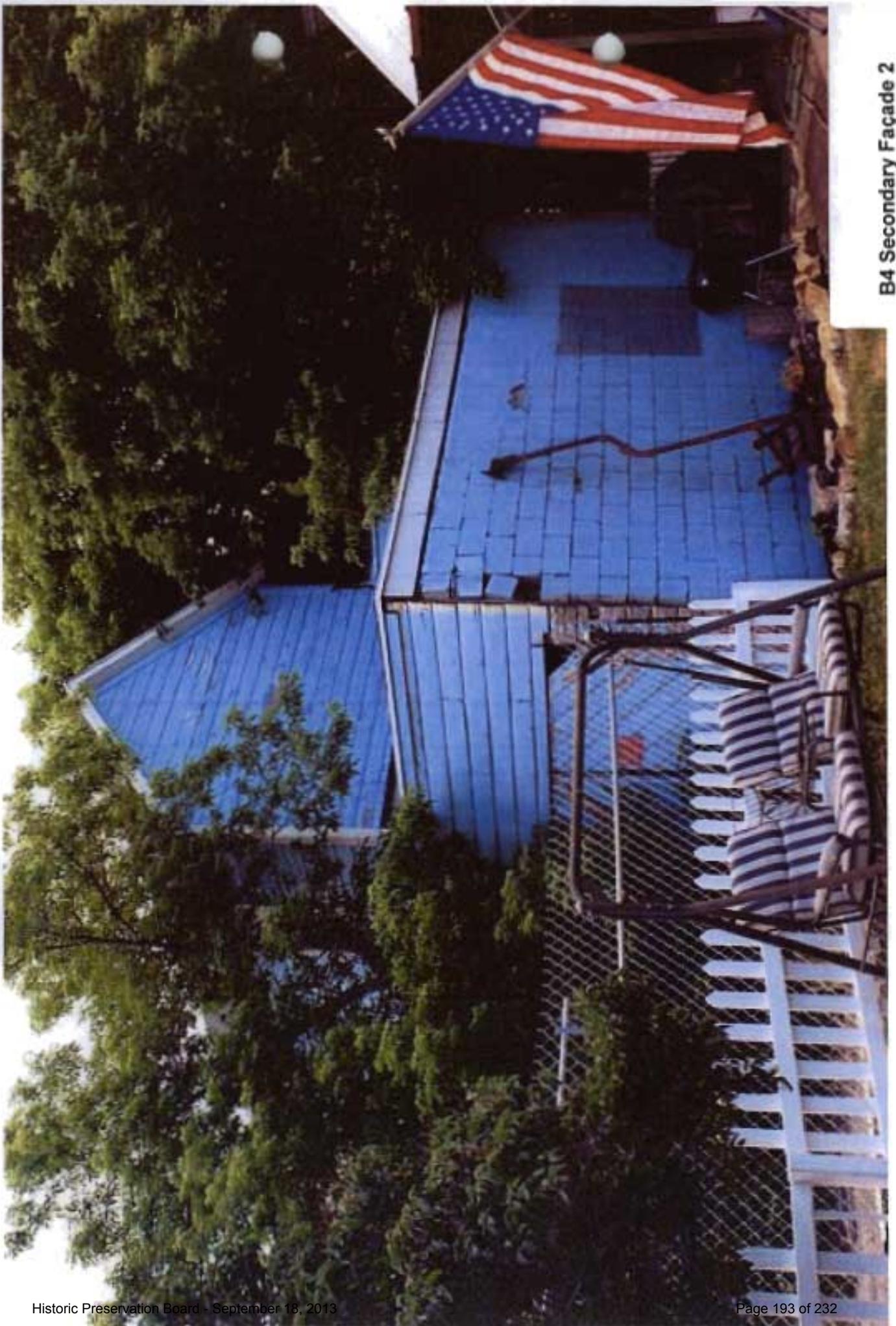
B3 Secondary Façade 1



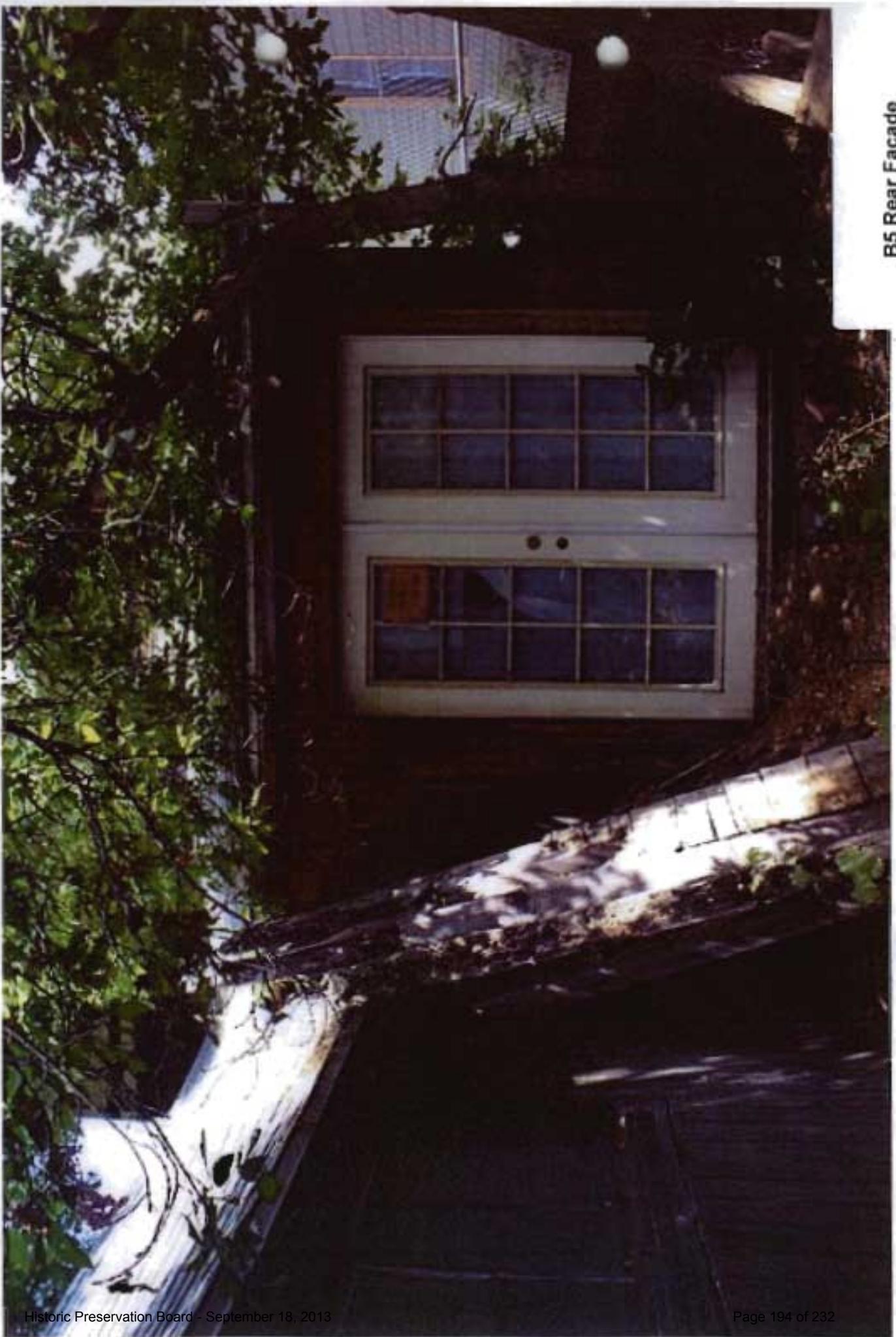
B4 Secondary Façade 2

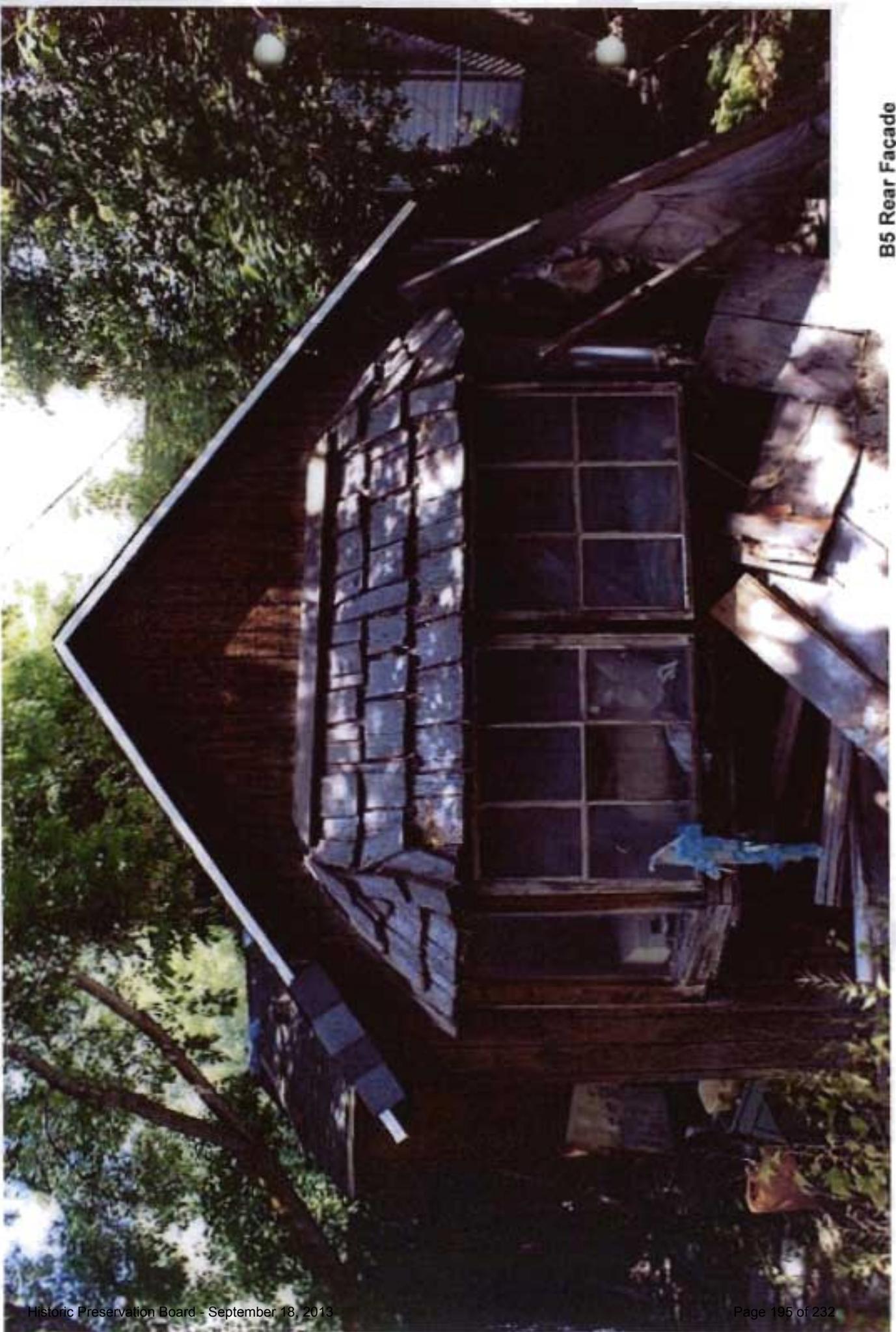


B4 Secondary Façade 2

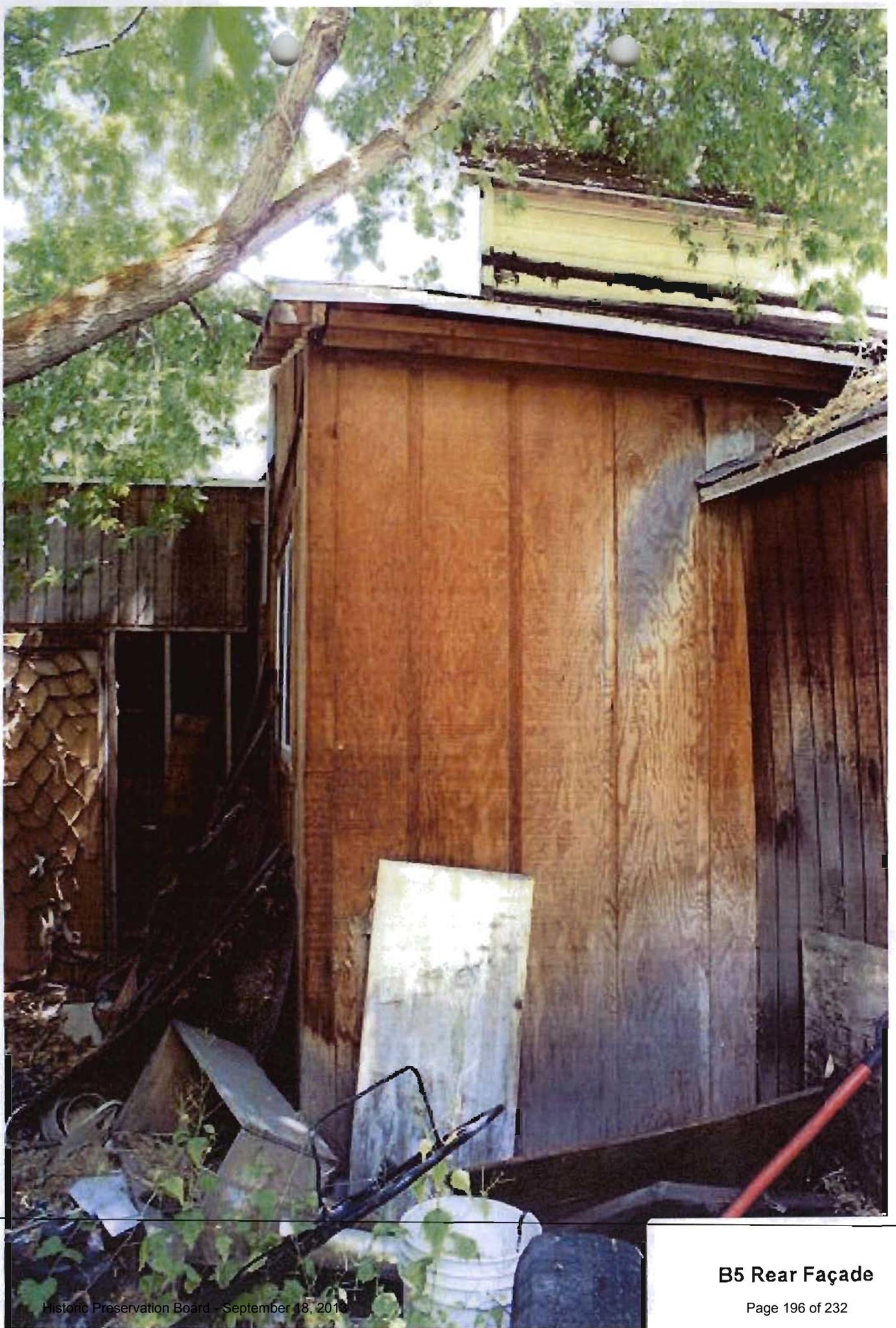


B4 Secondary Façade 2





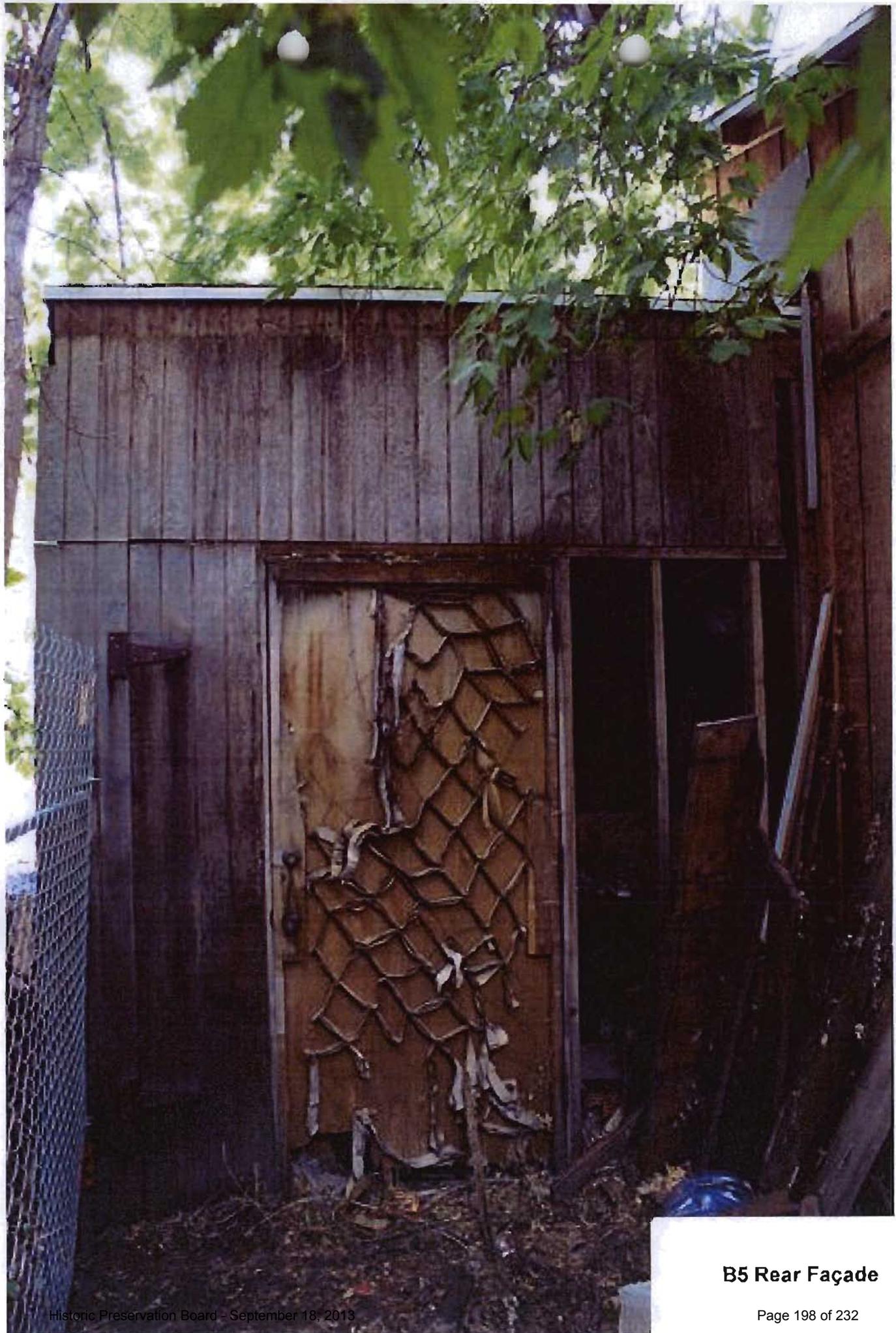
B5 Rear Façado



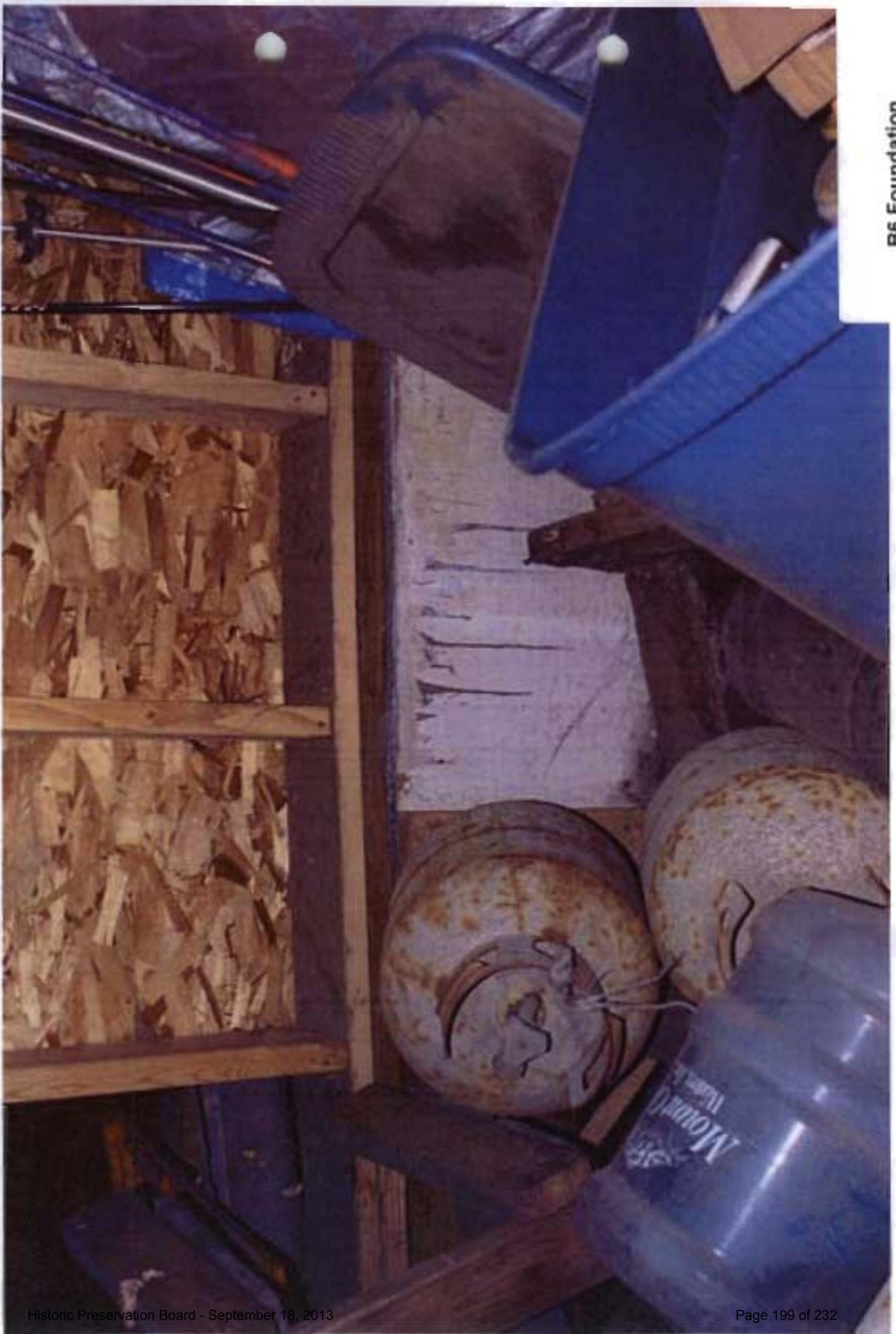
B5 Rear Façade

B5 Rear Façade

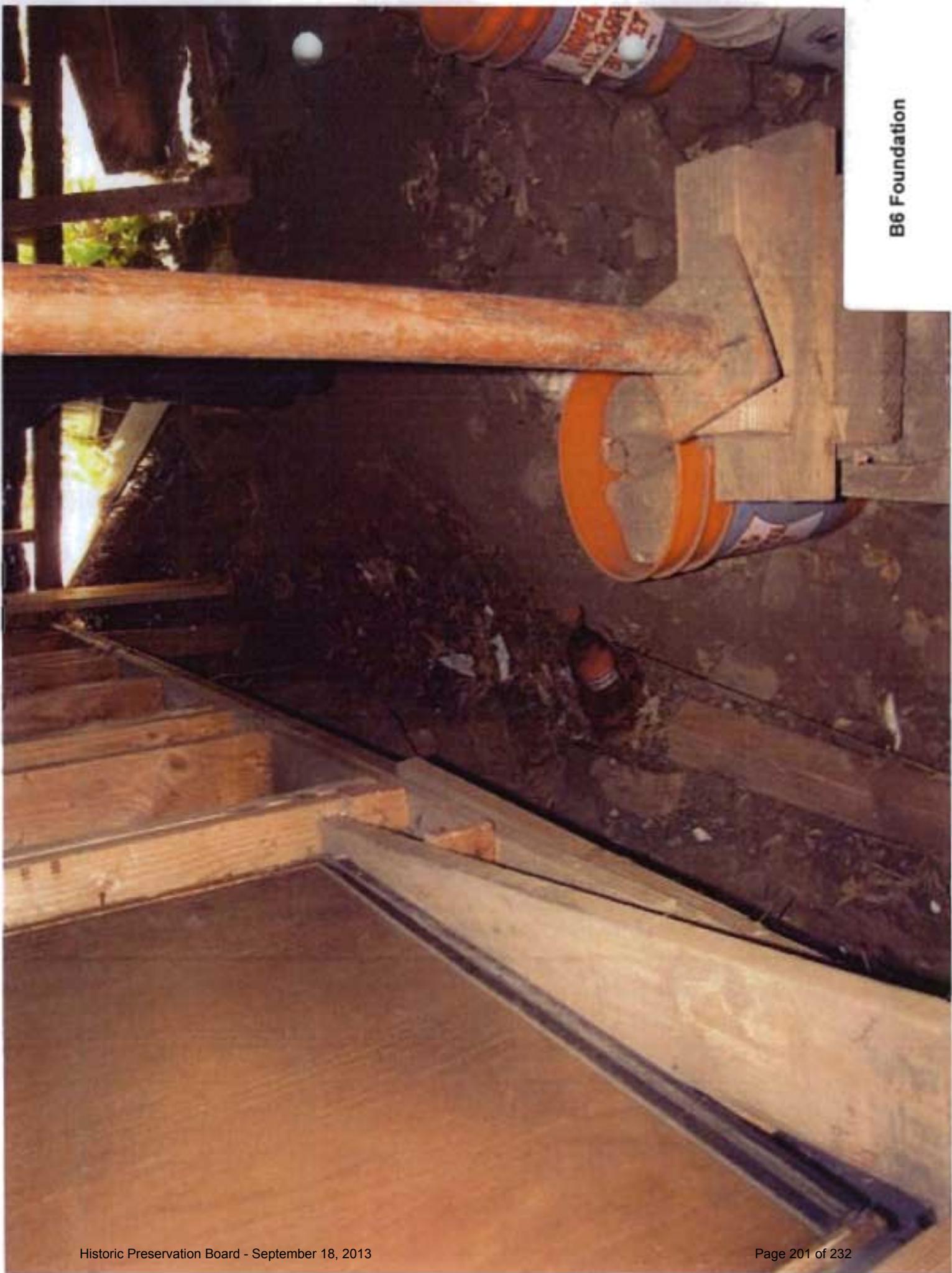




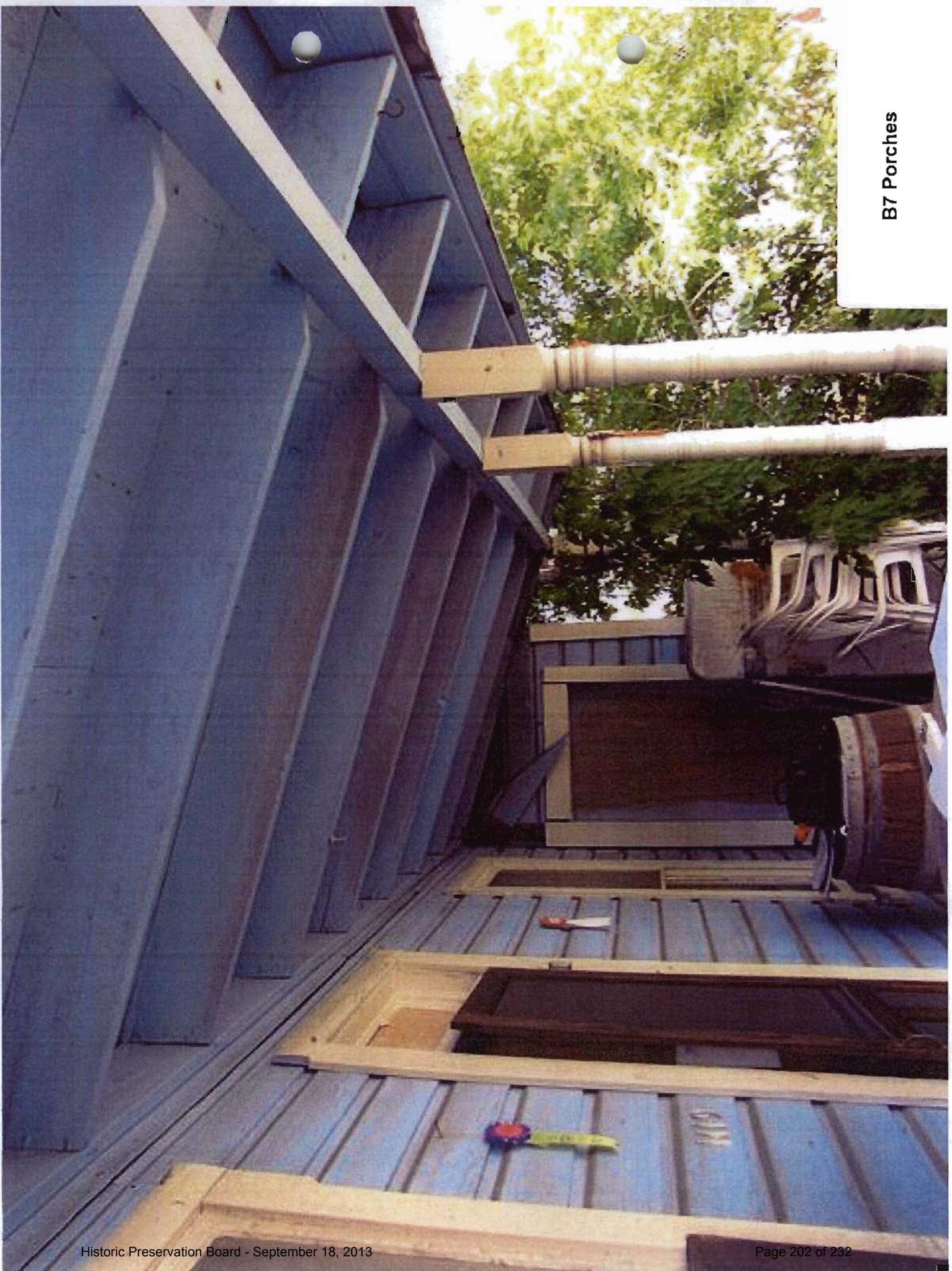
B5 Rear Façade



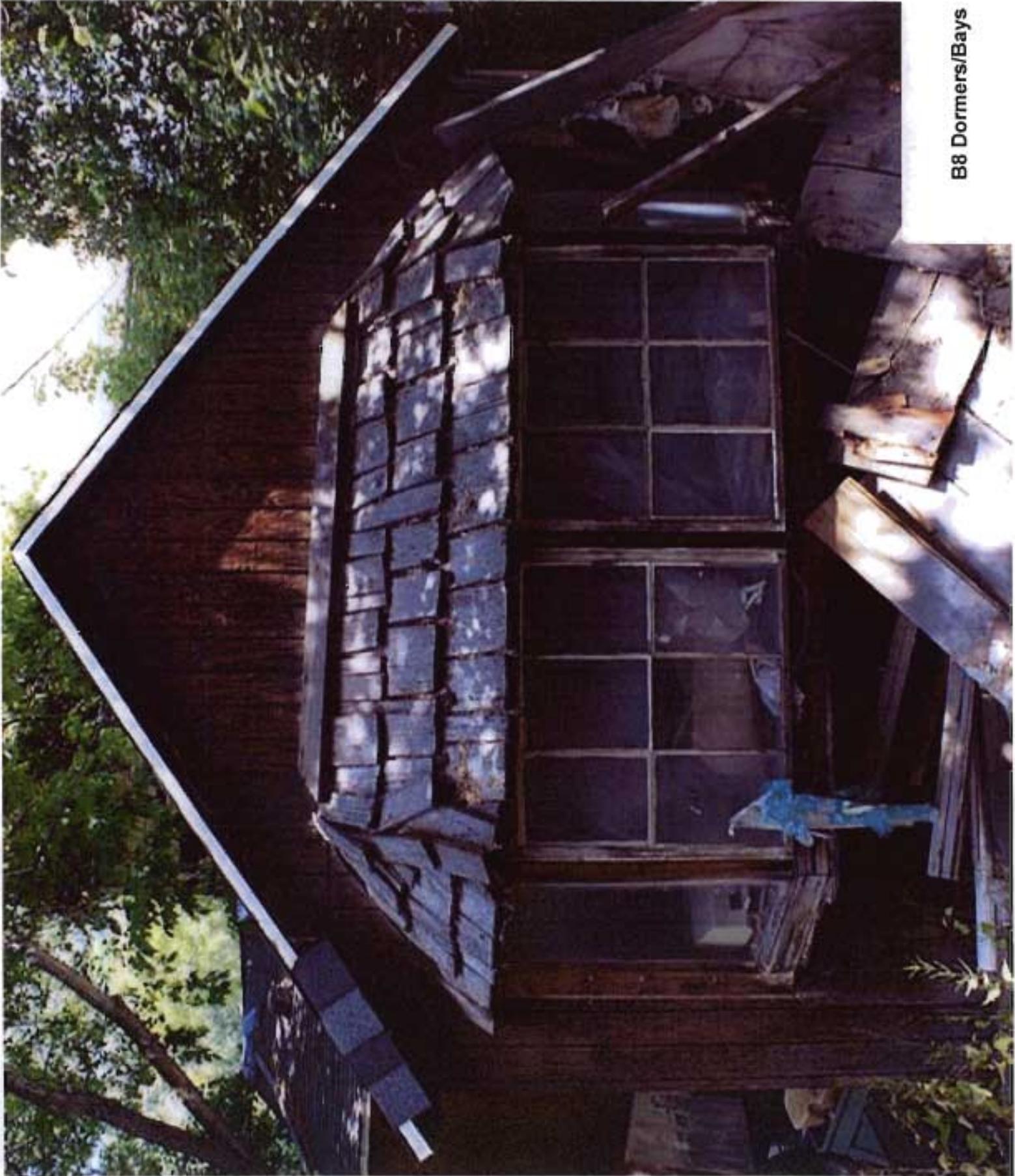




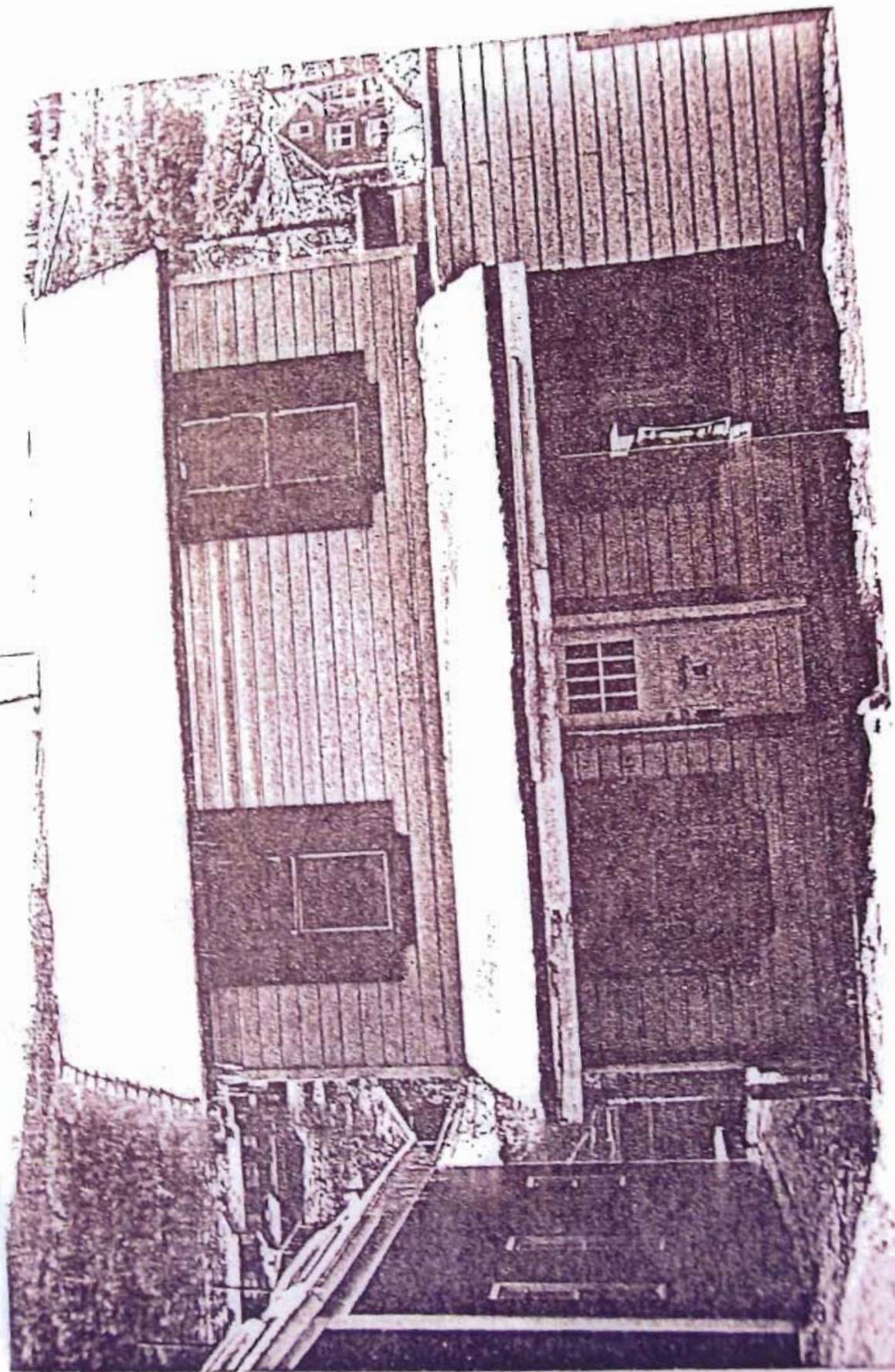
B6 Foundation

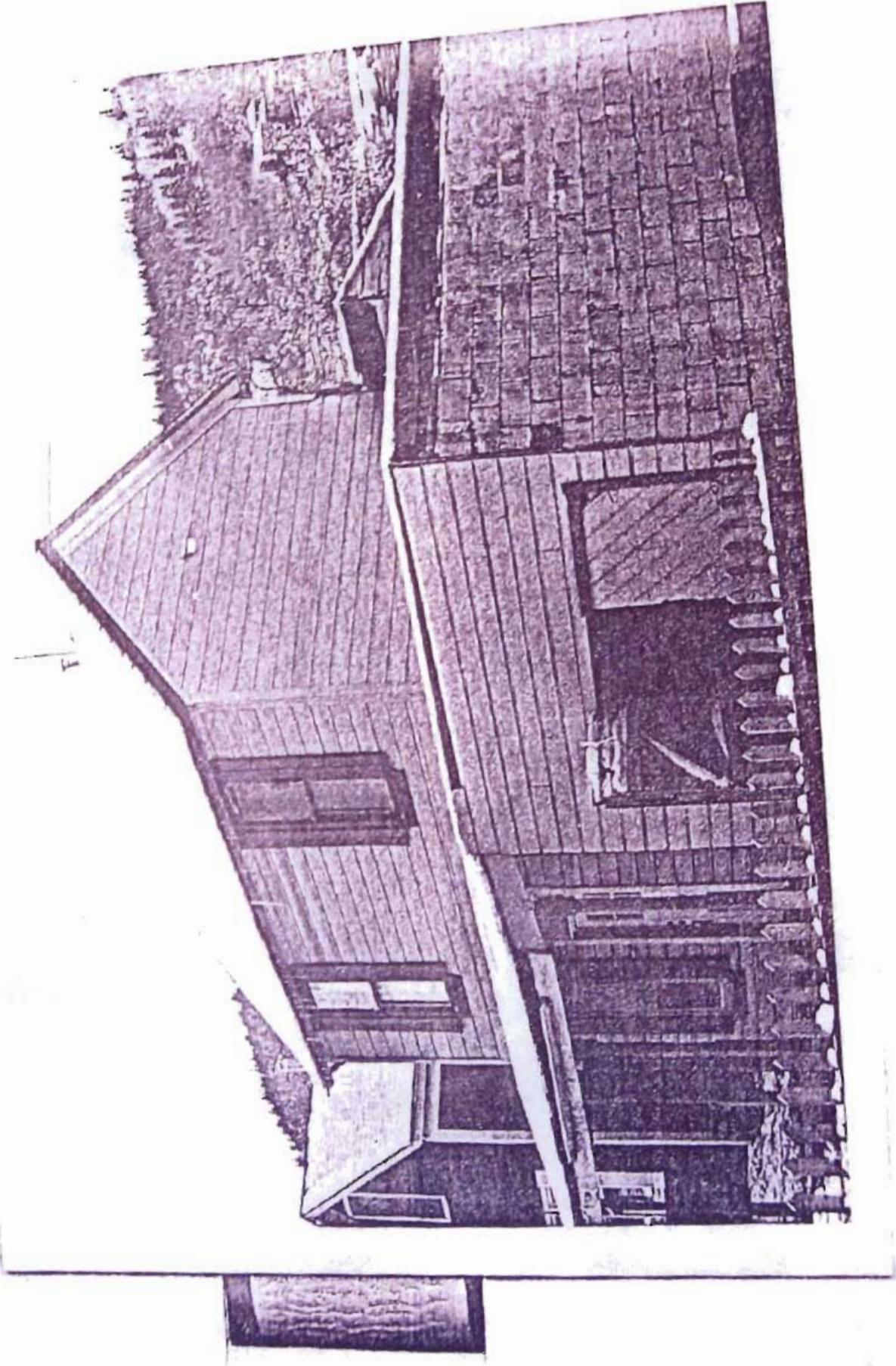






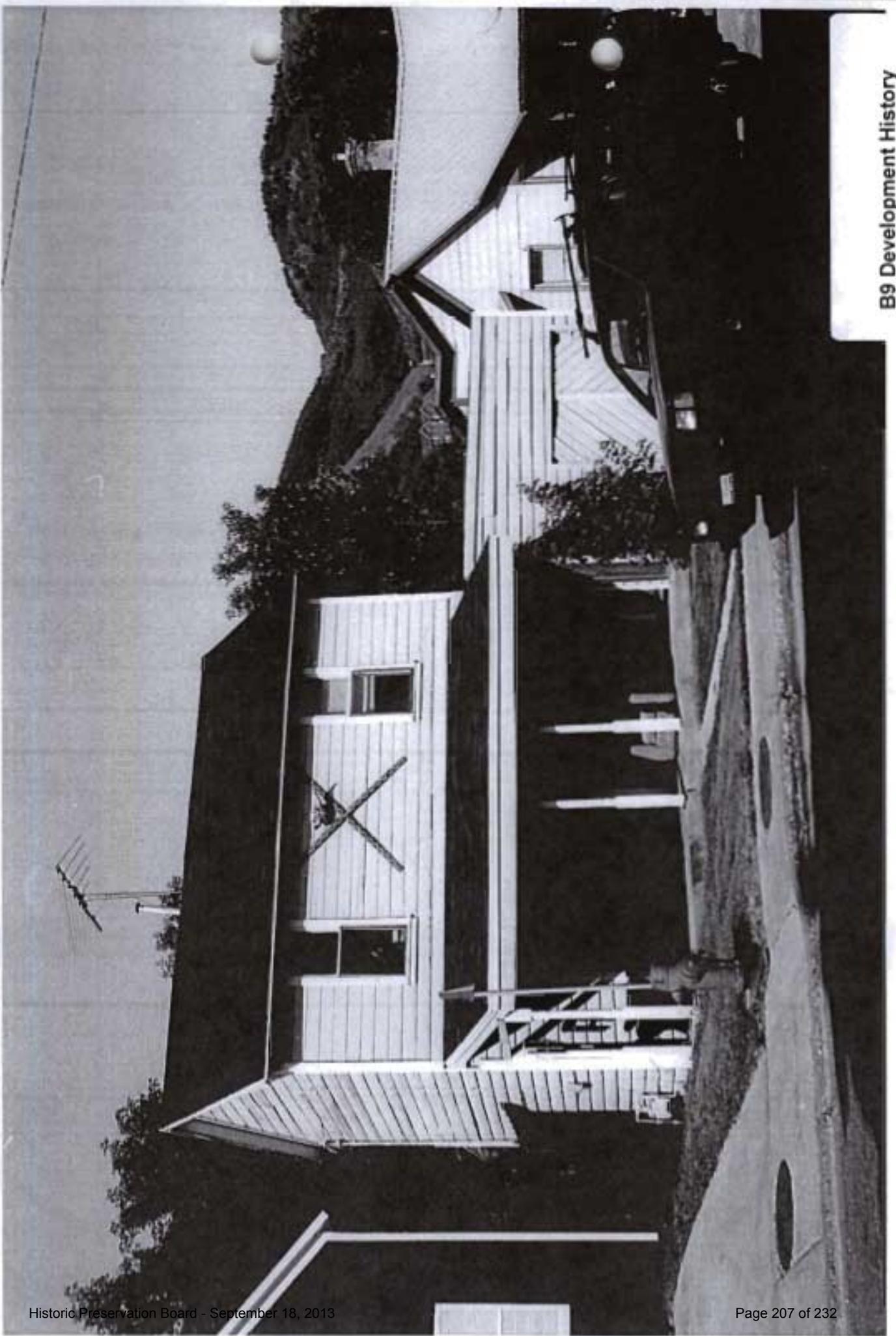
B8 Dormers/Bays

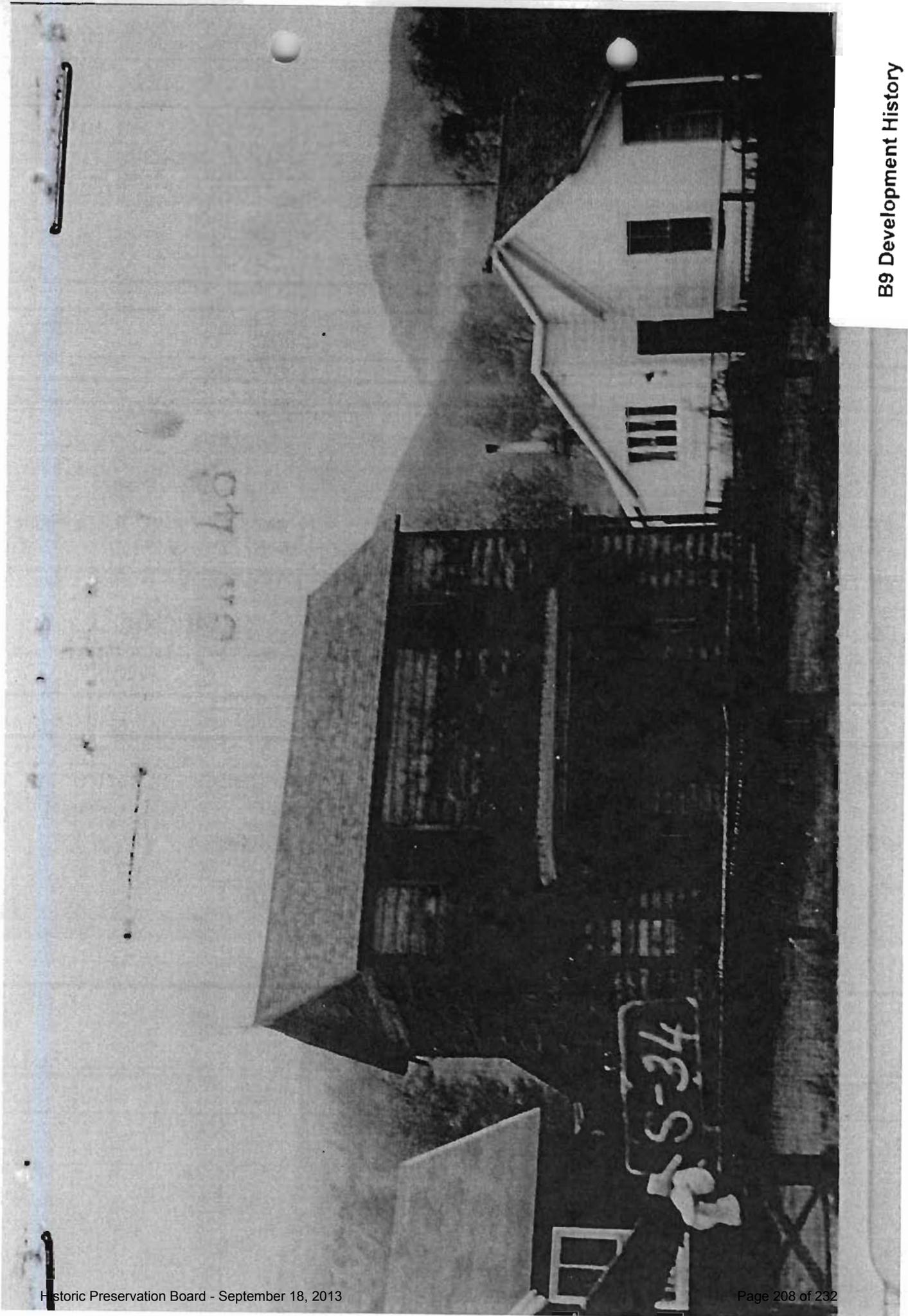




1001 1st St. Wm. O. Walker

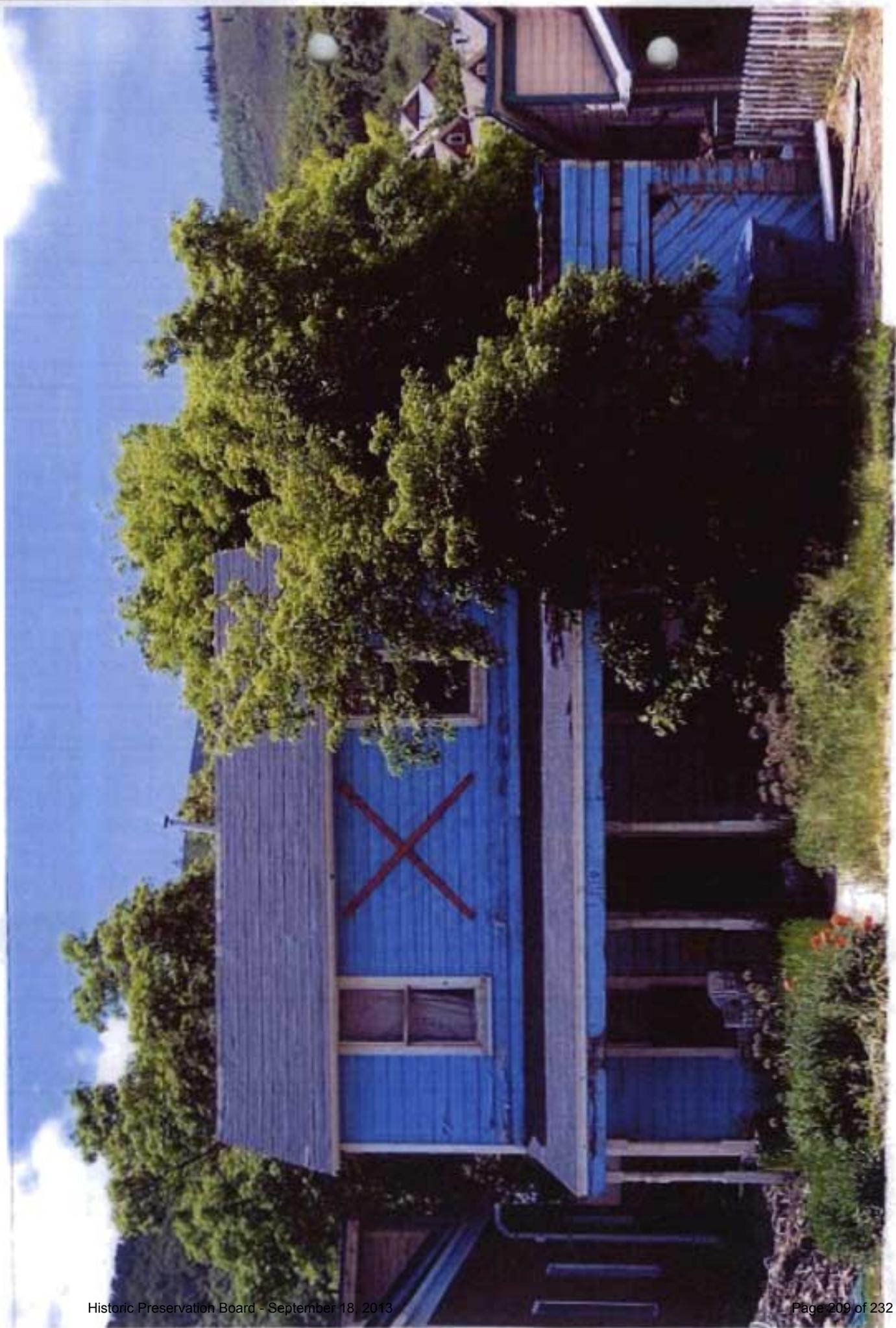
Samuel D. Walker House
1119 Park





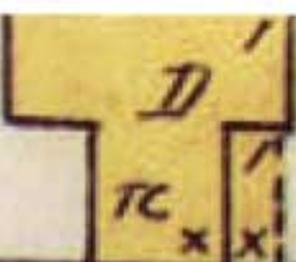
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S-34



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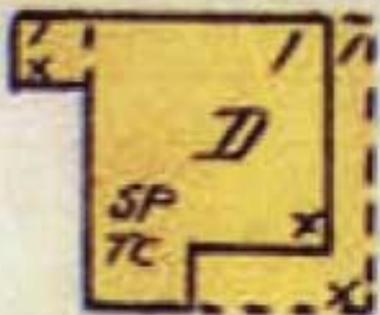


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8'

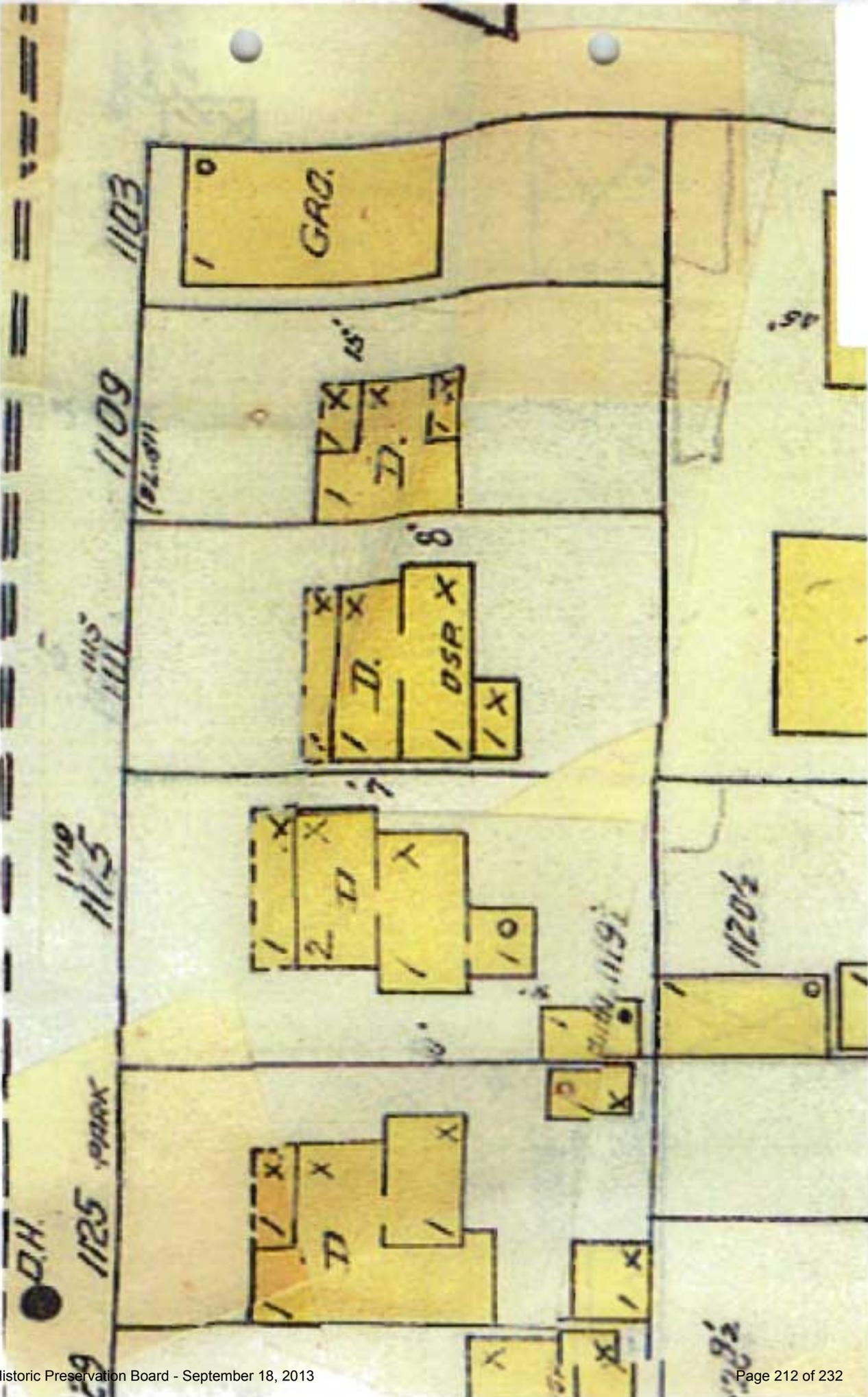
12'

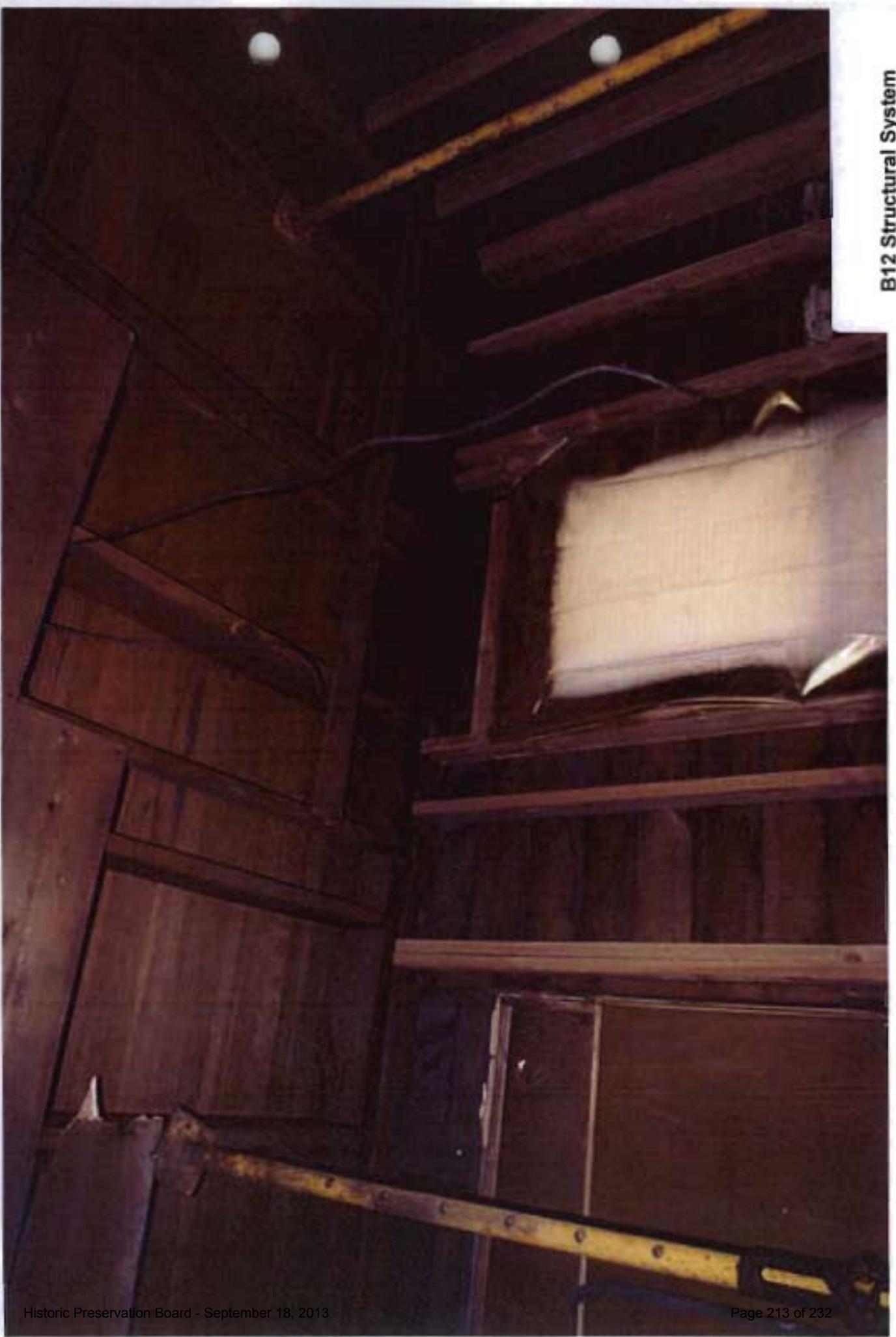
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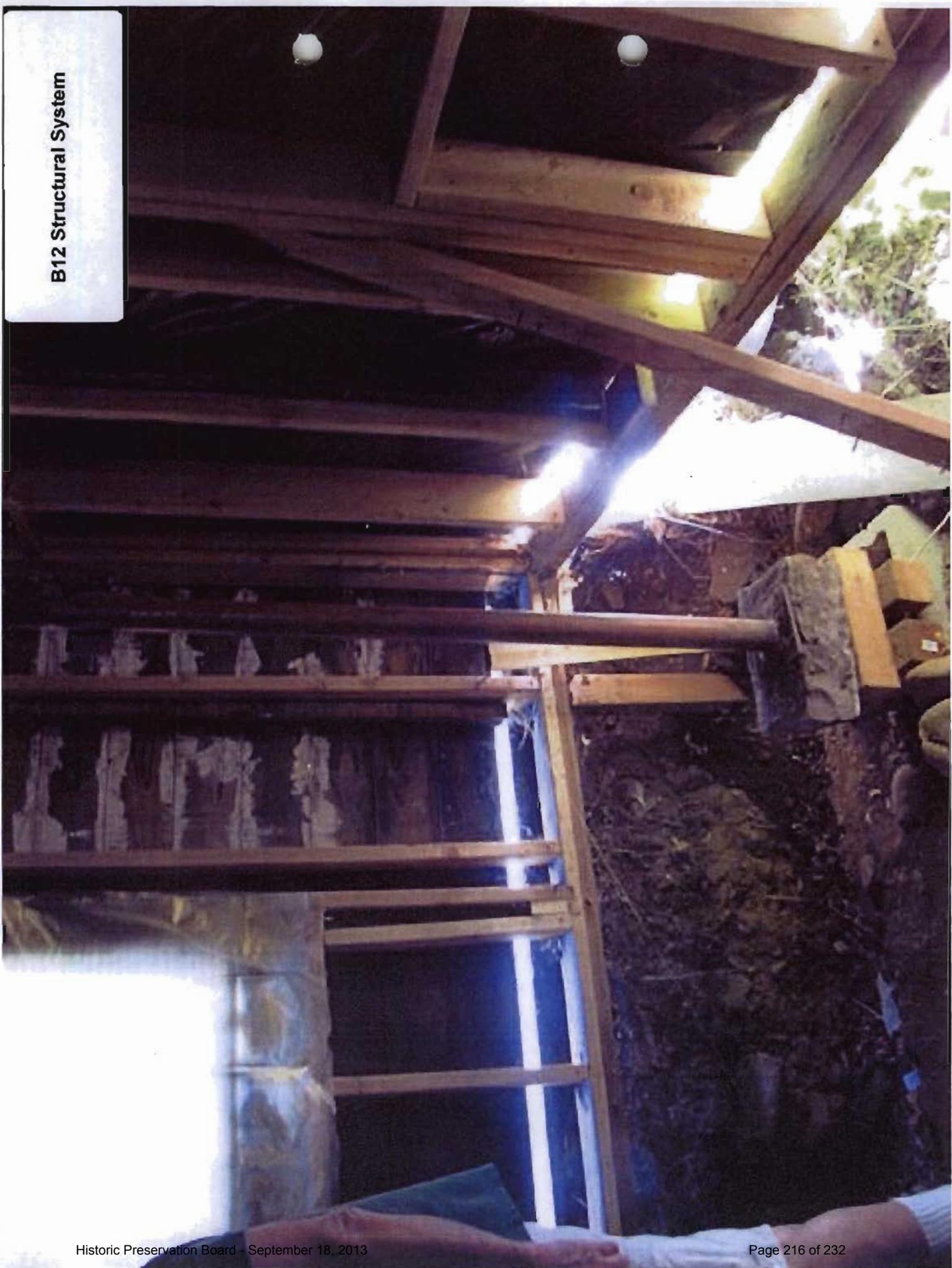


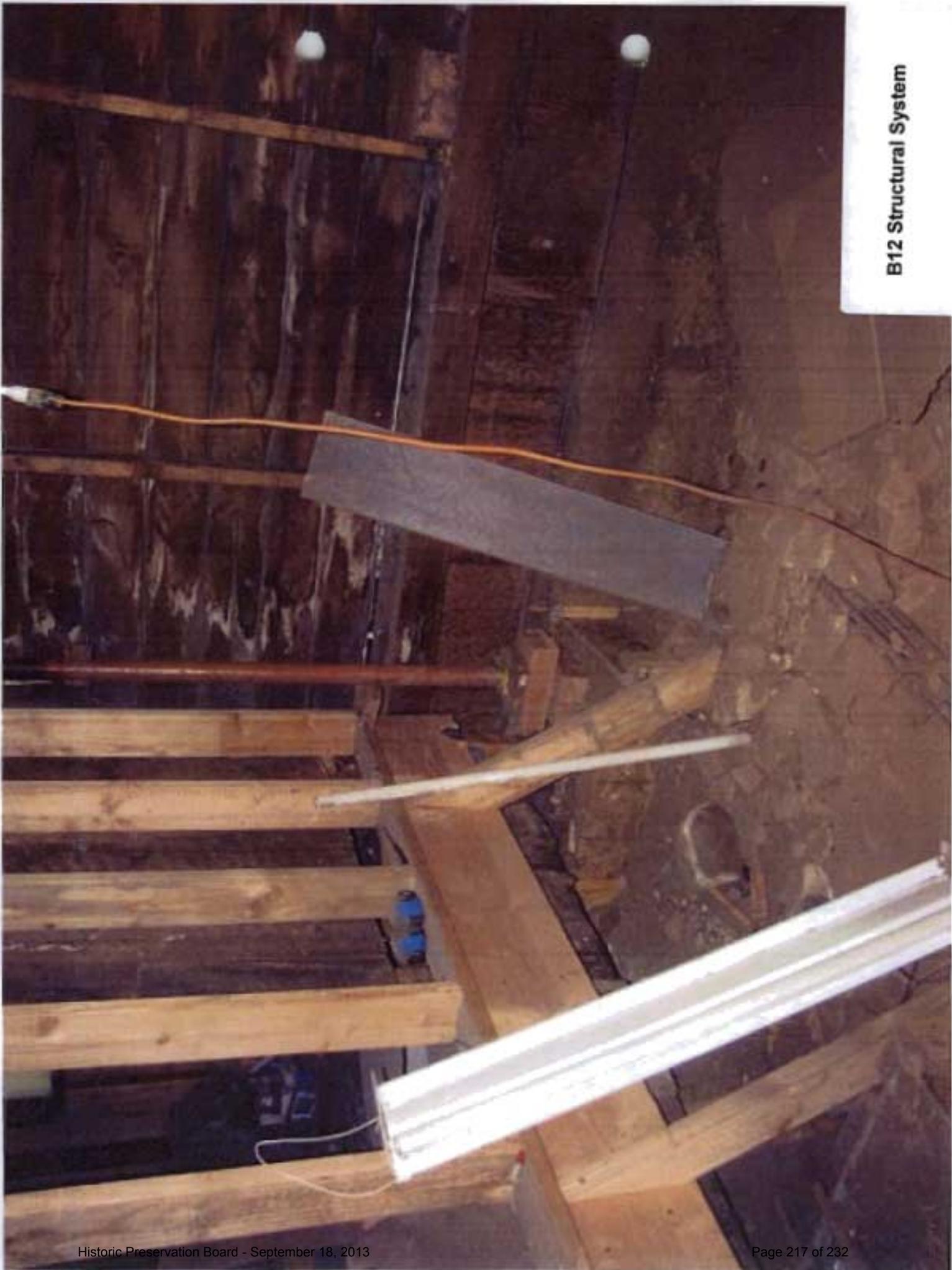
B12 Structural System



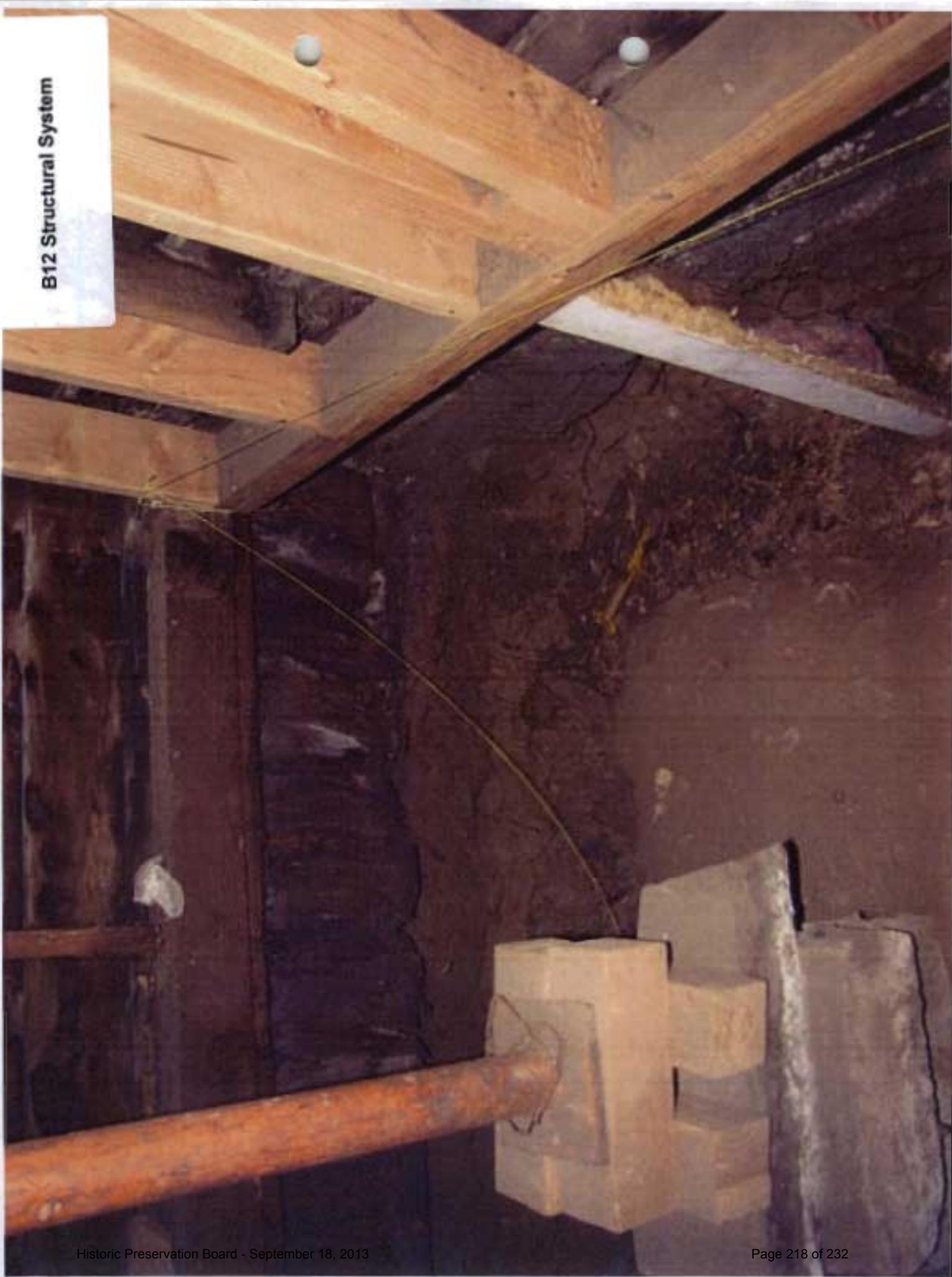
B12 Structural System

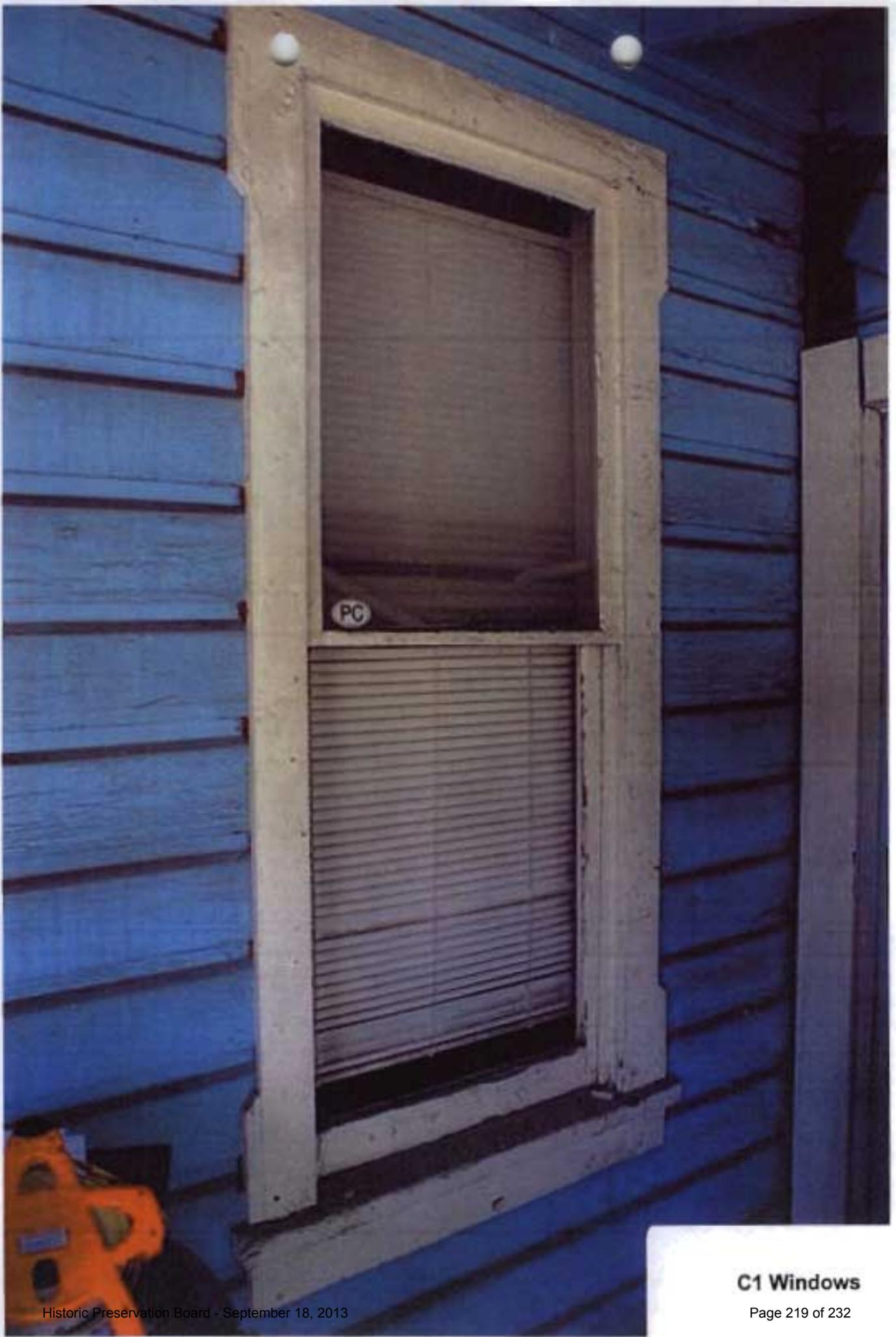
B12 Structural System



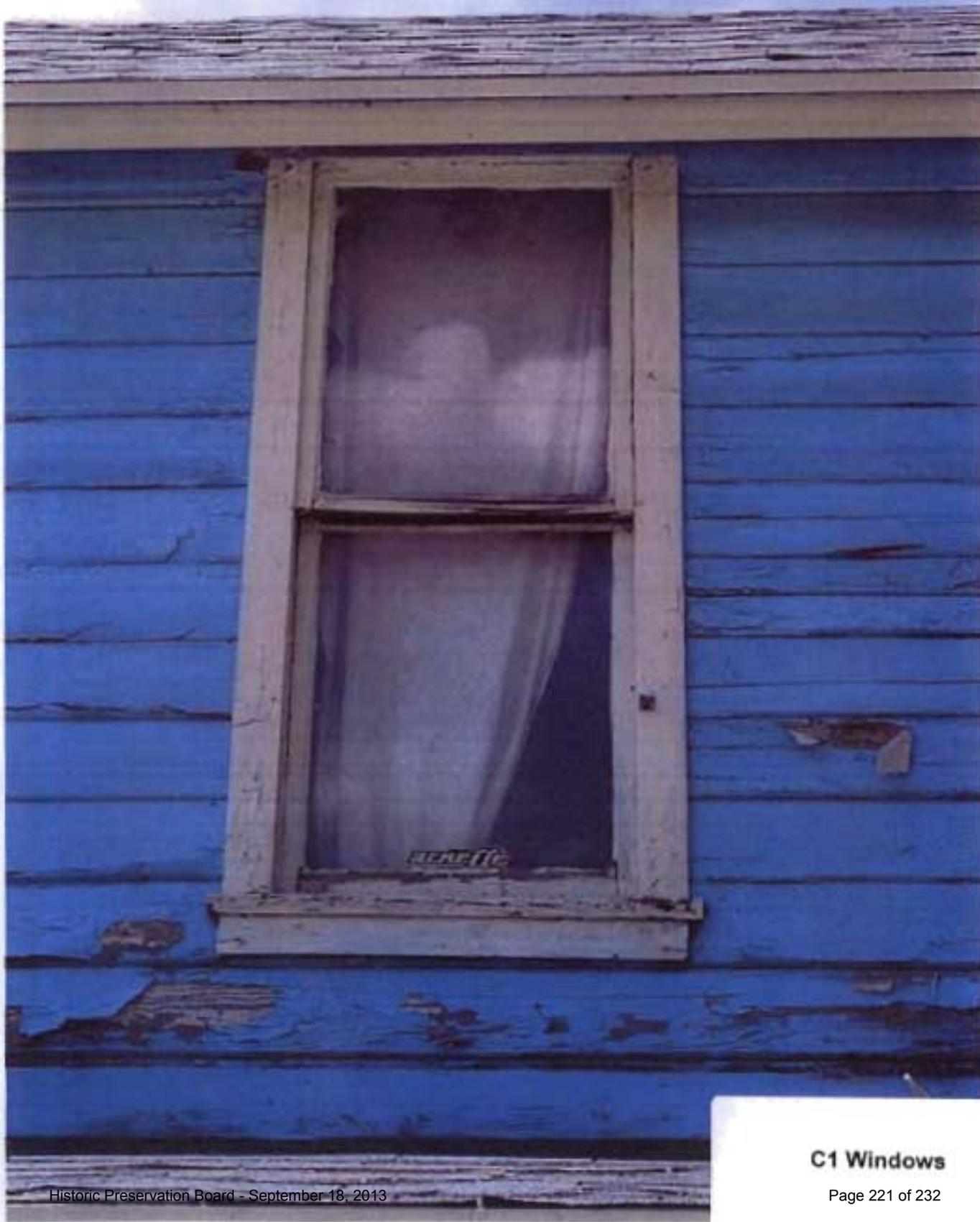


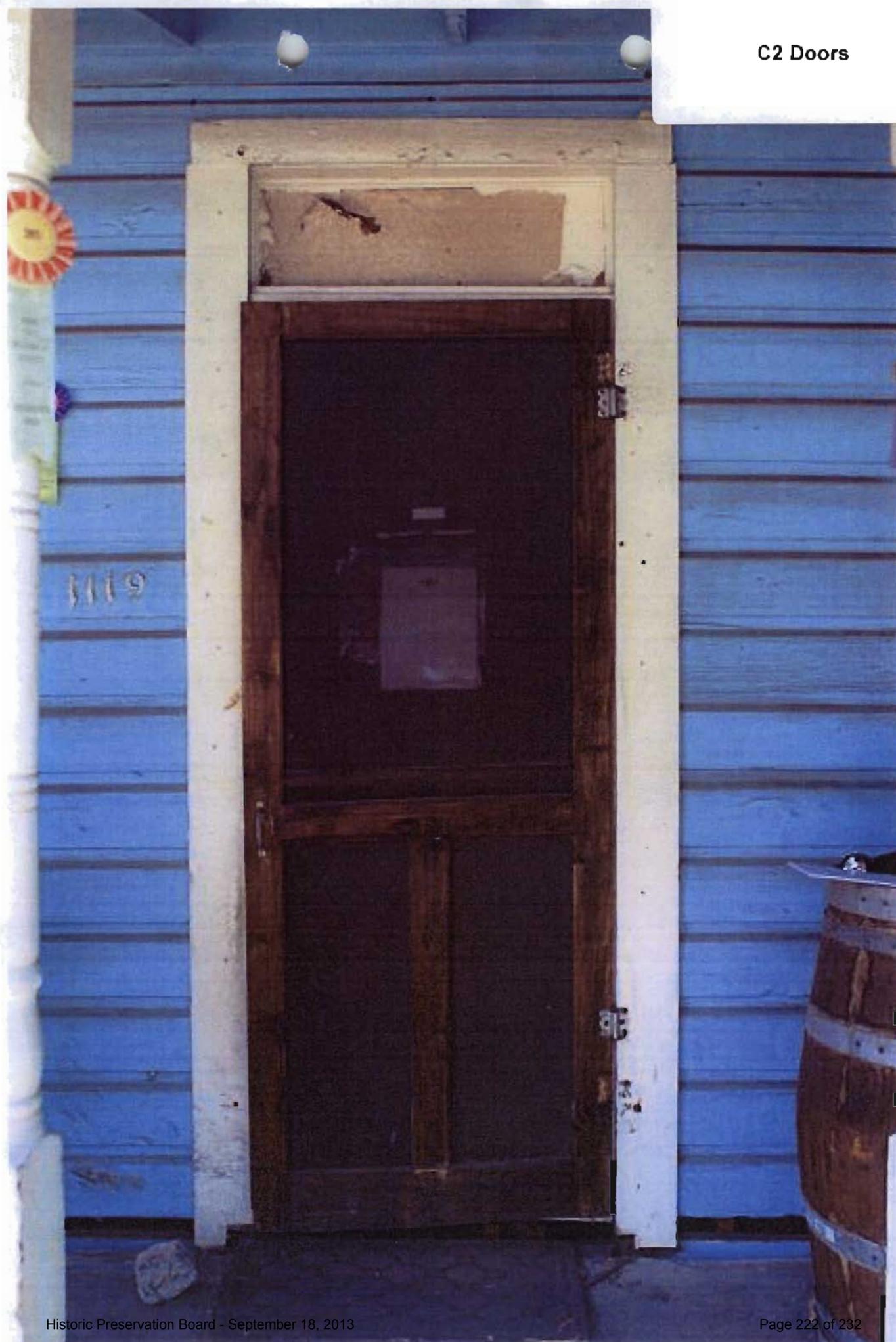
B12 Structural System











HISTORIC PRESERVATION PLAN and ADDITION

1119 PARK AVENUE

JANUARY 8, 2013

1. PROJECT DESCRIPTION

This Historic Preservation Plan is the final phase of development on this site following the completion of the previously approved Stabilization Plan. This Preservation Plan includes completely restoring the two-story hall parlor house on three sides, including the garage, and constructing an addition on the rear of the house that complies with the Historic District Guidelines and the LMC.

The following is a step-by-step outline for completion of the project;

1. Project site.

- Notice to neighboring property owners as per Park City's LMC and post signage on site,
- Obtain written permission from the property owner to the south for temporary construction access,
- Terminate all utilities and begin the application process for future utility connections, establish temporary power source,
- Place dumpster and temporary toilet in the front yard,
- Remove all debris from the site, including the front porch and tree.

2. Remove all non-historic structures from the site.

- Complete analysis for hazardous materials of the historic portion of the structure.
- Remove any shoring and cross-bracing from the structures in preparation of demolition.
- Dismantle the non-historic structures and salvage any possible historic elements.

3. Begin the construction of the proposed addition.

- Through standard building practices, complete the 2-story addition per the approved plans.
- Design and construct details necessary to connect the historic structure to the addition in a structural and waterproof manner.
- Complete construction per the approved plans and obtain a Certificate of Occupancy.

4. The project's timeframe is primarily based on the City's ability to process the permit application. The Owner would like to start construction in the spring of 2013.

- Timeframe is for completion in 9 months from the ground breaking.
- The Owner will construct the project at the current market value.

2. DESIGN ISSUES



A Pre-application Meeting was attended and Staff defined their major concerns as the connection of the addition to the historic structure, the reconstruction of the front porch, and the historic value of the garage. Staff recommended several references to assist the design and connection of the proposed addition. The recommendations from It's The Standard, Report #37, Rear additions to Historic Homes, and reviewed the opportunities applicable to this situation with a priority of the restoration of the historic building.

The proposed project will return the historic character to the wood frame two-story hall-parlor including the reconstruction of the full-width front porch with hip ends. This application includes repairing the masonry garage addition which is an extremely rare example of the architectural impacts of the automobile had on the mining community.

The design intent of the addition is to be a backdrop for the historic structure. The addition's mass and height are less than the LMC allows and is proposed to not compete with the addition. The proposed exterior materials and detailing for the addition are subservient in quality and nature to the historical portion of the project. The proposed wood siding is a simple v-groove style, to be stained not painted, and vertical corrugated metal wainscot are more consistent with newer homes such as the neighbor to the South.

Much of the historic character will be returned to the site through this application.

SUMMERIZE THE DESIGN OF PROPOSED ELEMENTS.....

This application is for removing non-historic debris from the site, restoring the historic structures, and constructing an addition on the rear of the historic hall-parlor house.

SUMMERIZE THE LOCATION....

As per the Design Guidelines and the LMC, the historic building will be placed in its existing location with a finished floor elevation that complies with FEMA Flood standards. The addition will comply with all setbacks indicated in the LMC and the Historic District Design Guidelines.

PROJECTS INVOLVING ADA....

Not applicable

3. CONSTRUCTION ISSUES

SITE FEATURES

A.1. Topography

The proposed grades will comply with all codes applicable to existing, non-conforming conditions and small Old Town lots.

A.2 Landscaping

All landscaping will be designed and installed per LMC requirements.

A.3.

Retaining walls

Not applicable

A.4.

Exterior Steps

Not applicable

A.5.

Fence(s)

No fencing is proposed in this application. The Owner is proposing to keep the existing fence, installed by the City, in place until a Certificate of Occupancy is obtained.

A.6.

Other

MAIN BUILDING

B.1.

Roof

The roofs of the historic building will be reroofed with architectural grade shingle that has an appearance of wood shingles. The proposed addition will be roofed with a roof material that is different than the historic building.

B.2. – B.5.

Exterior Walls

The North, East, and South walls of the historic building will be raised as is. The West wall, or what is left of it, will be modified to include a large opening per the proposed floor plan. The exterior walls for the addition will be per approved plans.

B.6.

Foundation

The footings and foundations are to be constructed per approved drawings.

B.7

Porch(es)

The front porch will be reconstructed based on historic documentation and research.

B.8

Dormer(s) Bat(s) Windows

Not applicable

B.9.

Development History – N/A

See physical Conditions Report for the development history.

B.10.

Mechanical system

The project proposes a new mechanical system that meets or exceeds current energy efficiency requirements.

B.11.

Electrical system

The project proposes a new electrical system that meets or exceeds current energy efficiency requirements.

B.12.

Structural system

The structural system is defined in the structural drawings.

B.13.

Hazardous Materials

Typical industry standards and procedures will be used to address any hazardous materials encountered on site.

B.14.

Other -

Not applicable.

MAIN BUILDING – DETAILS

C.1. Windows

The windows for the addition will have similar proportions to the historic windows but will have simplified trim.

C.2. Doors

The front door will be replaced with a door to match historical photographs. All new doors will be raised panel, wood doors.

C.3. Trim

The trim on the historic portion will be reconstructed. The trim on the new portion of the building but be similar with no ornamentation.

C.4. Architectural Ornamentation

Ornamentation will be added based on historic documentation.

C.5. Other -

ACCESSORY BUILDINGS

D.1. Not applicable

STRUCTURE(S)

E.1

Not Applicable

4. PROJECT TEAM

Gregg Davison
Owner/taxpayer

Kurt von Puttkammer
Licensed Architect/Planner



A licensed general contractor with experience with restoration will be hired through the competitive bidding process.

Statement of Competency

- 25 years of providing architectural services including several additions to historic structures and numerous buildings in Park City's Historic District,
- Two years as Park City staff planner that was primarily responsible for the review of all Historic District applications
- Architect and designer of 1102 Park Avenue.

5. SITE HISTORY

Per existing documentation is on file with the Planning Department.

6. FINANCIAL GUARANTEE

The Owner and the City's Legal Department are currently drafting a lien agreement unique to this project.

Anya Grahn

From: Molly Blooms <mollyblooms@yahoo.com>
Sent: Tuesday, July 09, 2013 9:36 PM
To: Anya Grahn; Thomas Eddington; vonvisions@gmail.com
Subject: Re: PL-12-01611 1119 Park Avenue

Anya,

July 14th at 4PM will be fine. Thank you for arranging the meeting. I would like you to know that a lot of work has gone into these submissions and at the current time I feel that we are fully in compliance with the HDDR guidelines. I'm very interested in your suggestions though and look forward to a productive meeting.

Specifically here is my response to all of the non compliant comments on the staff report;

"5. Deteriorated or damaged historic features and elements should be repaired rather than replaced. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element should match the original in design, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition. Needs further clarification.

The submitted Preservation Plan acknowledges that all non-historic structures will be removed from the site and that work will be completed to restore the historic two (2)-story structure; however, the Preservation Plan does not go into sufficient detail in addressing what elements can be restored, what will need to be replaced in-kind due to deterioration, etc."

The historic parlor house including 2x4 framing, 1" plank wall framing on the second floor, horizontal siding on the East, North and South Walls, second floor joists, second floor T&G flooring, soffit and soffit trim, Roof rafters and roof planking will be preserved and the repaired if necessary. Necessary known repairs include replacing 3 to 5 planks of siding on the South Gable wall. Placing "sister 2x6" studs along existing 2x4 studs where required by engineering. Caulking, sanding and putty on trim and soffit trim. Trim on the South Gable is to be replaced due to warping and splintering. Windows and trim around the 4 East windows will be preserved and repaired as necessary including replacing the rotted sashes of the 2 second story windows with milled pine that is sanded and painted, and replacing and re-glazing any broken glass panes.

"8. Chemical or physical treatments, if appropriate, should be undertaken using recognized preservation methods. Treatments that cause damage to historic materials should not be used. Treatments that sustain and protect, but do not alter appearance, are encouraged. Needs further clarification.

Specific restoration treatments have not been addressed in the Preservation Plan. Item #2 specifies that any historic elements will be salvaged during construction. Under C.3 Trim, the applicant indicates that the trim on the historic portion will be reconstructed. The Physical Conditions report explains that the wood and door trim on the priory façade are 1'x lumber; however, it does not address the condition of these elements. It is unknown whether or not the trim can be salvaged. Moreover, the Physical Conditions report shows that there are four (4) original windows on the primary façade, yet the Preservation Plan does not address how these windows will be restored or if they can be restored."

Specific treatments of siding and trim will be; scraping and sanding followed by primer and paint. Trim (see above), Windows (see above).

"9. New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the site or building. Needs further clarification.

The west wall of the historic hall and parlor has been lost due to out of period additions to the rear. The new addition proposes to use the existing opening to access the historic house. The new additional also abuts the west wall of the garage. This wall is constructed of CMUs, and the Preservation Plan does not indicate how the addition will be attached to this historic wall. Though the west wall of the first floor has been lost, the second floor wall exists. A transitional

element should be created on the second floor to preserve more of this wall."

The second story West wall of the parlor house is not significant because it can not be observed from the public right of way. Any siding recovered from the second story West wall facade will be used to replace South Gable wall siding where necessary. Exposed West second story wall siding will be preserved in place.

The West wall of the garage is not CMU it is 1974 2x4 with cardboard and vertical siding in some places and a hollow core door that is rotted. It is not Historic.

A transition element is proposed that distinctly separates the addition from the parlor house and garage.

"10. New additions and related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored. Needs further clarification.

On the west wall of the historic hall-and-parlor structure, the new addition will not create a loss of historic materials as any original materials were lost with the addition of the existing out-of period rear additions. Nevertheless, if we are to conclude that the CMU garage is historic, then the new addition must not adjoin it in such a way that removing the addition in the future would create a significant loss or irreversible damage to the historic materials. Moreover, the second story's west wall needs to be preserved."

The second story West wall will be preserved where it is a exterior wall. Where the wall is joined and enclosed by the addition the siding will be salvaged and put back in use on the South Gable wall. The essential form and integrity of the parlor structure is maintained and preserved. The North and South Gables, visible from the public right of way are maintained including their roof lines.

" A.5.2 Incorporate landscape treatments for driveways, walkways, paths, building and accessory structures in a comprehensive, complimentary and integrated design. Needs further clarification.

A landscape plan has not yet been proposed. Per the Preservation Plan, the applicant has indicated that "all landscaping will be designed and installed per LMC requirements."

See also A.5.4-8,

I do not have a landscape plan for the front and back yards yet. Is this really a reason for denial of the application at this stage?

Please clarify.

"B.1.4 Roof colors should be neutral and muted and materials should not be reflective. Needs further clarification.

The applicant is proposing to sheath the historic roof in shake-style asphalt shingles; however, no color has been proposed at this time."

I have not picked a color for the roof shingles. I can find and submit a shingle if necessary. Is this a reason to deny this application at this time? Please Clarify.

"B.2.2 Repair deteriorated or damaged facade materials using recognized preservation methods. Needs further clarification.

Specific restoration treatments have not been addressed in the Preservation Plan. Item #2 specifies that any historic elements will be salvaged during construction. Under C.3 Trim, the applicant indicates that the trim on the historic portion will be reconstructed. The Physical Conditions report explains that the wood and door trim on the priory façade are 1'x lumber; however, it does not address the condition of these elements. It is unknown whether or not the trim can be salvaged. Moreover, the Physical Conditions report shows that there are four (4) original windows on the primary façade, yet the Preservation Plan does not address how these windows will be restored or if they can be restored."

See response to #5

"B.2.3 If disassembly of a historic element—window, molding, bracket, etc.--is necessary for its restoration, recognized preservation procedures and methods for removal, documentation, repair, and reassembly should be used. Needs further clarification.

Specific restoration treatments have not been addressed in the Preservation Plan. Though it is

mentioned that trim will be replaced, the condition of the original wood trim has not been discussed. Furthermore, the physical conditions report indicates that there are four(4) historic wood windows on the façade. The condition and restoration/replacement of these windows has not been addressed in the Preservation Plan."

There will be no dis-assembly of historic elements

"B.2.4 If historic exterior materials cannot be repaired, they should be replaced with materials that match the original in all respects; scale, dimension, texture, profile, material, and finish. The replacement of existing historic material should be allowed only after the applicant can show that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition. Needs further clarification.

Again, the Preservation Plan does not specifically address which exterior materials will need to be replaced in-kind and which can be restored. There is also no mention of how restoration treatments will be carried out."

All exterior materials will be maintained and repaired in the methods previously described. See response to #5

"B.3.1 A new foundation should not raise or lower the historic structure generally more than two (2) feet from its original floor elevation. See D.4 for exceptions. Needs further clarification. The applicant proposes to raise the historic structure to add a foundation beneath it; however, the plans do not specify how much this will raise the location of the structure."

The structural stabilization plan does specify finished floor height. The historic parlor house will be raised by 1' - 4" to meet flood code.

" B.3.2 The original placement, orientation, and grade of the historic building should be retained. Needs further clarification."

The placement, orientation and grade of the historic parlor house will be maintained.

"This is dependent on B.3.1 as the applicant has not indicated how much the historic structure will be raised by the addition of a foundation."

It is on record with both Building and Planning that the historic parlor house will be elevated 1' - 4" to meet flood code.

"B.3.3 If the original grade cannot be achieved, no more than two (2) feet of the new foundation should be visible above finished grade on the primary and secondary façades. Needs further clarification. This is dependent on B.3.1 as the applicant has not indicated how much the historic structure will be raised by the addition of a foundation."

See responses to B.3.2 and B.3.1

"B.5.1 Maintain historic window openings, windows, and window surrounds. Needs further clarification. The Physical Conditions report specifies that there are four (4) original wood windows on the façade. The Preservation Plan does not address whether or not these wood windows can be restored or if they will need to be replaced in-kind."

See response to #5.

" B.5.2. Replacement windows should be allowed only if the historic windows cannot be made safe and serviceable through repair. Replacement windows should exactly match the historic window in size, dimensions, glazing pattern, depth, profile, and material. Needs further clarification. The Physical Conditions report specifies that there are four (4) original wood windows on the façade. The Preservation Plan does not address whether or not these wood windows can be restored or if they will need to be replaced in-kind."

See Response to #5.

"B.5.3 Storm windows should be installed on the interior. If interior installation is infeasible, exterior wood storm window dimensions should match the historic window dimensions in order to conceal their presence. Frames should be set within the window opening and attach to the exterior sash stop. **Needs further clarification.**

If the historic windows are restored, they will likely need to storm windows to improve their energy efficiency. The applicant has not provided information about the use of storm windows."

Storm windows will be installed on the interior.

B.7.3 When possible, lowVOC (volatile organic compound) paints and finishes should be used. Needs further clarification.

The applicant has not indicated the type of paint that will be used.

When possible low VOC paints and finishes will be used.

"C.1.2 If locating a parking area in the rear yard is not physically possible, the off-street parking area and associated vehicles should be visually buffered from adjacent properties and the primary public right-of-way. Needs further clarification.

A landscape plan has not yet been submitted and thus it is unclear whether or not the parking area/driveway will be visually buffered from the adjacent properties."

The garage is to be preserved and buffer the adjacent property owners and right of way goes.

"D.1.2 Additions should be visually subordinate to historic buildings when viewed from the primary public right-of-way. Does not comply.

A clear transitional element is essential to introducing a new addition to the rear of a historic structure. This transitional element prevents the new addition from attaching to the historic structure and contributing to the significant loss of historic materials. Due to the loss of the west wall along the rear of the structure, the proposed new addition is able to attach itself to the historic structure with a much larger footprint than would typically be seen.

Nevertheless, the new two (2)-story addition consumes the CMU garage and overshadows it to the north of the property. On this elevation, the addition should be scaled back in order to create greater isolation of the historic garage and prevent the addition from being visible from the primary public right-of-way."

From the primary public right of way 100% of the first floor addition is obscured by the historic parlor house. From the primary public right of way 75-80% of the second floor addition is obscured by the historic parlor house. In total over 90% of the addition is obscured by the historic parlor house when viewed from the primary right of way. How can a 90% hidden addition dominate the historic parlor house?

The West wall in our proposal is in compliance. The West wall is not observable from the primary right of way.

The proposed North wall addition is compliant with D 1.2 for the following reasons; the addition does not dominate the CMU block wall. The CMU block wall is visually striking, distinct and regarding position; is in front of the addition when viewed both from the North and East. The proposed addition might be higher than the CMU block wall when viewed from the North and East, but for less than 6 feet of the length of the wall, hardly causing a subordinate relationship from the addition. The view of the North elevation of the addition from the primary right of way is almost totally obscured by significant vegetation (30 ft box elder trees) and the historic home to the North. It is just not credible to to see the proposed addition as dominating the CMU block garage.

"D.1.3 Additions should not obscure or contribute significantly to the loss of historic materials. Needs further clarification.

The new addition abuts the west rear wall of the CMU garage. How will the new structure be attached to old? Will it cause damage to the historic materials?"

The West wall of the garage is neither CMU or historic. There is no loss of historic material.

*"D.1.4 Where the new addition abuts the historic building, a clear transitional element between the old and the new should be designed and constructed. Minor additions, such as bay windows or dormers do not require a transitional element. **Does not comply.***

There is no transitional element between the new and old addition where it abuts the garage or the second story west wall. If we are to consider the garage to be historic, the new addition should not be permitted to consume the west rear wall of the garage."

There is no historic significance to the West wall of the garage. It is 2x4 studs from 1974, clad with cardboard and panel siding in places. The hollow core interior door is in a state of advanced decay and completely failed. The proposed West wall second story has a stacked stone masonry significant transitional element that complies with D 1.4

*"D.2.1 Additions should complement the visual and physical qualities of the historic building. **Does not comply. The scale and mass of the new addition does not complement the existing historic structure. Directly behind the garage, the addition extends past the historic hall-and-parlor structure and overshadows the historic CMU garage. With no breaks in the massing, the new addition appears tacked onto the historic, rather than integrated into its design."***

The scale and mass of the proposed addition is 90% obscured from the predominant right of way. The proposed addition is two stories and set back from the historic parlor house with a cricket roof structure. The proposed additions East gable is only observable from the neighbors yard across the street. A significant stone veneer transition creates a visual separation and facilitates an integrated design flowing into a second siding scheme of bat and board on the remainder of the addition. Please keep in mind that the historic parlor house is two stories and with the addition of the garage goes from lot line to lot line.

The proposed addition complements the visual and physical qualities of the historic wood parlor house and CMU block garage.

*"D.2.4 Large additions should be visually separated from historic buildings when viewed from the public right of way. **Does not comply.***

Again, the two (2) story rear addition abuts the historic CMU garage and appears to consume it from the public ROW."

AGAIN, the proposed addition is in scale and mass with the existing historic parlor house and CMU garage. Greater than 90% of the addition is obscured from the ROW by the Parlor house and behind the CMU block garage a stacked stone transition visually separates the addition from the mostly obscured North view.

We obviously have a significant difference of opinion about what subordinate and dominant architecture looks like, as well as what a significant transition on a small historic house would look like. I'm confident we can come to a resolution at the staff level though, and I look forward to hearing your creative ideas next Monday.

As always Anya, I appreciate your attention and professionalism with and to this project.

Yours truly,

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