

**PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
CITY COUNCIL CHAMBERS
May 21, 2014**



AGENDA

MEETING CALLED TO ORDER AT 5:00PM

ROLL CALL

ADOPTION OF MINUTES OF April 16, 2014

PUBLIC COMMUNICATIONS – *Items not scheduled on the regular agenda*

STAFF/BOARD COMMUNICATIONS AND DISCLOSURES

REGULAR AGENDA – *Discussion, public hearing, and possible action as outlined below*

| | | |
|--|--|-----|
| 632 Deer Valley Loop – Determination of Significance Remanded back to Historic Preservation Board to Consider Newly Submitted Materials by the Applicant <i>Public hearing and possible action</i> | PL-13-02160 <i>Planner Grahm</i> | 15 |
| 1255 Park Avenue – Carl Winter’s School Remodel and Addition <i>City Council directed HPB to participate in the design review of the City owned project located within the designated Historic District</i> | PL-13-02117 <i>Planner Wassum</i> | 109 |

ADJOURN

A majority of Planning Commission members may meet socially after the meeting. If so, the location will be announced by the Chair person. City business will not be conducted.

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Park City Planning Department at (435) 615-5060 24 hours prior to the meeting.

PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
MINUTES OF APRIL 16, 2014

BOARD MEMBERS IN ATTENDANCE: John Kenworthy, Puggy Holmgren,
David White, Gary Bush, Hope Melville

EX OFFICIO: Thomas Eddington, Anya Grahn, Makena Hawley

ROLL CALL

Chair Kenworthy called the meeting to order at 5:06 p.m. and noted that all Board Members were present except for Clayton Vance and Marion Crosby who were excused.

APPROVAL OF MINUTES

November 13, 2013

MOTION: Board Member Holmgren moved to APPROVE the minutes of November 13, 2013 as written. Board Member Melville seconded the motion.

VOTE: The motion passed unanimously.

February 19, 2014

Board Member referred to page 40 of the Staff report, Page 1 of the minutes, last paragraph, "Board Member Melville noted that the historical plaque that was placed on the Zoom Building disappeared..." She corrected the minutes to accurately reflect that the plaque was placed **near** the Zoom building. It was not on the building.

Director Eddington reported that he was working with them as part of the overall construction and he was unsure exactly when the plaque would be replaced. Most of the construction was proposed more for the summer. The concern is if they put up the plaque sooner it could get damaged during construction. Board Member Melville asked if the original placement was on City land or the owner's land. Director Eddington replied that the City has the easement but it was actually placed on the owner's land.

Board Member Melville preferred to have the sign put back up rather than wait for the completion of the construction, because when people see that the Zoom Building looks like a railroad station it makes a good impression.

MOTION: Board Member Holmgren moved to APPROVE the minutes of February 19, 2014 as corrected. Board Member Bush seconded the motion.

VOTE: The motion passed unanimously.

March 5, 2014

MOTION: Board Member Holmgren moved to APPROVE the minutes of March 4, 2014 as written. Board Member Holmgren seconded the motion.

VOTE: The motion passed unanimously.

PUBLIC COMMUNICATIONS

There were no comments.

STAFF/BOARD COMMUNICATIONS

Planner Grahn stated that several months ago the HPB reviewed the determination of significance for 632 Deer Valley Loop. The applicant appealed their determination to the Board of Adjustment and provided additional research and investigative history as new evidence. The Board of Adjustment felt that the new evidence was substantial enough to remand it back to the HPB. The Board should expect to see it again at the May 21st HPB meeting.

Planner Grahn reminded the Board of the joint work session with the City Council at 4:00 p.m. the following evening. It would start with a meet and greet and the Staff would present an overview of current preservation activity. The HPB was welcome and encouraged to stay for the presentation.

Planner Grahn reported that the Planning Department had scholarships from the State for the Utah Heritage Annual Statewide Preservation Conference on May 9th. Anyone interested in attending should contact her as soon as possible.

Planner Grahn noted that the next Historic Preservation Board meeting would be May 21st instead of May 7th. In addition to the remand of 632 Deer Valley Loop, she had also invited Cory Jensen and Chris Merrick from Utah State History to attend the meeting to talk about tax credits and National Register eligibility of different buildings.

Chair Kenworthy encouraged the Board members to attend the joint meeting with the City Council if possible. He believed a strong showing would make a good impression.

Board Member Melville stated that the Historical Society Historic Home Tour was scheduled for June 14th. Anyone interested in volunteering for the home tour was welcome. The time commitment would be a 2 to 3 hour shift. There would be a reception following the tour for the homeowners and volunteers. Volunteers are admitted to the Home Tour free of charge.

Chair Kenworthy asked for an update on the Historic Preservation award. Planner Grahn stated that her goal is to present a painting or piece of artwork every year in May as part of Historic Preservation Month. It would be the piece that the HPB commissions and it would be presented to the recipient jointly with the City Council. She was still working with the Legal Department to put out the RFP. Planner Grahn questioned whether they would make the May deadline this year. She would update the Board as soon as the RFP goes out.

REGULAR AGENDA – Discussion, Public Hearing and Possible Action

343 Park Avenue – Grant (Application PL-14-02259)

Planner Grahn reported that 343 Park Avenue is a Landmark structure that was built in 1898. It is a one-story truncated pyramid-style structure originally constructed as a square plan. It is one of 28 pyramid houses currently listed on the Park City Historic Sites Inventory. In 1984 the State Historic Office did a survey of the neighborhood and recognized that the house at 343 Park Avenue had National Register eligibility. At that time there was a small shed addition off the back, as well as gable dormers. An in-line addition replaced the shed addition around 1983. Planner Grahn clarified that even though the survey was dated 1984, the addition was probably built right after the survey was conducted.

Planner Grahn noted that the house was listed on the National Register of Historic Places in 1985. The HSI Form recognized it as being in fairly good condition. She stated that these structures were built as mining shacks and were not intended to last 100 years like they have. Planner Grahn remarked that in looking at the work involved in rehabbing and refurbishing the buildings, a lot of times the cost is relatively expensive even if the structure is in good condition, because of the building codes required and the amount of work that needs to be completed to preserve it.

Planner Grahn presented slides showing the existing structure and the in-line addition. The applicant was proposing to take advantage of attic space by adding dormers on the roof. Windows would be changed beyond the midpoint. For the most part, historic materials are in place on the front façade and on the side.

Planner Grahn stated that the applicant was requesting a grant to offset the costs of foundation work, windows and doors, and any structural stabilization if needed. Planner Grahn explained that the foundation was built around 1983 when the addition was made. The Staff did not think there were footings underneath the current foundation beneath the historic portion of the house. It is a single stem wall. The stud wall construction and wood roof rafters need to be upgraded as they insulated the house. The heat no longer melts snow off the roof and that could cause the roof to collapse. There is some wood rot. The historic windows on the front of the house are painted shut and the applicant was proposing to restore the wood windows. Two historic doors on the building would also be restored.

Planner Grahn stated that on two previous applications, one at 335 Woodside and the other at 1049 Park Avenue, the HPB only funded the foundation work. They did not fund excavation, house lifting or bracing the house. For that reason, Planner Grahn had not included those three items in the eligible expenses.

Planner Grahn reviewed the breakdown of rehabilitation expenses on page 83 of the Staff report. The total estimated cost of work on the historic portion of the house was \$148,393. The total of what the City would pay through the grant fund program was \$43,915. Planner Grahn noted that this would be one of the larger grants awarded by the HPB. She pointed out that the overall cost of grants has increased recently. Therefore, for this request, Planner Grahn suggested that the HPB limit the amount of the grant to \$30,000, which would still help the applicant fund most of the work on the house.

Planner Grahn stated that typically the house at 343 Park Avenue would fall under the Main Street RDA neighborhood; however, the Main Street RDA no longer has funds available for the grant program. Most of the grant funds have been coming from the Lower Park Avenue RDA for projects in that neighborhood. If the grant is awarded for 343 Park Avenue, the funds would come from the CIP fund, which is a General Fund Transfer. Planner Grahn explained that each year \$45,000 is awarded into this fund. Currently, there was only \$6,319 available; however, another \$45,000 would be placed in the fund in July. By the time the applicant begins submitting receipts, the funds would be available. Planner Grahn stated that the CIP is a use it or lose it fund. Any money that is not used in the fiscal year gets recycled back into the fund.

Planner Grahn requested that the HPB review the request for the grant and consider awarding the applicant a portion of the cost up to a maximum of \$30,000. Other alternatives included awarding the applicant the full amount of \$43,915, awarding a portion of the cost in an amount to be determined by the Board, or denying the grant request.

Michael Stoker, representing the applicant, was available to answer questions.

Board Member Holmgren asked if this would be the owner's primary residence. Mr. Stoker stated that it would not be the primary residence. However, it is a family trust and it would be used by family members when they visit Park City. He understood that it would not be used as a rental.

Chair Kenworthy asked Mr. Stokes for his assessment on the foundation. Mr. Stokes stated that the foundation on the back side of the house with the new addition was done in the 1980's and it is in relatively good condition. Additional exploratory work has been done since the application was submitted in March. Mr. Stokes explained that the foundation is a six to eight inch stem wall that goes slightly under grade approximately six inches. With the freeze/thaw cycle over the last 100 years coupled with the steep site, the building has started to tilt and creep to the northeast corner of the property towards Park Avenue. Inside the house the floors are starting to sag and tilt towards the northeast corner. Mr. Stokes stated that basically the foundation was non-existent around the perimeter of the house on three sides. There is a bearing point down the center of the house for the main level floor joist without any foundation. The condition of the house is in relatively good condition as it appears from the right-of-way, but upon closer inspection a fair amount of dry rot has occurred at the ground level. Due to excessive snow and ice from the adjacent buildings during the winter, a significant amount of dry rot has occurred on the siding and the underlayment, which is a planking system that was commonly used in Old Town. Mr. Stokes stated that there was major damage in the crawl space and lack of ventilation.

Mr. Stokes stated that the owner originally intended to only put a new foundation to stabilize the structure. He has since decided to add a lower level basement at the same time. There are major seismic concerns with the barn wood walls and the structural engineer advised that it be brought up to current Codes. The barn wood walls on the main level will be 2 x 6 walls with insulation and plywood sheeting on the inside, along with more modern structural in place in around the foundation at window openings, corners and in the walls. New floor joists would be added to the existing floor joists on the main level and the upper level. Areas of the roof need structural stabilization.

Mr. Stokes pointed out that most of the proposed work was structural, but some of it was cosmetic, such as the doors and windows. They tried to maintain the design of the existing front porch and at the same time stabilize the soil underneath, the concrete supports and the columns. Mr. Stokes stated that when the owner first started the project he did not consider assistance from the City; however, he later decided to apply for funds to help with the historic parts of the house. He is dedicated to maintaining the front façade and the integrity of the design of this historic home as much as possible.

Mr. Stokes remarked that some exploratory work was done in the Fall and holes were cut in the floor. The owner has since pulled a demolition permit and sheet rock was removed a few weeks ago.

Chair Kenworthy asked when the front porch was removed. Mr. Stokes replied that the decking and framing was removed a week ago. The interior of the house was gutted to get a better idea of what needed to be done. The owner was waiting for the results of this meeting before proceeding to pull a building permit.

Chair Kenworthy understood that grants could not be awarded on work that has already been done. He asked if exploratory work fell under that requirement. Director Eddington clarified that the applicant was not requesting a grant for the exploratory work that was done.

Planner Grahn understood that the demolition permit was for the interior demolition, which is not eligible for grant money. She understood that the work that was done on the porch was exploratory. Mr. Stokes replied that the front porch was stabilized with diagonal bracing from the roof so the historic porch would not be damaged. He pointed out that the planks have been removed on the exterior to look at the concrete stem wall on the front of the house.

Board Member Melville asked if historic material had been removed. Planner Grahn believed the decking was new material because the porch was redone in the 1980's. Board Member Bush stated that he had walked around the entire house and he did not believe the materials had been removed. A few windows were broken but nothing else was apparent.

Board Member Melville understood that part of the plan was to keep the porch in its historic form. Mr. Stokes answered yes. Board Member Melville asked about the siding. Mr. Stokes stated that the siding on the front is in good shape under the front porch roof and that would remain as is. The siding on two sides at least halfway back on the historic house would remain. A few boards on the bottom 12-18 inches may have to be repaired or restored due to the buildup of snow and ice. The plan is to leave all the existing exterior materials on the walls and the front porch, other than the porch decking.

Board Member Melville thought it was a beautiful project and exactly what they were trying to encourage in the Historic District. The building would remain in its actual location, restored to look historic and made habitable for use.

Board Member Holmgren referred to the original tax photos on page 95 of the Staff report, and the changes that have been made to this point. In one photo the porch was very basic and plain and it did not look raised. In another photo the porch looked lower. Board Member asked when the rock retaining wall was constructed. Mr. Stokes believed the rock retaining walls in the front and the

steps going up to the house might have been done prior to 1985. It may have been when the remodel was done to the back of house. Mr. Stokes stated that at one point the stairs were more towards the downhill side of the property on the north rather than in the center. Board Member Holmgren agreed. In looking at the original tax photo it also appeared to be a shingle and metal roof.

Planner Grahn assumed that when the new basement foundation was added the porch was raised enough that the vertical siding needed to be added. She noted that the rock walls are not historic; however, the applicant likes the walls and believes they contribute to the look and feel of Old Town. They intend to leave the rock walls in place and add terracing.

Board Member Holmgren asked if the porch stairs would remain in the center. Planner Grahn and Mr. Stokes answered yes. Director Eddington asked if the existing stairs would remain or be replaced. Mr. Stokes replied that the intent is to keep the existing stairs that are 6" to 8" sandstone slabs if they can meet the current Building Code requirement from the sidewalk to the porch with the amount of risers and tread widths and depths. The applicant proposes to add three to four additional steps to accommodate the 2-foot increase in elevation of the house due to the new foundation for the basement. Planner Grahn stated that the front would be re-graded so a railing would not be required along the front of the house. The landscape would appear the same.

Mr. Stokes stated that they were also proposing to add a third retaining wall to match the existing walls and to add three or four additional steps. Board Member Bush thought the steps appeared to go right from the street up to the front porch. Mr. Stokes replied that the steps do go from the street to the front porch and he believed the steps were 8" to 9" inches high. Board Member Bush suggested that they look at issues related to the elevation of the porch before they decide to raise the house. He was unsure if the 2-foot elevation would allow them to add the extra steps. Mr. Stokes stated that currently there is a 3-1/2 foot landing off the porch before the first step, and they were making up the extra stair treads in that landing. Therefore, instead of stepping off the porch on to the landing and then down the stairs, the steps would go directly to the porch. He believed there would be enough room for the extra steps.

Board Member Bush noted that the building would be restructured as needed. He asked if the engineer or someone else would be making those decisions. Board Member Bush wanted to know how much of the roof would be taken apart. An engineer would probably not sign off on a 2 x 4 roof and would recommend new members, which would require taking off the old roof and replacing it with a new roof. If that occurred it would take away a lot of the existing structure. Mr. Stokes stated that the entire historic roof would remain intact. The roof was framed with 2 x 8 boards and it is in relatively good shape. The engineer has already inspected the roof. Mr. Stokes remarked that nine out of 20 sheets of

plans submitted to the Building and Planning Department were structural in nature and provided the detailed plans for the roof.

Chair Kenworthy asked about the historic roof. Mr. Stokes noted that the historic roof goes back approximately 25' to the 1980s addition. Planner Grahn stated that the new dormers start at the halfway point of the house and go back to the addition. Planner Grahn pointed out that the proposed restructuring would occur on the interior. However, a condition of approval on the HDDR states that if for some reason the roof would have to come off and be reconstructed, it would require a separate HDDR review and approval.

Director Eddington clarified that the proposed dormers for the roof was no higher than the existing dormers. Planner Grahn replied that this was correct. She noted that they also kept the dormers off the ridge. Mr. Stokes stated that the new dormers would be slightly lower than the existing dormers.

Chair Kenworthy opened the public hearing.

Ruth Meintsma, a resident at 305 Woodside Avenue, was pleased to hear that the structure was being raised because she could not tell from the plans. It is an important factor in the guidelines and she suggested a notation in the future for clarification indicating that this house was being raised. Ms. Meintsma has seen previous projects where railings were not required but people added them later for safety reasons. She believed railings change the look of the house and liked the fact that the front yard would be raised to avoid the need for a railing. Ms. Meintsma thought this was a remarkable project because it allowed a Landmark structure to remain Landmark. The amount of work proposed was amazing and the front façade would remain. Ms. Meintsma thought it was unfortunate that the full eligible amount could not be awarded because of lack of funds. She believed the funding issue needed to be addressed because there is not enough money for people who are willing to invest the time and energy to maintain a Landmark structure. In her opinion, \$45,000 a year in the CIP fund is not enough for one project, much less two. She understood the \$30,000 cap but she thought the owner should be awarded the amount they requested to complete the project. Ms. Meintsma volunteered to do whatever she could to support increasing the funds for these types of projects.

Chair Kenworthy closed the public hearing.

Board Member Melville concurred with Ms. Meintsma in terms of awarding the full amount eligible for this application. If the CIP fund only has \$45,000 per year for these projects, it somehow needs to be increased by the City Council. Director Eddington suggested that it would be a good discussion for the joint meeting with the City Council. Ms. Melville recalled that the cost of the Intensive Level Survey was less than what was budgeted, and she thought the unspent

money should go into funding historic projects. Director Eddington stated that currently the budget would allocate \$45,000 to the fund on July 1st. If they awarded the full amount to this project, there would be nothing left to help with other good projects that may come in within the next 16 months. Board Member Melville thought they should approach the City Council to find additional funding for these projects to preserve historic structures. She did not believe the commitment from the City Council was consistent with the goal discussed in the General Plan.

Director Eddington reiterated his suggestion to raise the issue with the City Council at their joint meeting the following evening. Chair Kenworthy pointed out that the City Council members believe in historic preservation and he assumed they would like to contribute more to preservation.

Board Member Holmgren agreed that the City Council should and possibly would step up, but that was not happening now. She knows of people in her area who are planning to work on their houses and may need funding. She could not justify awarding the full amount and depleting the funds. Planner Grahn noted that the people in Ms. Holmgren's neighborhood would qualify under the Lower Park Avenue RDA. Board Member Holmgren replied that they were not all her neighbors. Some were people who live around the area. She reiterated her previous sentiment that she intended to be very conservative on granting this money.

Board Member Bush agreed. In the past all the applications were reviewed at one time and the money was disbursed among the projects appropriately. That process allowed the City to look at all the projects competitively and fund the best projects. He thought it was better to accept the applications year around as they currently do, but it is a matter of spending the resources they have responsibly. Board Member Bush understood the intent to keep the structure and materials intact, but during the course of the project some things change and other things could be done less expensively. He did not believe this was the right project for panelization, but panelization is an example of how to save money and achieve the same result. Board Member Melville disagreed that panelization always achieves the same outcome. Board Member Bush was willing to have that debate and to discuss the merits of panelization.

Board Member Bush thought this was a great project and he would like to fund it. However, he could not support awarding the full amount without knowing what other projects might come before them with grant requests. Board Member Bush was willing to award the applicant the \$30,000 recommended by Staff.

Chair Kenworthy referred to the cost breakdown and noted that the total cost for the basement was \$33,793. Planner Grahn replied that it was the cost of the foundation work. Chair Kenworthy asked if half of the foundation amount was

half of the entire foundation work or if it was less the original foundation. Mr. Stokes replied that there is no existing foundation per se under the historic house. He recalled that the \$33,793 was for the historic three walls on the north, south and east. Planner Grahn explained that the builder laid out the invoice to only include the work that was being done under the historic house. She clarified that the \$33,793 was only for the basement work beneath the historic portion. Planner Grahn pointed out that her suggestion was for the City to only pay for the foundation and not the excavation, the house lifting and the bracing.

Chair Kenworthy liked the project and thought it was worthwhile, but he was not comfortable depleting the funds. He pointed out that they were using CIP funds because they had used all the money in the Main Street RDA. He preferred to leave some money in the fund for additional projects.

Chair Kenworthy assumed there was agreement among the Board to fund this project. The Board concurred. Board Member Melville preferred to fund the entire amount but she would definitely support awarding \$30,000 for this project. Board Member Holmgren agreed to fund \$30,000 to this project and leave remaining funds available for other projects. Chair Kenworthy was comfortable awarding the recommended \$30,000 to leave money available for future projects.

Board Member Bush asked if the applicant would have the ability to come back and apply for additional funding. Planner Grahn stated that if the applicant finds that additional work is required during the course of the project he could reapply for a second grant.

Board Member Melville asked how the Main Street RDA could get funded again. City Council Member Matsumoto understood that all the money for the Main Street RDA went to the parking garage. Director Eddington explained that there was tax increment financing on the property and that increment is allocated to and pays for the bonds on the parking garage. He believed the Main Street RDA would end when the bonds are paid off and the City would have to find another funding source for the grant program. Board Member Melville clarified that there was no other current historic preservation funding except for the CIP fund. Director Eddington answered yes, with the exception of the money left in the Lower Park Avenue RDA, which applies to a separate geographically defined area.

MOTION: Board Member Holmgren moved to APPROVE the grant request for 343 Park Avenue in the amount of \$30,000. Board Member Melville seconded the motion.

VOTE: The motion passed unanimously.

The Board adjourned the regular meeting and left for a walking tour of historic Main Street.

The meeting adjourned at 6:06 p.m.

Approved by _____
John Kenworthy, Chair
Historic Preservation Board

DRAFT

Historic Preservation Board Staff Report



Subject: 632 Deer Valley Loop
Author: Anya Grahn, Historic Preservation Planner
Date: May 21, 2014
Application: PL-13-02160
Type of Item: Determination of Significance

Summary Recommendations

The Board of Adjustment (BOA) remanded the appeal of the Historic Preservation Board's (HPB) Determination of Significance (DOS) of 632 Deer Valley Loop to the HPB due to new evidence submitted by the applicant at the appeal. Staff recommends the HPB review the new evidence and find that the structure meets the criteria for a significant site.

Staff reports reflect the professional recommendation of the Planning Department. The Historic Preservation Board (HPB), as an independent body, may consider the recommendation but should make its decisions independently.

Description

Applicant/ Appellant: Bill and Juli Bertagnole
Location: 632 Deer Valley Loop
Zoning: Residential-Medium Density (RM) District
Adjacent Land Uses: Residential
Reason for Review: The Board of Adjustment remanded the appeal back to the HPB in order to consider new evidence submitted by the applicant.

Background

The Historic Preservation Board (HPB) held a hearing and determined that the structure should remain on the inventory as a "Significant" site on November 13, 2013. (See Staff Report, minutes and findings, Exhibits A and B.) The Planning Department received an appeal of the HPB's determination on November 25, 2013, within ten (10) days of the HPB's determination. The hearing was scheduled several times over the winter, but was continued at the applicants' request. Finally, the appeal was heard by the Board of Adjustment (BOA) on April 15, 2014. The applicants submitted a packet of information concerning the site to the BOA which the HPB had not seen. The BOA determined that the new information was better reviewed by the HPB to evaluate and remanded the appeal back to the HPB due to this new information. (See BOA Minutes, Exhibit D.)

Appeal

As shown by Exhibit C, the applicants submitted a research report just prior to the BOA hearing outlining the history of the structure. The BOA found that the HPB was better able to review the information in the report in its consideration of the Determination of Significance (DOS). The BOA appellate role is only to review the record that was before

the HPB and therefore did not have the ability to review or evaluate the report. The BOA therefore remanded the appeal back to the HPB so that the HPB could review this new information. Per LMC 15-11-10, the Historic Preservation Board (HPB) may designate Sites to the Historic Sites Inventory(HSI) as a means of providing recognition to and encouraging the Preservation of Historic Sites in the community.

The report submitted by the appellants raised the following objections to the HPB's findings for the Determination of Significance:

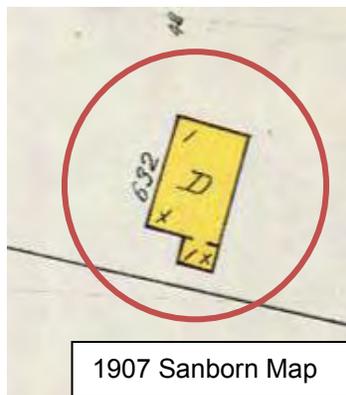
- Separate building periods for this property have resulted in a loss of the Essential Historic Form.
- The many alterations on the interior and exterior of the structure have destroyed any historic fabric.
- There is no record of any important person or even that occurred at this site.
- The site has lost its historical context.

Analysis

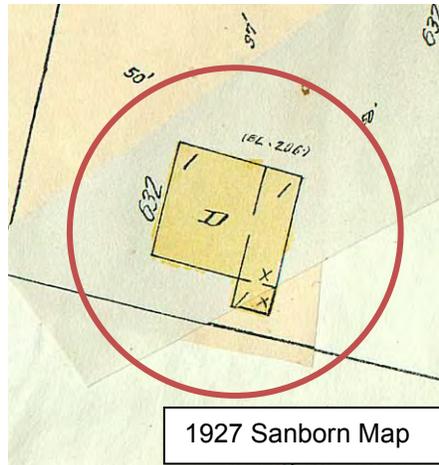
History of the Structure: Summary of Building Development

The City's Historic Site Form provides a brief history of the structure. The residential structure constructed at 632 Deer Valley Loop was originally built circa 1900. The 1900 Sanborn Fire Insurance maps did not include this portion of Park City as it was outside the dense development of Old Town.

Staff finds that the applicants' analysis of the initial development of the structure is correct. The applicants' report is consistent with the HSI in finding that the structure was built circa 1900. A copy of the 1904 quitclaim deed, outlining the transfer of the property of George and Elizabeth Thompson to Sven and Hannah Bjorkman, shows that in 1904 the structure was a "two (2) room frame dwelling." Staff finds that this is consistent with the 1907 Sanborn Fire Insurance Maps:



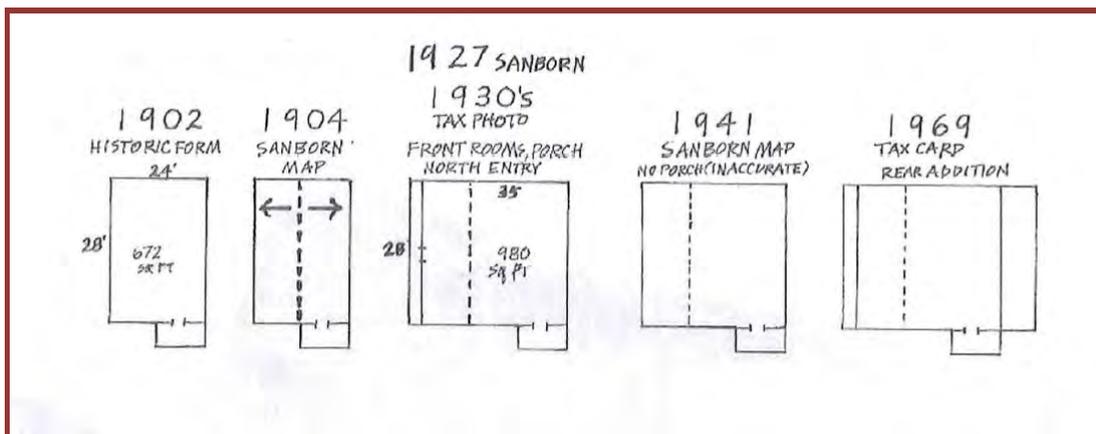
As the applicants' research demonstrates, the structure was expanded between 1912 and 1918. In 1918, owner Carl Hoger transferred the property to Willis A. Simmons. The quit claim deed describes the structure as a "four room frame dwelling house." The four(4) room cottage first appeared on the 1927 Sanborn Fire Insurance Map, shown below:



The applicants' research indicates that staff erred in the analysis presented to the HPB in November 2013 as staff found that the addition expanding the house from a rectangle to a square floor plan was added across the rear (south) elevation of the structure. The applicant suggests that the addition was actually added across the front (north) elevation of the structure.

Staff finds that this is a plausible hypothesis. As families came to inhabit these structures and the economy improved, additions were constructed to meet the growing needs of homeowners. It was not uncommon in Park City to see additions constructed atop existing structures, transforming hall-parlor structures to two (2)-story houses. Lean-tos, shed additions, and new wings were also added to structures as they expanded. The addition on this structure is seamless and transformed the house into a four-room side gable form.

The applicant has provided an analysis of the numerous additions constructed that exist today:



Staff cannot verify the measurements provided on this analysis; however, overall, staff believes this is a feasible explanation of the development of the structure with the

exception that it does not address the rear shed addition that is visible in the 1930s tax photograph. As the applicants note in this analysis, the 1941 Sanborn Fire Insurance map is inaccurate in its depiction of the structure as it does not show the porch that is visible in the late-1930s tax photograph (Exhibit B). The 1927 Sanborn Fire Insurance map does not depict any accessory structures, and it is unclear whether this structure is a later short-lived addition, or a non-identified outbuilding. Further, the Sanborn Fire Insurance map shows that this is not a neighboring structure as houses in this neighborhood were scattered and not constructed as closely to one another as those west of Main Street.

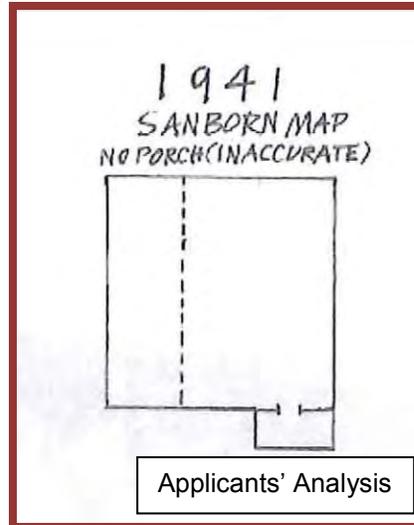
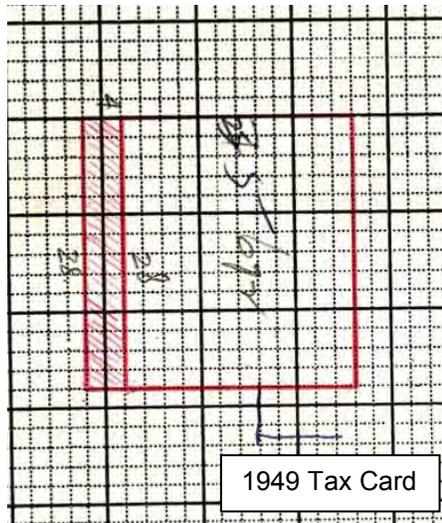


Above. The arrow denotes the structure to the rear of the building in the late 1930s. It is unclear if this is a short-lived addition or an unidentified out building.

Below. The 1927 Sanborn Fire Insurance Map shows that the lots in this neighborhood were larger than typical Old Town lots and the houses were scattered and spaced a good distance apart. Of these neighboring houses, only the three (3) on Rossie Hill Drive are extant.

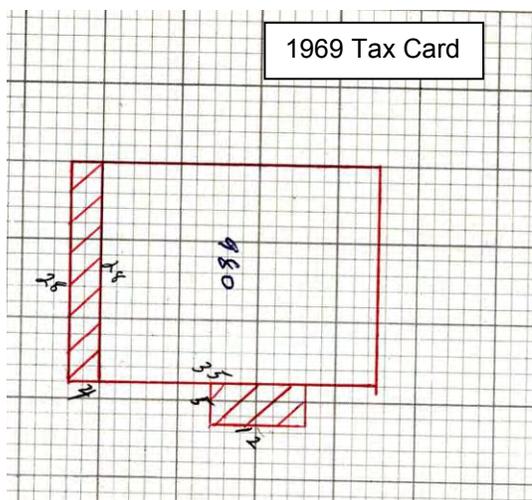


The tax cards included in the Historic Site Form also support the applicants' conclusion that the side porch depicted in the late-1930s tax photograph was enclosed as a mudroom at a later date, likely at the same time the rear addition was constructed along the rear (south) wall of the structure.

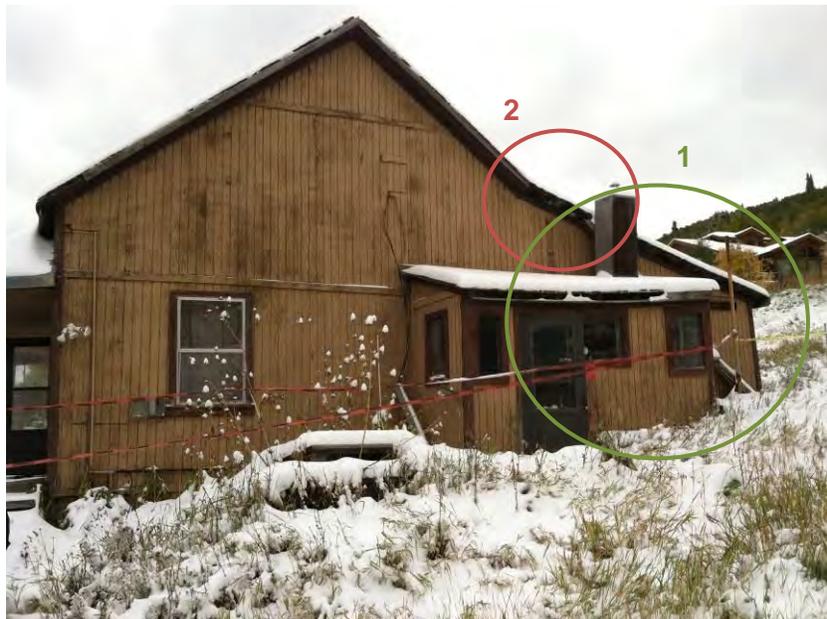


The applicants' depiction of the structure in 1941 closely resembles the 1949 tax card, completed just eight (8) years later. It demonstrates that in the 1940s, the structure had a relatively square footprint with a full-width porch across the façade (north) elevation as shown in the late-1930s tax photograph. Further, it demonstrates that the side porch extended only as far as the rear (south) wall of the historic structure. It is unknown why in 1949 the surveyor only showed two (2) walls of this side entry on the west elevation (drawn in blue ink). The addition or structure located just south of the structure in the 1930s tax photograph is also not depicted in either the 1941 Sanborn Map, nor the 1949 tax card.

The applicants also assert that the rear addition along the back wall and enclosure of the side porch to create a mudroom was completed in 1969.



It is very clear in the 1969 tax card that the width of the mudroom is roughly twelve feet (12'). This does not appear consistent with the existing structure as the enclosed side porch extends beyond the south wall of the gable structure and over the rear addition. It also appears that the rear shed addition may have been added over the eave of the gable, rather than beneath it. From the late-1930s photograph, it is evident that the mysterious structure to the south was not constructed over the existing gable. In evaluating the applicants' research, staff concludes that the c.1969 rear addition may have replaced the structure or addition shown in the tax photograph.



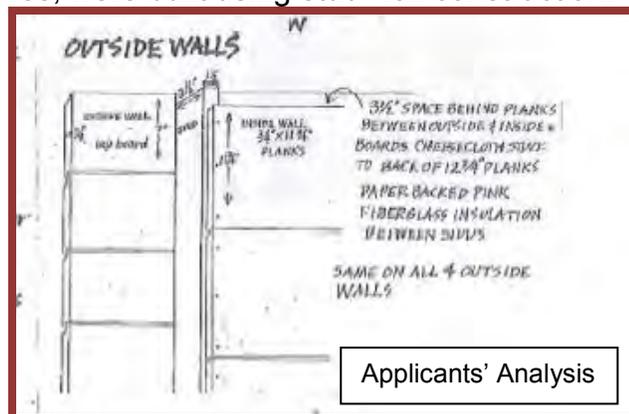
1. *Mudroom extends beyond the original south wall of the side-gable structure.*
2. *The historic photo shows that the side-gable is symmetrical and the eave is detached. The current photograph shows that the gable has been shortened in order to add the shed roof of the addition.*

Further, photographs of the interior of the structure show that the rear addition has a wood stud wall construction. It is not the single-wall construction of the four (4) room dwelling that was created between 1912 and 1918. The following photograph taken during a staff site visit and the applicants' analysis show the construction of the exterior walls. The applicants' analysis also demonstrate that this house's structural system is comprised of two (2) different sized horizontal boards that create rigidity; whereas, typical single-wall construction consists of vertical interior plank walls covered by exterior horizontal siding.

In Park City, miners and businessmen built rudimentary houses and structures that were meant to provide temporary shelter during the mining rush. These structures were comprised of single-wall construction—vertical interior boards covered by horizontal exterior siding. Though makeshift, this type of construction was very common in rapidly expanding and temporary communities, such as Park City, that sprung up in response to industries such as mining, sawmills, railroads, and oilfields.

Single wall construction is a vernacular construction technique that likely evolved from plank construction, used traditionally on the East Coast and in the Midwest. Typically, box houses were built with no foundation, though sometimes a rudimentary root cellar or crawlspace encased by wood or stacked stone was constructed. The sill plate of the structure was laid on the ground or the foundation. Vertical interior planks and horizontal exterior siding were attached to create the walls. Because walls were typically constructed in whole panels on the ground and then stood up to form rooms, there were no corner posts or vertical structural members. Door and window openings were cut out after the walls were constructed. Two by four (2"x4") rafters, connected by ceiling joists, were covered by roof sheathing to build the roof. Wood shingles were then applied atop the sheathing. Though this structure's single-wall construction technique is comprised of adjoined horizontal planks of different sizes, it is nonetheless significant in that the structure was constructed of a simple building technique. We often refer to these structures as "wood tents" because of this rudimentary wall construction.

Single wall construction was the most common type of construction utilized in Park City during the Mining Boom. Later additions, constructed to create more permanent structures for Park City's residential families, were built using stud wall construction.



Applicants' Analysis

As seen in the picture below, the wall construction of the new addition consists of stud walls covered by horizontal planks. This is more modern construction method than the rudimentary “wood tent” construction of the historic structure. The window openings appear to be the originals, and they are not indicative of the sizes, proportions, or orientation of historic windows.



Photograph shows stud wall framing and original window openings of the c.1969 addition.

Summary of Above Argument

The applicant argues that staff erred in their original analysis of the structure. The following outlines staffs response to these allegations.

A. Separate building periods for this property have resulted in a loss of the Essential Historic Form.

- 1. Finding of Fact #3: The existing structure has been in existence at 632 Deer Valley Loop since circa 1900. The structure appears in the 1904 and 1927 Sanborn Fire Insurance maps. Furthermore, the Historic Site Form contains tax cards of the structure from 1949, 1958, and 1969. A late-1930s tax card photo also demonstrates that the overall form of the structure has not been altered.**

The applicants' research report claims that the Essential Historical Form is the two (2) room miner's shack, built by George Thomspen, that appears on the

1904 Sanborn map, not the structure that we see today. They argue that the structure as it exists today is a compilation of additions to the Essential Historic Form of the two room miner's shack, lost inside the form that is now visible. It does not "demonstrate that the overall form of the structure has not been altered."

The applicants contend that the structure shown in the late-1930s tax photograph is the four (4) room structure built by Carl Hoger in 1918. They also point out that the structure in the 1904 map is the miner's shack; whereas, the 1927 map shows the additions which compose the structure in the tax photographs.

They further ascertain that the tax cards are inaccurate as those who filled out the cards transferred inaccurate information from year to year without measuring or updating changes; it was not until 1969 that the tax card accurately described the structure.

As described previously, staff supports much of the evidence provided in the applicants' research. It is apparent in analyzing the 1907 and 1927 Sanborn Fire Insurance Maps that the two (2) room structure was expanded into a four (4) room structure between 1912 and 1918. Staff cannot verify the accuracy of the tax cards, and agrees with the applicant that the rear addition was likely constructed c. 1969 or later. It is possible that the shed addition was expanded as many as two (2) times as the applicant has indicated in their report that the rear addition was first reflected in the taxes in 1972.

Staff does, however, disagree with the applicants regarding the Essential Historical Form. The Land Management Code defines Essential Historical Form as:

The physical characteristics of a Structure that make it identifiable as existing in or relating to an important era in the past.

The Historic Site Form has identified this structure as being historically significant to the Mature Mining Era (1894-1930). As such, staff finds that the structure does retain its Essential Historical Form in that the form that existed at the end of the historic period c.1930 is the form that exists today. The 1927 Sanborn Map correlates with the late-1930s tax photograph as it is evident that the following features existed:

- Wood frame dwelling with a relatively square footprint
- One story in height, though an attic likely existed beneath the gables
- Side porch

Further, Universal Design Guideline #2 for Historic Sites states that changes to a site or building that have acquired historic significance in their own right should be retained and preserved. Though the two(2)-room mining shack may have been the original form of the structure, it is evident that the four(4) room cottage

existed during the historic period and continues to exist today. It has gained historical significance in its own right, as designated by the Historic Site Inventory (HSI). Further, the structure meets the criteria for “significant.”

As outlined by Land Management Code (LMC) 15-11-10(A)(2)(b), major alterations that destroy the Essential Historical Form include:

- (i) Changes in the pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous owner
- (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
- (iii) Moving it from its original location to a Dissimilar Location, or
- (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way

In reviewing these criteria, Staff finds that the Essential Historical Form has not been lost. A slight change has been made to the rear gable, as it appears to have been slightly shortened in order to extend the shed roof of the c.1969 addition. This addition, however, does not detract from the Essential Historical Form, nor does it significantly obscure the Essential Historical Form of the building when viewed from the primary public Right-of-Way. Further, no new additions of upper stories have been constructed atop the historic structure. There is also no evidence that the structure was moved from its original location to a Dissimilar Location.

Staff finds that the late 1930s tax photograph is an accurate record of what likely existed in the historic period. Though the 1927 Sanborn Map does not depict a full-width porch across the façade of the house as shown in the tax photograph, it is likely that this porch existed during the historic period and may have been constructed immediately after the Sanborn survey. In their research, the applicants also points out that the front porch was likely constructed by Carl Hogar at the same time he made the front door, between 1912 and 1918, in order to access the front door that sits roughly six feet (6') above grade. In analyzing the 1930s tax photograph to a current photograph of the structure, it is evident that the essential side-gable form of the house exists today.



Late-1930s tax photograph



Current Photograph from Historic Site Form

2. Finding of Fact #4. The Hall and Parlor structure and later rear addition were both constructed within the Mature Mining Era (1894-1930) and are historic.

As previously noted, staff finds that the applicant is correct in their analysis of the development of the structure. In order to expand the structure from two (2) rooms to four (4) rooms between 1912 and 1918, it is likely that the structure was expanded to the north, or front, of the building rather than the rear. This explains how the location of the side porch has remained consistent. Staff admits to erring in the original analysis, as the rear addition is not historic and was likely constructed c.1969. Staff recommends amending this fact as follows:

#12. The four (4)-room cottage was constructed within the Mature Mining Era (1894-1930) and is historic. The rear addition is not historic and was likely constructed c. 1969.

3. Finding of Fact #11. The rear addition to the structure, dating prior to 1927, was severely damaged in a fire on May 17, 1999.

As previously noted, staff agrees with the applicants' findings. The applicants have shown that staff erred in the original analysis that the rear addition was historic. As outlined earlier, the mysterious addition or unidentified structure to the south of the structure did not disrupt the original symmetrical gable; however, the gable that exists today is asymmetrical as it appears that the length of the plane on the south side of the gable has been shortened in order to accommodate the shed addition made c. 1969. Further analysis also shows that the rear addition was constructed with frame walls, rather than the single-wall construction that exists on the four (4)-room cottage. Therefore, Staff recommends amending this finding as follows:

#10. The rear addition of the structure was severely damaged in a fire on May 17, 1999. Because the rear addition is found to not be historic, it may be removed.

B. The many alterations on the interior and exterior of the structure have destroyed any historic fabric.

The applicants argue that given the many alterations on the inside and outside of the structure, there is not sufficient "historic" fabric remaining to warrant a preservation effort. Secondly, they contest, that the fire in 1999 has left the building open to the weather for nearly 15 years and the extent of the damage and rot is so severe that the "historic" materials which remain are in very, very poor conditions, perhaps beyond the point of any feasible effort to preserve.

Moreover, staff finds that the many alterations have destroyed much of the historic integrity of the structure. Since the late 1930s, the house has suffered from a number of modifications that have significantly diminished its historic integrity. The 1949 appraisal card notes that the house was sided with Bricktex and the roofing was a patterned shingle. There was no foundation. A concrete block or brick foundation was noted in the 1958 tax assessment.

As the staff and the applicants have pointed out, there were a number of renovations completed after 1969. The double-hung windows on the façade were removed and expanded to install larger, undivided rectangular windows. The original wood double-hung windows throughout were replaced by aluminum windows. The Bricktex siding was covered with new wood vertical siding, concealing the attic window. The turned wood porch posts were replaced with new decorative metal columns. A brick chimney was installed above the enclosed side porch that was later repaired with

thick layers of Portland Cement. Finally, vertical siding was applied over the Bricktex.

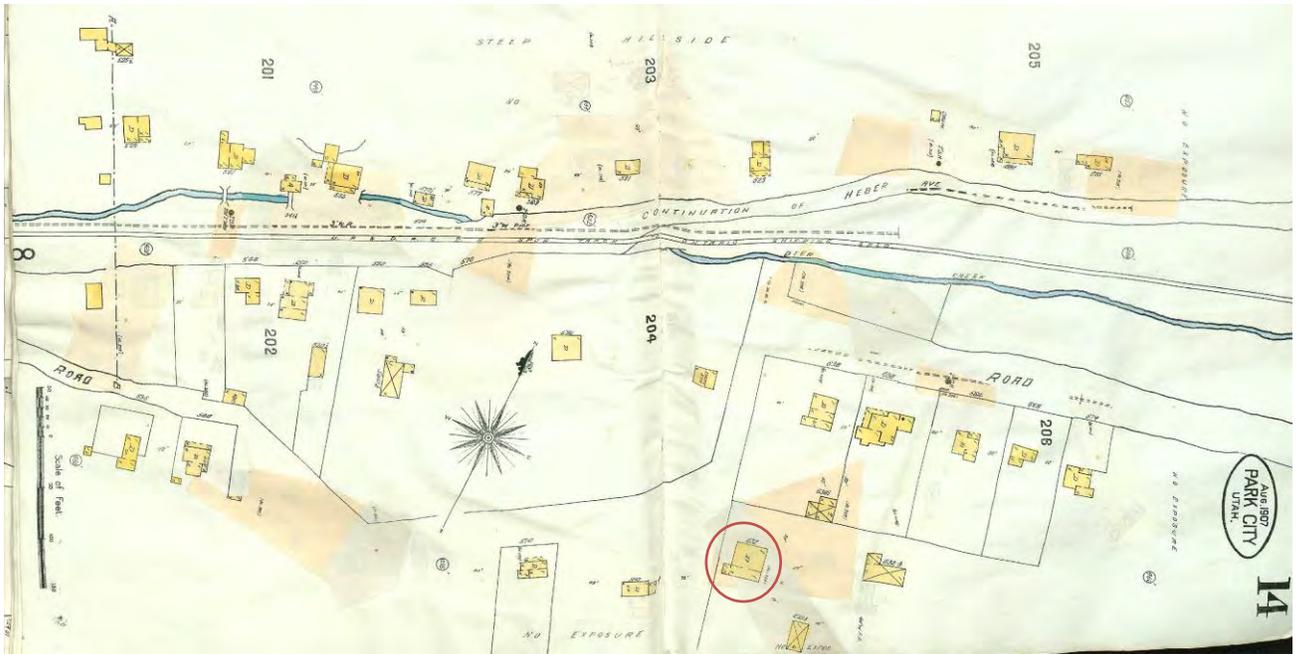
Though these changes have resulted in a loss of the historic character, they did not alter the Essential Historic Form of the structure—it remains a four-room single-wall framed cottage with full-width front porch. The front porch roof and footprint have not been lost, despite the introduction of incompatible metal columns. The historic front door remains. The original wood siding exists beneath layers of non-historic siding. The window opening on the west elevation is extant, though the original double-hung window has been lost. The original brick chimney on the southeast corner of the house also remains. Though the 1999 fire largely damaged the non-historic rear addition, the remainder of the historic four(4)-room cottage remains intact. Years of deterioration and exposure to the elements should have resulted in greater damage and the rapid decline of the exposed walls and roof joists; however, they are in surprisingly fair condition.

C. There is no record of any important person or even that occurred at this site.

The applicant argues that the earliest owners of this structure were simple Park City families and there is no record of any important person or event that occurred there. They also contest that there is no evidence of any relationship to prostitution nor the Redlight District except by location.

Staff agrees with the applicants' finding that the structure was built by everyday people and families. Nevertheless, staff argues that this structure contributes to our understanding of Park City's Mature Mining Era (1894-1930). Park City has the largest and best preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including settlement patterns, building materials, construction techniques, and socio-economic make-up. These structures greatly add to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.

The Historic Site Inventory (HSI) identifies all structures of historical significance located in Park City. The four (4) remaining structures located on Rossie Hill Drive and Deer Valley Loop road are the only remaining indication of what was once a much denser neighborhood comprised of many residential structures. Some of these structures made up the City's Red Light District, while others were the homes of middle-class mining families. These structures are identified as historic on the City's Historic Sites Inventory (HSI), while the three (3) structures on Rossie Hill Drive are also listed on the 1984 nomination for the Mining Boom Era Thematic National Register District due to their historical significance. The zoning in this area is not "HR" or "Historic Residential" due to there not being a dense concentration of historic resources within the zoning district.



1929 Sanborn Fire Insurance Map. This map outlines the density of the neighborhood. 632 DVL is circled in red. These structures were located on much larger lots than the typical 25 ft. x 75 ft. Old Town Lots.

D. Loss of historic context, outlined by Baird M. Smith letter dated 2.12.14.

In his letter, Architect Baird M. Smith, FAIA, FAPT outlined that the city’s criteria for historic designation does not consider “context” or “setting.” Baird argues that this criteria is utilized to measure the integrity of the historic resource regarding the broader context of historic buildings, site, and landscape features. Further, Baird finds that the context and setting have been lost as well as any historic landscape features.

Staff agrees that there has been a loss of historic context; however, that is not to say that all historic context has been completely lost. Baird is correct in noting that early Sanborn Fire Insurance Maps show that this site was part of a much denser neighborhood comprised of approximately fourteen (14) structures. Of these, only four (4) structures currently exist. There is no denying that the loss of these surrounding buildings has altered the look and feel of the neighborhood; however, staff finds that the loss of these structures have emphasized the importance of preserving those that remain.

As Baird acknowledged, historic context is not a criteria for local historic designation. LMC 15-11-10, outlined below, does not require staff to consider the historic context of the surrounding properties when considering whether a structure should be classified as “Significant” or “Landmark.”

Criteria for Designating Sites to the Park City Historic Sites Inventory

The Historic Preservation Board is authorized by Title 15-11-5(l) to review and take action on the designation of sites within the Historic Sites Inventory. The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). Land Management Code Section 15-11-10(A) sets forth the criteria for designating sites to the Park City Historic Sites Inventory.

Because the home does retain its Essential Historic Form, the evidence supports the conclusion that the home is "Significant". The additional evidence presented by the applicants in their report also supports this conclusion. A reconstruction of the home, which is necessary based on the structural integrity of the home raised by the Chief Building Official, would also allow the house and site to remain "Significant" based on the following definition:

Significant Site. Any buildings (main, attached, detached or public), accessory buildings and/or structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and (...)

Complies

The original two (2) room mining shack was constructed circa 1900; however, it was expanded between 1912 and 1918 in order to create the four (4) room cottage that continues to exist today. If we consider that the four (4) room cottage is the Essential Historical Form, then the structure is roughly 96 to 102 years old, although portions of the structure may be as many as 113 years old.

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

- (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or*
- (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or*
- (iii) Moving it from its original location to a Dissimilar Location, or*
- (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way. **Complies.***

The home retains its Essential Historical Form. There has been a slight modification to the rear gable in order to accommodate the circa 1969 addition; however, this change has not significantly altered the overall form of the structure. The circa 1969 rear addition does not detract or negatively impact the historic form of the structure. It could be removed if the owners chose to restore

the structure as it has not achieved significance in its own right. Any future panelization or reconstruction will also preserve the historic side gable form of the structure.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

- (i) An era of Historic importance to the community, or*
- (ii) Lives of Persons who were of Historic importance to the community, or*
- (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period. **Complies.***

As previously outlined by staff, this structure contributes to our understanding of Park City's Mature Mining Era (1894-1930). This house is one of many in Old Town that makes up the state's largest and best preserved collection of residential buildings in a metal mining town in Utah. Structures such as the one at 632 Deer Valley Loop provide insight into the residential character of mining towns of that period, including settlement patterns, building materials, construction techniques, and socio-economic make-up. The fact that this house was constructed and expanded by middle-class families in this location tells a story about the development of Park City regarding the need for homes to accommodate growing families, and the methods in which these structures were expanded the availability of financial resources to fund construction.

The criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site include:

- (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and*
- b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and*
- (c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:*
 - (i) An era that has made a significant contribution to the broad patterns of our history;*
 - (ii) The lives of Persons significant in the history of the community, state, region, or nation; or*
 - (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman.*

Staff finds that the structure at 632 Deer Valley Loop meets the standards for local "significant" designation, but does not meet the criteria for "landmark" designation. In order for the site to be designated as "landmark," the structure would have to retain its historic integrity in terms of location, design, setting, materials, workmanship, feeling and association. Moreover, it would be eligible for the National Register. Due to the alterations, loss of its historic materials, and changes in window and door configuration, the structure is no longer eligible for the National Register of Historic Places.

Process

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the “Criteria for Designating Historic Sites to the Park City Historic Sites Inventory.” The HPB shall review the Application with the new information submitted by the applicant. If the HPB finds that the application does not comply with the criteria set forth in Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building and/or structure will be removed from the Historic Sites Inventory. If the HPB finds that the application does comply with the criteria, the structure will remain on the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

Notice

The property was posted and a notice was mailed to adjacent property owners. Legal notice was also placed in the Park Record on May 10, 2014.

Public Input

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to or removing sites from the Historic Sites Inventory. The public hearing for the recommended action was properly and legally noticed as required by the Land Management Code. No public input was received at the time of writing this report.

Public input was provided as the 11.13.13 HPB meeting. (See Exhibit F for details.)

Alternatives:

- Conduct a public hearing to consider the Determination of Significance for 632 Deer Valley Loop described herein and find the structure at 632 Deer Valley Loop meets the criteria for the designation of “Significant” to the Historic Sites Inventory according the draft findings of fact and conclusions of law, in whole or in part.
- Conduct a public hearing and find the structure at 632 Deer Valley Loop does not meet the criteria for the designation of “Significant” to the Historic Sites Inventory, and providing specific findings for this action.
- Continue the action to a date uncertain.

Consequences of *not* taking the Recommended Action

If the Historic Preservation Board chooses to remove this site from the HSI, the structure will not be a designated historic site and will be eligible for demolition and complete removal.

If the Board finds the criteria for a Significant site is met, no change will occur to the designation of 632 Deer Valley Loop on the Historic Sites Inventory. The structure will not be eligible for demolition. It may be a candidate for reconstruction to retain its existing form.

Summary Recommendations

Staff recommends the Historic Preservation Board conduct a public hearing and find that criteria have been met to continue the designation of 632 Deer Valley Loop as “Significant” within the Park City Historic Sites Inventory according to the following finding of fact and conclusions of law. Staff has highlighted the facts which have been amended from the November 25, 2013 hearing.

Findings of Fact

1. 632 Deer Valley Loop is within the Residential-Medium Density (RM) zoning district.
2. There is an existing side gable hall-parlor structure at 632 Deer Valley Loop. This structure is currently listed on the Park City Historic Sites Inventory as a “Significant” Structure.
3. The structure was initially constructed as a two (2) room hall-parlor structure with an entry on the west elevation circa 1900.
4. Between 1912 and 1918, the structure was expanded to the north to create a four (4)-room cottage. It is this side-gable structure that is depicted in the late-1930s tax photograph.
5. Circa 1969, a rear addition was constructed along the full width of the south wall. This addition differs from the single-wall construction of the four (4)-room structure in that it has stud-wall framing. It is believed that the side porch was expanded at this time to create a mudroom; the width of the enclosed porch extended beyond the south wall and onto the new addition.
6. The existing structure is in serious disrepair and is not habitable in its current dangerous condition.
7. There is very little original exterior materials remaining on the exterior of the home. The original wood lap siding has been covered by layers of Bricktex and vertical wood siding
8. The double-hung windows on the façade were removed and expanded to install larger, undivided rectangular windows after 1969. The original wood double-hung windows throughout were replaced by aluminum windows.
9. After 1969, the turned wood porch posts were replaced with new decorative metal columns. A brick chimney was installed above the enclosed side porch that was later repaired with thick layers of Portland Cement.
10. The rear addition of the structure, dating circa 1969, was severely damaged in a fire on May 17, 1999. Because the rear addition is found not to be historic, it may be removed.
11. Between 1912 and 1918, the four (4)-room cottage was constructed. It is believed to be between 96 and 102 years old. Portions of the structure, dating from the original hall-parlor plan, may be as much as 113 years old.

12. Though the structure has lost its historic integrity due to the out-of-period alterations to its historic materials, it has retained its historical form. The out-of-period addition to the south and west elevations of the structure do not detract from its historic form.
13. The structure is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era (1894-1900).
14. The Historic Preservation Board found that the structure met the criteria of LMC 15-11-10(A)(2) and thus should remain on the Historic Sites Inventory (HSI) on November 13, 2013.
15. The applicants submitted an appeal to this determination on November 25, 2013, within ten (10) days of the HPB's determination.
16. The appeal was reviewed by the Board of Adjustment on April 15, 2014; however, the BOA remanded the appeal back to the Historic Preservation Board (HPB) due to the applicant's submittal of new evidence. The evidence submitted has been incorporated into the facts herein.

Conclusions of Law

1. The existing structure located at 632 Deer Valley Loop meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:
 - (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and
 - (b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:
 - (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
 - (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
 - (iii) Moving it from its original location to a Dissimilar Location, or
 - (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.
 - (c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:
 - (i) An era of Historic importance to the community, or
 - (ii) Lives of Persons who were of Historic importance to the community, or
 - (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.

Exhibits

- Exhibit A – HPB Staff Report, 11.13.13
- Exhibit B – HPB Minutes from 11.13.13
- Exhibit C – Applicants' Appeal to BOA
- Exhibit D – Draft BOA Minutes, 4.15.14



Planning Department

Historic Preservation Board Staff Report

Author: Anya Grahn, Historic Preservation Planner
Subject: Historic Sites Inventory
Address: 632 Deer Valley Loop
Project Number: PL-13-02094
Date: November 13, 2013
Type of Item: Administrative – Determination of Significance

Summary Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing and confirm the status of 632 Deer Valley Loop as a Significant Site on the Park City Historic Sites Inventory.

Topic:

Project Name: 632 Deer Valley Loop
Applicant: Park City Municipal Corporation
Owners: William and Juli Bertagnole
Proposal: Determination of Significance

Background:

The Park City Historic Sites Inventory, adopted February 4, 2009, includes four hundred five (405) sites of which one hundred ninety-two (192) sites meet the criteria for designation as Landmark Sites and two hundred thirteen (213) sites meet the criteria for designation as Significant Sites. The existing structure at 632 Deer Valley Loop was added to the Inventory as a Significant Structure based on a reconnaissance level survey by then-Historic Preservation Consultant Dina Blaes in 2009. It had been previously identified as historic in a 1995 reconnaissance level survey, but was not included in the 1982 Historic District Architectural Survey.

During the reconnaissance-level survey, Dina noted that the Sanborn maps identified the structure as a “Hall-Parlor” home, but noted that the side addition had likely been added outside the Mature Mining Era, between 1949 and 1969. Sandborn Fire Insurance maps were used to determine the original shape of the home. Though the structure has retained its historic form, much of its historic integrity has been lost due to changes in its exterior materials. The wood siding material is not original, nor are the aluminum windows and doors. The porch supports have also been replaced. The second floor window opening has been lost as well, and a side porch appears to have been enclosed to create additional interior living space after 1969.

A fire on May 17, 1999, severely destroyed the rear of the structure. Though it had a negative impact on the rear addition, the remainder of the historic structure remained intact on the hall-parlor portion of the house. Years of deterioration and exposure to the elements should have resulted in greater damage and rapid decline of the exposed walls and roof joists; however, they are in surprisingly fair condition.

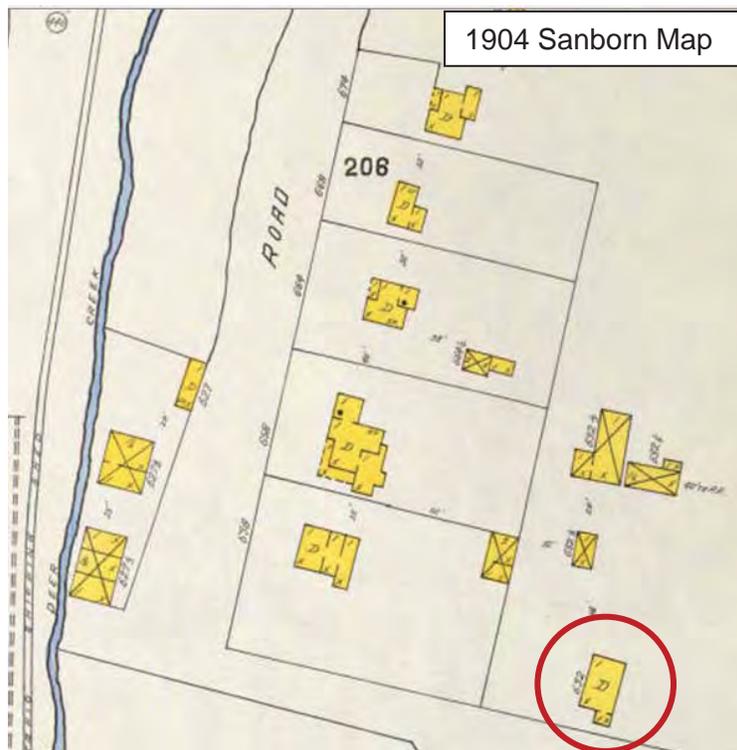
A trust deed was recorded at the Summit County Recorder's Office on May 2, 2013, transferring ownership from the Bureau of Land Management (BLM) to the Bertagnoles, following decades of litigation with the BLM. In August 21, 2013, a Notice and Order to Vacate and Demolish the structure was issued due to the fire damage and dilapidated state of the structure. The property owners would like to demolish the structure in order to accommodate new development; they do not believe it is historically significant.

Site visits have been made by the Chief Building Official and Planning Director.

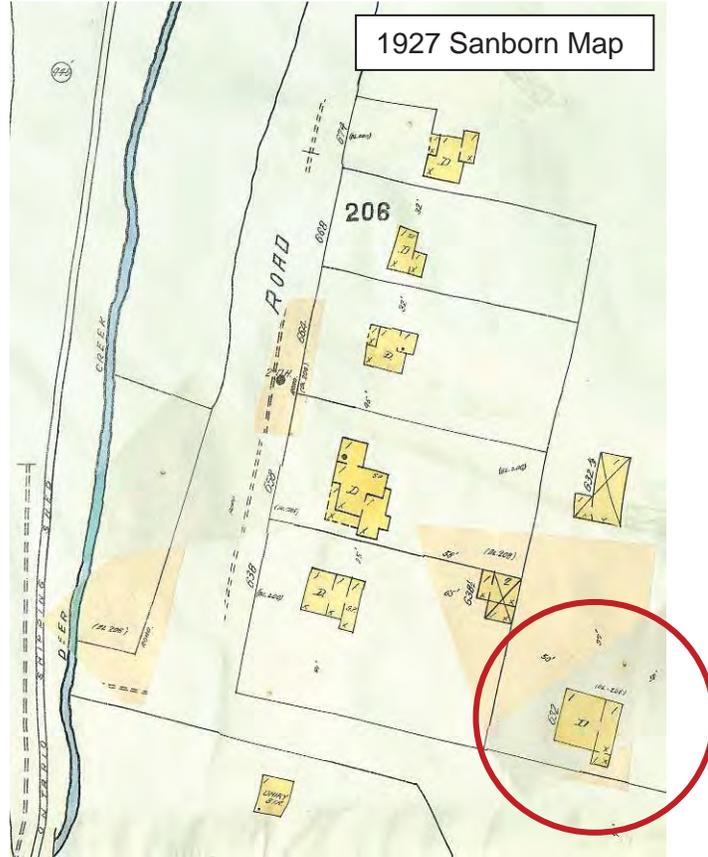
Because of the limited information available in the HSI, the Planning Director has directed staff to conduct additional research to determine the historic significance of the 632 Deer Valley Loop site. The purpose of this staff report is to have the HPB review the criteria to determine whether the structure is a "Significant" site.

History of the Structure:

The residential structure constructed at 632 Deer Valley Loop was originally built circa 1900. The 1900 Sanborn Fire Insurance maps did not include this portion of Park City as it was outside the dense development of Old Town. The structure first appears in the 1904 Sanborn map, however, as seen below, circled in red



The one (1) story, side gable house was constructed as a hall-and-parlor. It appears, per the Sanborn maps, that the structure did not originally have a front porch. Nevertheless, it did have a porch on the west elevation, likely over a side entry, as shown in the 1927 Sanborn Map.



By 1927, a rear addition had been added across the south elevation of the structure. The side porch had also been relocated to this rear portion of the structure. A front porch had not yet been added, or was not identified by the Sanborn map.

A single photograph from the late-1930s tax assessment depicts the structure in much the same form as it exists today (Exhibit B). One-over-one double-hung windows framed the central entry door on the front porch. The front porch had a hip roof supported by turned porch posts. Horizontal railings framed the porch while vertical siding enclosed the area beneath it. On the west elevation, a side entry porch covered shielded a side door. The one-story rear addition is visible behind the porch. An attic entrance or window is provided at the top of the gable on the west elevation. This photograph documents the appearance of the structure during the Mature Mining Era.



Over the next four decades, the house suffered from a number of modifications that have significantly diminished its historic integrity. The 1949 appraisal card notes that the house was sided with Bricktex and the roofing was a patterned shingle. There was no foundation. A concrete block or brick foundation was noted in the 1958 tax assessment. Finally, the 1969 tax card notes a rear porch of about 60 square feet. It is likely that 60 square foot porch had existed all along as reflected in the Sanborn maps, but had not been identified on the tax cards.

After 1969, the house appears to have been renovated. The double-hung windows on the façade were removed and expanded to install larger, undivided rectangular windows. The original wood double-hung windows throughout were replaced by aluminum windows. The Bricktex siding was covered with new wood vertical siding, concealing the attic window. The turned wood porch posts were replaced with new decorative metal columns. A brick chimney was installed above the enclosed side porch that was later repaired with thick layers of Portland Cement. The following c.1990s photograph shows the house largely as it exists today.



On May 17, 1999, heavy smoke and flames were seen from the rear of the building. By the time first responders arrived, the door had been kicked in by bystanders. The back bedroom was fully engulfed in flames, leaving it scorched from floor to ceiling and compromising its roof structure. The fire was identified as suspicious with numerous points of origin; however, the current property owners have explained that the fire was likely caused by their tenant's pets knocking over a heat lamp above an iguana terrarium. Since that time, the Building Department has required the property to be secured and boarded; however, it has been difficult to secure the structure and there have been several reports of unauthorized access

Analysis and Discussion:

The Historic Preservation Board is authorized by Title 15-11-5(I) to review and take action on the designation of sites within the Historic Sites Inventory. The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). Land Management Code Section 15-11-10(A) sets forth the criteria for designating sites to the Park City Historic Sites Inventory.

Because the home does retain its historic form, the evidence supports the conclusion that the home is "Significant". A reconstruction of the home, which is necessary based on the structural integrity of the home raised by the Chief Building Official, would also allow the house and site to remain "Significant" based on the following definition:

Significant Site. Any buildings (main, attached, detached or public), accessory buildings and/or structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and (...) **Complies**

The structure was originally constructed circa 1900, and not later than 1910 making the structure 113 years old.

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

- (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
- (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
- (iii) Moving it from its original location to a Dissimilar Location, or
- (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way. **Complies.**

The home retains its original historic form. The 1960s side addition does not detract or negatively impact the historic form of the structure. It could be removed if the owners chose to restore the structure as it has not achieved significance in its own right. Any future panelization or reconstruction will also preserve the historic hall-and-parlor form of the structure.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

- (i) An era of Historic importance to the community, or
- (ii) Lives of Persons who were of Historic importance to the community, or
- (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period. **Complies.**

This structure contributes to our understanding of Park City's Mature Mining Era (1894-1930). The houses within Old Town and the historic district are the largest and best preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including settlement patterns, building materials, construction techniques, and socio-economic make-up. These structures greatly add to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.

The criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site include:

- (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and

- (b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and
- (c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:
 - (i) An era that has made a significant contribution to the broad patterns of our history;
 - (ii) The lives of Persons significant in the history of the community, state, region, or nation; or
 - (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman.

Staff finds that the structure at 632 Deer Valley Loop meets the standards for local “significant” designation, but does not meet the criteria for “landmark” designation. In order for the site to be designated as “landmark,” the structure would have to retain its historic integrity in terms of location, design, setting, materials, workmanship, feeling and association. Moreover, it would be eligible for the National Register. Due to the alterations, loss of its historic materials, and changes in window and door configuration, the structure is no longer eligible for the National Register of Historic Places.

Process:

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the “Criteria for Designating Historic Sites to the Park City Historic Sites Inventory.” The HPB shall review the Application “de novo,” giving no deference to the prior determination. If the HPB finds that the application does not comply with the criteria set forth in Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building and/or structure will be removed from the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

Notice:

Legal Notice of this public hearing was published in the Park Record and posted in the required public spaces.

Public Input:

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to or removing sites from the Historic Sites Inventory. The public hearing for the recommended action was properly and legally noticed as required by the Land Management Code. No public input was received at the time of writing this report.

Alternatives:

- Conduct a public hearing to consider the DOS for 632 Deer Valley Loop described herein and find the structure at 632 Deer Valley Loop meets the criteria for the designation of “Significant” to the Historic Sites Inventory according to the draft findings of fact and conclusions of law, in whole or in part.
- Conduct a public hearing and find the structure at 632 Deer Valley Loop does not meet the criteria for the designation of “Significant” to the Historic Sites Inventory, and providing specific findings for this action.
- Continue the action to a date uncertain.

Significant Impacts:

There are no significant impacts on the City as a result of retaining the existing building described in this report to the Historic Sites Inventory as a “Significant” Structure.

Consequences of *not* taking the Recommended Action:

If no action is taken, no change will occur to the designation of 632 Deer Valley Loop on the Historic Sites Inventory. The structure will not be eligible for demolition.

If the Historic Preservation Board chooses to remove this site from the HSI, the structure will not be a designated historic site and will be eligible for demolition.

Recommendation:

Staff recommends the Historic Preservation Board conduct a public hearing and find that criteria have been met to continue the designation of 632 Deer Valley Loop as “Significant” within the Park City Historic Sites Inventory according to the following finding of fact and conclusions of law.

Finding of Fact:

1. 632 Deer Valley Loop is within the Residential-Medium Density (RM) zoning district.
2. There is an existing side gable hall-parlor structure at 632 Deer Valley Loop. This structure is currently listed on the Park City Historic Sites Inventory as a “Significant” Structure.
3. The existing structure has been in existence at 632 Deer Valley Loop since circa 1900. The structure appears in the 1904 and 1927 Sanborn Fire Insurance maps. Furthermore, the Historic Site Form contains tax cards of the structure from 1949, 1958, and 1969. A late-1930s tax card photo also demonstrates that the overall form of the structure has not been altered.
4. The hall-and-parlor structure and later rear addition were both constructed within the Mature Mining Era (1894-1930) and are historic.
5. Though out of period, the enclosed side porch entrance added in the 1960s does not detract from the historic significance of the structure.
6. The existing structure is in serious disrepair and is not habitable in its current dangerous condition.

7. There is very little original exterior materials remaining on the exterior of the home. The original wood lap siding has been covered by layers of Bricktex and vertical wood siding
8. The double-hung windows on the façade were removed and expanded to install larger, undivided rectangular windows after 1969. The original wood double-hung windows throughout were replaced by aluminum windows.
9. After 1969, the turned wood porch posts were replaced with new decorative metal columns. A brick chimney was installed above the enclosed side porch that was later repaired with thick layers of Portland Cement.
10. The structure is a hall-parlor plan and typical of the Mature Mining Era.
11. The rear addition of the structure, dating prior to 1927, was severely damaged in a fire on May 17, 1999.
12. The site meets the criteria as Significant on the City's Historic Sites Inventory.
13. Built circa 1900, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
14. Though the structure has lost its historic integrity due to the out-of-period alterations to its historic materials, it has retained its historical form. The out-of-period addition to the west elevation of the structure does not detract from its historic significance.
15. The structure is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era (1894-190).

Conclusions of Law

1. The existing structure located at 632 Deer Valley Loop meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:
 - (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and
 - (b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:
 - (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
 - (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
 - (iii) Moving it from its original location to a Dissimilar Location, or
 - (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.
 - (c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:
 - (i) An era of Historic importance to the community, or
 - (ii) Lives of Persons who were of Historic importance to the community, or

(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.

Exhibits:

Exhibit A – Historic Sites Inventory Form, 2008

Exhibit B – Historic photograph, late-1930s

Exhibit C – Letter from Principal Allen Roberts, CRSA

Exhibit D – Photographs from site visits

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 632 DEER VALLEY LOOP RD

AKA:

City, County: Park City, Summit County, Utah

Tax Number: PC-537

Current Owner Name: BERTAGNOLE WILLIAM T & JULI M TRUSTEES *Parent Parcel(s):*

Current Owner Address: 1600 LUCKY JOHN DR, PARK CITY, UT 84060-6948

Legal Description (include acreage): 11TH HOUSE S SIDE DEER VALLEY PARK CITY(#632 DEER VALLEY); ALSO DESC AS BEG S 42°52'44" E 1038.31 FT FROM E1/4 COR SEC 16 T2SR4E SLBM; TH S 76°43' E 116.60 FT; TH S 9°17' W 83.58 FT; TH S 80°29' W 129.40 FT; TH N 14°51' E 51.12 FT; TH N 10°39' E 82.35 FT TO BEG CONT 0.29

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: 1995 & 2006
- historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Rectangular or "Hall-Parlor" House

No. Stories: 1½

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation *Date:* 12-2008

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.): Vacant. Slightly sagging roofline, missing shingles, boarded up and exposed window openings, unkempt property, staggered and missing boards along porch foundation, peeling paint, and missing sections of roofline gutters and boards.
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Not visible and therefore its material cannot be verified

Walls: Vertical wooden boards, wooden trim, decorative metal porch supports (no railings)

Roof: Undetermined shingle material (asphalt?) with metal cap endings along roofline edge

Windows: Collaboration of picture windows, aluminum single hung windows, and window openings (windows missing).

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): Building card indicates side room addition between 1949-1969. Siding is not likely original, neither are the porch supports. The window configuration on the primary façade is also not typical of early mining era homes and is not likely original.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): Structure built on a sloped building lot above the roadway. Surrounding grounds and property unkempt and overgrown with naturally occurring grasses and terrain. Narrow building lot surrounded by what appears to be newer multi-family housing developments.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines the typical Park City mining era home--simple methods of construction, the use of non-beveled (drop-novelty) wood siding, plan type, simple roof form, informal landscaping, restrained ornamentation, and plain finishes--have been altered and, therefore, lost.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The Hall-Parlor house form is the earliest type to be built in Park City and one of the three most common house types built in Park City during the mining era.

The extent of and cumulative effect of the alterations render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1900¹

¹ Summit County Recorder.

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Northwest oblique. Camera facing southeast, 2006.

Photo No. 2: Southeast oblique. Camera facing northwest, 2006.

Photo No. 3: East elevation. Camera facing west, 2006.

Photo No. 4: Northwest oblique. Camera facing southeast, 1995.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

SERIAL NO.
RE-APPRAISAL CARD (1940 APPR. BASE)

Owner's Name _____
 Owner's Address _____
 Location _____
 Kind of Building RES Street No. _____
 Schedule 1 Class 3 Type 1-2-3-4 Cost \$ _____ X %

| Stories | Dimensions | Cu. Ft. | Sq. Ft. | Actual Factor | Totals |
|---------|------------|---------|---------|---------------|---------|
| 1 | x x | | 672 | \$ | \$ 1331 |
| | x x | | | \$ | \$ |
| | x x | | | \$ | \$ |

No. of Rooms 4 Condition FAIR

| Description of Building | Add | Deduct |
|---|-----|--------|
| Foundation—Stone Conc. None ✓ | | 104 |
| Ext. Walls <u>BRICK TEX</u> | | |
| Insulated—Floors Walls Clrs. | | |
| Roof—Type <u>GAB</u> Mat. <u>PAT SHG</u> | | |
| Dormers—Small Med. Lg. | | |
| Bays—Small Med. Lg. | | |
| Porches—Front <u>112 @ .70</u> | 78 | |
| Rear @ | | |
| Cellar—Basmt— $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ full-floor <u>DIRT</u> | | |
| Basement Apts.—Rooms Fin. | | |
| Attic Rooms Fin. Unfin. | | |
| Plumbing— Class Tub Trays Basin Sink Toilet Urns Ftns Shr. Dishwasher Garbage Disp. | 120 | |
| Heat—Stove H. A. Steam S. Blr. Oil Gas Coal | | |
| Air Conditioned Incinerators | | |
| Radiant—Pipeless | | |
| Finish— Hd. Wd. Floors Hd. Wd. Fir. Fir. Conc. | | |
| Cabinets Mantels | | |
| Tile— Walls Wainscot. Floors | | |
| Lighting—Lamp Drops Fix. <u>WOOD LINED</u> | | 100 |
| Total Additions and Deductions | 198 | 204 |
| Net Additions or Deductions | | 198 |

REPRODUCTION VALUE \$ 1325
 Age 45 Yrs. by AV Est. Owner
 Tenant Depr. 1-2-3-4-5-6 50/42 %
 Neighbors
 Records Reproduction Val. Minus Depr. \$ 556

Remodeled Est. Cost _____ Remodeling Inc. _____ %
 Garage—S 8 C Depr. 2% 3% _____
 Cars Walls _____ Out Bldgs. _____
 Roof Size x Age _____
 Floor Cost _____ Depreciated Value Garage _____
 Remarks AV AGE 37 YRS RECORDED Total Building Value \$ _____
ON-OLD CARD (1941)

Location _____
 Kind of Bldg. RES ^{REAR} St. No. 623 Deer Valley
 Class 3 Type 1 2/3 4 Cost \$ 1383 X 100 %

| Stories | Dimensions | Cu. Ft. | Sq. Ft. | Factor | Totals |
|---------|------------|---------|---------|--------|---------|
| 1 | x x | | 672 | | \$ 1383 |
| | x x | | | | |
| | x x | | | | |

Gar.—Carport x Flr. _____ Walls _____ Cl. _____

| Description of Buildings | Additions |
|--|---|
| Foundation—Stone _____ Conc. <u>Brick</u> None _____ | |
| Ext. Walls <u>Brick on side</u> | |
| Insulation—Floors _____ Walls _____ Cigs. _____ | |
| Roof Type <u>Gab.</u> Mtl. <u>RR</u> | |
| Dormers—Small _____ Med. _____ Large _____ | |
| Bays—Small _____ Med. _____ Large _____ | |
| Porches—Front _____ 11' @ <u>90</u> | <u>90</u> |
| Rear _____ @ _____ | |
| Porch _____ @ _____ | |
| Metal Awnings _____ Mtl. Rail _____ | |
| Basement Entr. _____ @ _____ | |
| Planters _____ @ _____ | |
| Cellar-Bsmt. — 1/4 1/2 3/4 Full _____ Floor _____ | |
| Bsmt. Apt. _____ Rooms Fin. _____ Unfin. _____ | |
| Attic Rooms Fin. _____ Unfin. _____ | |
| Plumbing { | Class <u>1</u> Tub _____ Trays _____ |
| | Basin <u>1</u> Sink _____ Toilet _____ |
| | Wtr. Sfr. _____ Shr. St. _____ O.T. _____ |
| | Dishwasher _____ Garbage Disp. _____ <u>350</u> |
| Built-in-Appliances _____ | |
| Heat—Stove <input checked="" type="checkbox"/> H.A. _____ Steam _____ Stkr. _____ Blr. _____ | |
| Oil <input checked="" type="checkbox"/> Gas _____ Coal _____ Pipeless _____ Radiant _____ | |
| Air Cond. _____ | |
| Finish—Fir <input checked="" type="checkbox"/> Hd. Wd. _____ | |
| Floor—Fir <input checked="" type="checkbox"/> Hd. Wd. _____ Other _____ | |
| Cabinets <u>1</u> Mantels _____ | |
| Tile—Walls _____ Wainseot _____ Floors _____ | |
| Storm Sash—Wood D. _____ S. _____; Metal D. _____ S. _____ | |
| Total Additions | <u>440</u> <u>440</u> |

Appraised 11/27/79 2279

| | | | |
|------------------------|---|---|----------------|
| Year Built _____ | Avg. _____ | Current Value | \$ <u>1823</u> |
| <u>Avo Gqe 1949-45</u> | Age <u>54</u> | Commission Adj. _____ % | |
| Inf. by { | Owner - Tenant - Neighbor - Record - Est. | Bldg. Value | |
| | | Depr. Col. <u>1</u> 2 3 4 5 6 <u>33</u> % | |
| Remodel Year _____ | Est. Cost _____ | Current Value Minus Depr. | \$ <u>602</u> |
| Garage—Class _____ | Depr. 2% 3% _____ | Carport—Factor _____ | |
| Cars _____ | Floor <input checked="" type="checkbox"/> Walls _____ | Roof _____ Doors _____ | |
| Size—x _____ | Age _____ | Cost _____ x _____ % | |
| Other _____ | | | |
| Total Building Value | | | \$ _____ |

Owners Name _____

Location _____

Kind of Bldg. Res St. No. C 33 Deer Valley

Class 2 Type 1034 Cost \$ _____ X 100 %

| Stories | Dimensions | Sq. Ft. | Factor | Totals | Totals |
|---------|------------|---------|--------|---------|--------|
| 1 | x x | 980 | | \$ 2788 | \$ |
| | x x | | | | |
| | x x | | | | |

Att. Gar.—C.P. x Flr. _____ Walls _____ Cl. _____

Description of Buildings Additions Additions

Foundation—Stone Brk. Conc. _____ Sills _____

Ext. Walls Brk-Tex (A)

Roof Type GAB Mtl. PAT

Dormers—Small _____ Med. _____ Large _____

Bays—Small _____ Med _____ Large _____

Porches—Front 112 @ 75 84

Rear 60 @ 100 60

Porch _____ @ _____

Planters _____ @ _____

Ext. Base. Entry _____ @ _____

Cellar-Bsmt. — 1/4 1/3 1/2 2/3 3/4 Full _____ Floor _____

Bsmt. Gar. _____

Basement-Apt. _____ Rms. _____ Fin. Rms. _____

Attic Rooms Fin. _____ Unfin. _____

Plumbing { Class 1 Tub. 1 Trays _____
Basin 1 Sink 1 Toilet 1
Wtr. Sfr. _____ Shr. St. _____ O.T. _____
Dishwasher _____ Garbage Disp. _____ 550

Heat—Stove X H.A. _____ FA _____ HW _____ Stkr _____ Elec. _____

Oil _____ Gas _____ Coal A Pipeless _____ Radiant _____

Air Cond. — Full _____ Zone _____

Finish—Fir. ✓ Hd. Wd. _____ Panel _____

Floor—Fir. ✓ Hd. Wd _____ Other _____

Cabinets 1 Mantels _____

Tile—Walls _____ Wainscot _____ Floors _____

Storm Sash—Wood D. _____ S. _____; Metal D. _____ S. _____

Awnings — Metal _____ Fiberglass _____

Total Additions 694

Year Built 1904 Avg. 1904 Replacement Cost 3482

NO AVG AGE Age 2. Obsolescence _____

Inf. by Owner Tenant - _____ Adj. Bld. Value _____

Neighbor - Record - Est. Conv. Factor x.47

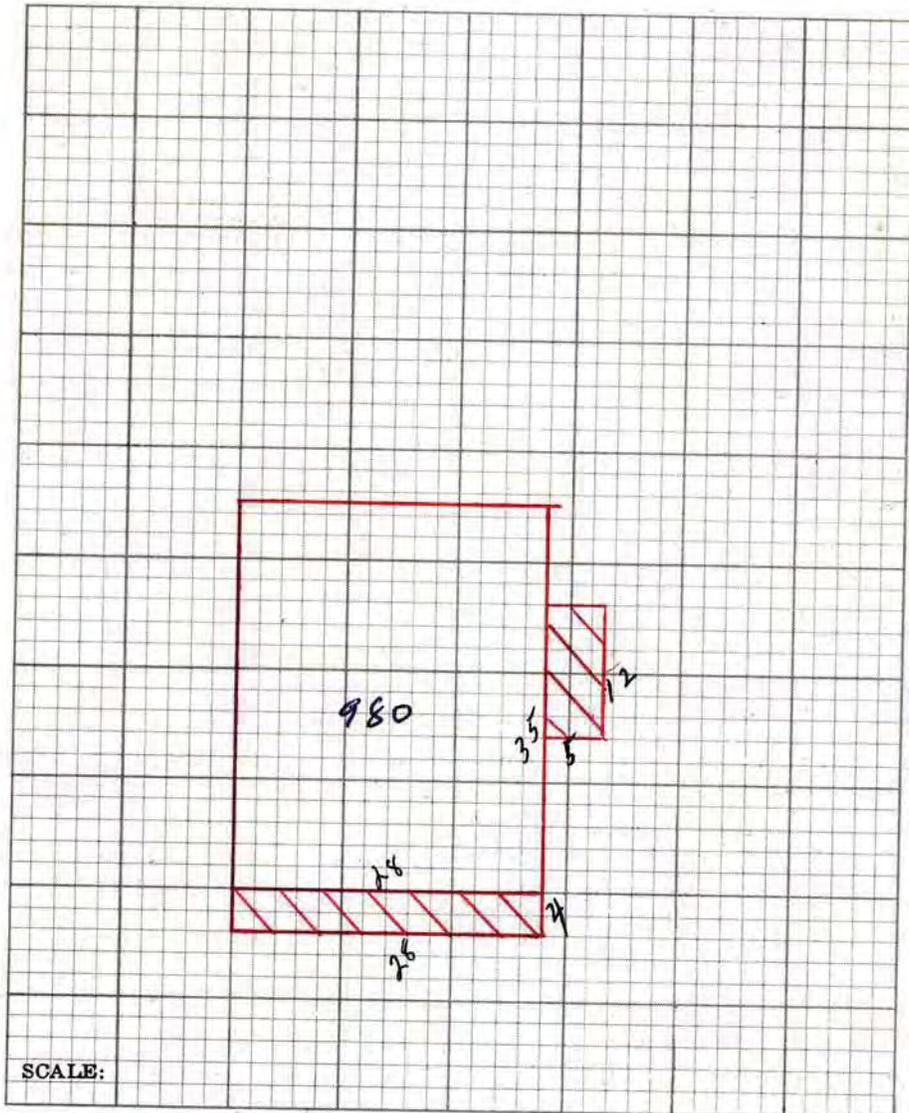
Replacement Cost—1940 Base _____

Depreciation Column 2 3 4 5 6

1940 Base Cost, Less Depreciation _____

Total Value from reverse side _____

Total Building Value \$ _____



SCALE:

| RESIDENTIAL OUT BUILDINGS | Age | Size | Area | Factor | Cost | Conv. Fac. | Adj. Cost | Depr. Value |
|---------------------------|-----|------|------|--------|------|------------|-----------|-------------|
| | | x | | | | .47 | | |
| | | x | | | | .47 | | |
| | | x | | | | .47 | | |
| | | x | | | | .47 | | |
| | | x | | | | .47 | | |
| | | x | | | | .47 | | |

Garage — Class _____ Depr. 2% 3% _____

Cars _____ Floor _____ Walls _____ Roof _____ Doors _____

Size _____ x _____ Age _____ Cost _____ x 47% _____

_____ 1940 Base Cost _____ x _____ % Depr. _____

Total _____

REMARKS _____











October 18, 2013

To: Anya Grahn, Preservation Planner, Park City

From: Allen Roberts, AIA, Preservation Consultant, CRSA

In response to the City's request to assess the age of the house at 632 Deer Valley Loop, I provide the following information:

- 1) A c. 1940 photograph taken from the same angle as the photo in the City's 2012 Historic Sites Inventory shows the house to be a c. 1900 (+/- 10 years) residence. The earlier photo clearly shows its turned-wood Victorian columns, "novelty" wood siding, small-paned windows (as used prior to the arrival of the railroad), corbelled brick chimney and simple, hall-parlor floor plan—all evidence of a c. 1900 structure.
- 2) A small, shed-roofed room was added to the right, rear corner of the house, much later than the initial construction.
- 3) The information on the property's tax card also indicates that the main residence dates from the turn-of-the-century period.
- 4) The building's exterior has been altered and its architectural integrity compromised, with newer porch columns, windows and siding, which obscure the original materials and design. The historic corbelled chimney remains intact, however, as does the basic form of the exterior massing.

In summary, the house's exterior materials and design elements were in common use in Park City from the 1870s until about 1910 when newer materials and styles were introduced. While we have not discovered an exact date of construction, it is highly unlikely that the residence was constructed after about 1910, and it could have been built considerably earlier.

Respectfully submitted,



Allen Roberts, AIA

President, CRSA

632 Deer Valley Loop Photographs



Northwest Corner



West Elevation



Northwest Corner



North Elevation (façade)



Northeast Corner



Close-up of East Elevation



East Elevation (note fire damage)



Southeast Corner



South Elevation



Fire Damage on South Elevation



Fire damage at southeast corner



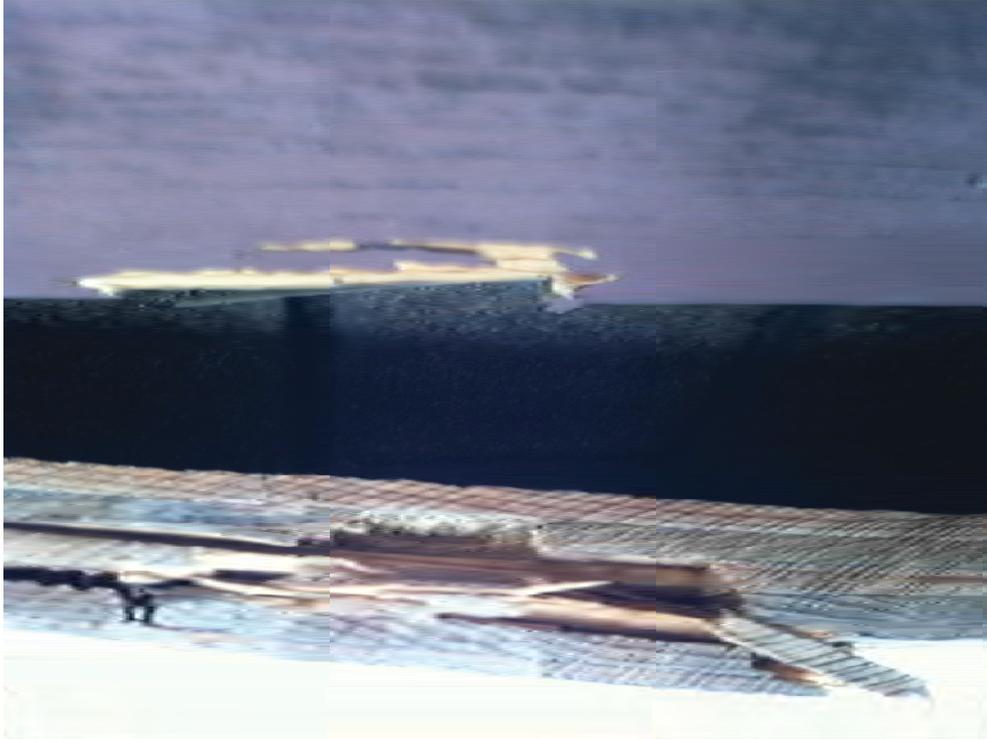
Exposed roof eave, showing old growth timber



Wood floorboards on porch



Dilapidated vertical wood siding used on porch (as seen in 1930s tax photo)



Bricktex beneath vertical wood siding. The original wood lap siding is likely beneath this layer of Bricktex.



Original wood trim. Note the reveal. Layers of Bricktex and vertical wood siding have hidden much of the reveal on this original trim.



Original wood trim. Note the reveal. Layers of Bricktex and vertical wood siding have hidden much of the reveal on this original trim.



Charred ceiling structure, interior



Charred bead-board ceiling in kitchen



Antique nail and charred roof structure, interior



Fire-damaged rear addition. Note the horizontal lumber atop vertical studs.



Historic paneled wood door with antique hardware.



Historic interior wood window trim in front bedroom.



Wall paper applied atop wood wall structure

PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
MINUTES OF NOVEMBER 13, 2013

BOARD MEMBERS IN ATTENDANCE: David White, - Puggy Holmgren, Marian Crosby, John Kenworthy, Gary Bush Hope Melville, Clayton Vance

EX OFFICIO: Kayla Sintz, Anya Grahn, Polly Samuels McLean, Patricia Abdullah

ROLL CALL

Chair Pro-Tem White called the meeting to order at 5:08 p.m. and noted that all Board Members were present except Board Member Kenworthy, who arrived later.

ADOPTION OF MINUTES

August 7, 2013

MOTION: Board Member Holmgren moved to APPROVE the minutes of August 7, 2013 as written. Board Member Bush seconded the motion.

VOTE: The motion passed unanimously.

August 21, 2013

Board Member Bush moved to APPROVE the minutes of August 21, 2013 as written. Board Member Crosby seconded the motion.

PUBLIC COMMUNICATIONS

There were no comments.

STAFF/BOARD COMMUNICATION & DISCLOSURES

Planning Manager Sintz stated that the HPB would elect a Chair at the next meeting.

REGULAR MEETING - Discussion, Public Hearing and Possible Action.

1. 632 Deer Valley Loop – Determination of Significance
(Application PL-13-02094)

Planner Anya Graham stated that the Historic Sites Inventory is the go-to resource in terms of determining whether or not buildings and structures in Park City are Significant or Landmark.

Planner Grahn reported that a question was raised regarding the significance of 632 Deer Valley Loop. The owners had received a Notice and Order from the Building Department. The property previously owned by the BLM was in litigation for 30 years. As part of the Notice and Order it was brought to their attention that the Historic Sites Inventory form for this particular property may not have been as thorough as it could have been. Planner Grahn clarified that the discussion this evening was strictly to determine whether or not the structure should remain significant on the Historic Sites Inventory.

Planner Grahn stated that the building was previously identified as historic in 1995 on a reconnaissance level survey that the City conducted, but it was not included in a 1982 Historic District architectural survey. The 2009 HSI recognizes that it is a Hall-Parlor plan that has a compatible but non-historic side addition, and it has lost much of its historic integrity due to exterior changes to its materials.

Planner Grahn provided background and history of the site as outlined in the Staff report, and presented slides showing photos of the original structure and how it was changed over time. Planner Grahn reiterated that the focus this evening was on historic significance and not the condition of the building.

Planner Grahn stated that the LMC defines that any building, (main, attached, detached or public), accessory buildings and/or structures can be designated to the Historic Sites Inventory as a Significant Site if it meets the following criteria:

a) The site must be at least 50 years old or has achieved significance in the past 50 years if the site is of exceptional importance to the community.

The Staff believed the structure at 632 Deer Valley Loop complies because the Sanborn maps show that it was built between 1900 and 1910, making it over a 100 years old.

b) The site retains its essential historic form and that major alterations were not made to the actual form of the building.

Planner Grahn explained that changes that could alter the significance include changes to the main roof of the primary façade. She explained why the Staff believed the structure at 632 Deer Valley Loop retains its essential historic form. She indicated the side gable that was built with the Hall-Parlor Plan and the rear addition.

c) Has the site achieved importance in local or regional history, architecture, engineering or cultural association.

Planner Grayn pointed out that as implied by the HSI, the structure at 632 Deer Valley Loop is historically significant to their understanding of the Mature Mining Era. The building is located in what used to be the red light district and it was of the few remaining buildings.

Planner Grahn pointed out the difference between the criteria for Significant and Landmark Designations. To be considered a local landmark the site needs to be at least 50 years old, retain its historic integrity in terms of location, design, setting, materials, and workmanship as defined by the National Park Service for a National Register. It also needs to be significant in local, regional or national history. Planner Grahn explained that the structure at 632 Deer Valley Loop would not comply because the loss of materials makes it ineligible for the National Register of Historic places.

Planner Grahn recommended that the Planning Commission conduct a public hearing and find that the criteria outlined shows that the building meets the criteria as defined by the LMC as Significant; according to the findings of fact and conclusions of law outlined in the Staff report.

Board Member Melville understood that there was not an application to remove the structure from the Historic Sites Inventory. Planner Grahn stated that when the Staff was working with the owners to resolve the Notice and Order, the Planning Director recommended that the Staff should come before the Historic Preservation Board and reiterate that the structure should be left as Significant on the HSI because it meets the criteria. Planner Grahn clarified that if the structure had not met the criteria, she would be making a recommendation to remove it from the HSI.

Board Member Melville noted that the original exterior siding was underneath a couple of layers of siding. She asked if that could be removed to bring it back to Landmark status. Planner Grahn stated that she had asked Cory Jensen with the State Historic Preservation Office the same question, because many of the historic homes have the retained historic materials but it is buried underneath other materials. Mr. Jensen told her that it depends on how much of the historic material was retained and how much could be salvaged. It also depends on how much of the historic material stayed intact during remodeling. Planner Grahn believed that things could be done to possibly return the structure at 632 Deer Valley Loop to Landmark Status and possibly on the National Register.

Board Member Bush asked why the structure was not on the 1985 survey. Planner Grahn was unsure. She stated that the reason could be because it was on BLM land and not within the Old Town core in the area designated as the Historic District. Planner Grahn remarked that a number of sites are outside of the Historic District but remain on the Historic Sites Inventory.

Board Member Bush asked if anyone knew the shape and size of the parcel that the house sits on. Planner Grahn replied that there was not a survey with that information.

Board Member Holmgren noted that the earlier surveys were not very accurate. One survey shows her house as being built in 1957, but it is substantially older. Her other house was not even on the survey. She believed the current surveys are the most accurate.

Madeline Smith, the owner, asked when it was changed from not being in the Historic District to coming into the Historic District. Planner Grahn replied that it was included in the HSI in 2009. Ms. Smith stated that as the owner she was never noticed. Otherwise, she would have dealt with it in 2009. Planner Grahn asked Ms. Smith if she was the owner in 2009. Ms. Smith stated that she has owned the property since 1979. Planner Grahn stated that she could not speak to past notification. She was not with the Planning Department when the Design Guidelines were revised in 2009 and the LMC was amended.

Board Member Holmgren stated that no one was noticed. The survey was done and adopted by the City Council. Board Member White concurred. Patricia Abdullah clarified that every property owner was noticed if their structure was going on the inventory. She recalled that because this was still on BLM land, the notice would have gone to the BLM.

Assistant City Attorney McLean stated that one reason why the Planning Director decided to bring this application to the Board was due to the possibility of a noticing discrepancy. This process allows the owners the opportunity to have the determination of significance evaluated by the HPB.

Board Member Vance asked when Ms. Smith took possession of the property. He was told that it was in 1980. Board Member Vance wanted to know how that coincided with the BLM owning it in 2009.

William Bertagnole, the applicant, provided a brief history. He explained that in 1980 it was purchased from Mary Dudley. During the process, Ms. Dudley's husband passed away and they got a quit claim deed from her. Two years later he received a letter from the BLM and the Mining Company telling them to get off their property. They had unpatented mining claims, which meant nothing, and they continued to try to make Mr. Bertagnole leave. He received another letter from the BLM informing him that he did not own the mineral rights and he needed to leave. Mr. Bertagnole refused to leave and it ended up in a 33 year court battle until the Spring of 2013. Mr. Bertagnole always understood that they were not in the Historic District and the building has been remodeled so much that the

historic elements and materials were gone. Mr. Bertagnole noted that a renter had started a fire in the back of the house and it destroyed the interior.

Chair Pro Tem White pointed out that the original structure is still intact. Mr. Bertagnole agreed that the structure was there but it is not on a foundation and the house is crooked. Chair Pro Tem White remarked that the T111 siding is covering the original historic material and it would have to be inspected to know how much of the original material was retained. Chair Pro Tem White stated that the basic form, shape, size and mass of the house is still there, regardless of what occurred on the interior.

Board Member Bush asked what Mr. Bertagnole intended to do with the structure. Mr. Bertagnole stated that he started the process when he was 30 or 40 years old, and at that time he probably would have rebuilt it. He is now 72 and he would like to sell it. Board Member Bush agreed that the building is badly damaged because it was left unattended for a long time, and it would be difficult to salvage any material. However, the form is still intact. If Mr. Bertagnole wanted to rebuild the form with in-period material, it was something he could support. Board Member Bush did not believe anyone on the HPB expected Mr. Bertagnole to make the old wood beautiful. The HPB was interested in saving or re-creating the form of the historic structure. Mr. Bertagnole replied that at his age he was not interested in building anything.

Board Member Bush asked if Mr. Bertagnole was looking for a clean lot that he could sell. Mr. Bertagnole stated that he has had developers contact him wanting to purchase the property. He pointed out that the fire department, the police department, and the building inspectors have all said that the structure was trash. Three or four years ago the former Building Official, Ron Ivie, begged him to tear it down. However, he could not tear it down because it was his claim to the BLM since it was sitting on BLM ground. Mr. Bertagnole explained that he was very young when he purchased the home and was not aware that it was on BLM ground. His plan at that time was to tear down the house and rebuild. After spending years of time and money working on the house and he had no interest in rebuilding it now. All he wants is the ability to sell it so someone else could rebuild it. He is now faced with the issue of the structure being on the Historic Sites Inventory.

Board Member Bush understood that Mr. Bertagnole wanted to get the value out of the home without redeveloping. He also understood that the developers who approached Mr. Bertagnole were not interested in buying unless they could tear down the house. Mr. Bertagnole replied that he wants to tear down the house because it is unsafe and a danger to the neighborhood. Construction people use the property to store materials and others use it as a dump. There have been drug and transient problems and the City has been after him to do something

about it. Therefore, he applied to demolish the house. His other choice is to cover it up, but plywood can be pried off and the problems return.

Chair Pro Tem White clarified that the issue before the Board this evening was whether or not to keep the Significant Site designation.

Board Member Bush stated that based on that issue, two of the three criteria were very clear. The material is gone but the form and age support keeping the Significant designation. He understood the hazards it poses to the property owner, but he was unsure how that could be addressed based on the criteria.

Chad Root, the Chief Building Official, stated that like Ron Ivie he had issued a Notice and Order early last year when it was still BLM property. Mr. Root clarified that the City has no jurisdiction on federal or state entities. Therefore, when the ownership transferred to Mr. Bertagnole earlier this year, another Notice and Order was sent informing him that the structure needed to either be demolished or repaired. The Building Department later found out that the structure was listed as historically significant and the Notice and Order was changed to repair the structure. Mr. Root stated that the Building Department was looking at a mothballing effort in terms of repairing the damaged areas to protect from weather; and also boarding up the doors and windows from the inside to keep out transients.

Mr. Bertagnole could not recall every being told that he could put plywood on the inside of the windows, and he could not recall ever being told to repair it. All the documents he read from any of the City entities have been to tear it down. Mr. Root clarified that the newest Notice and Order took away the option to tear it down because it is historic.

Planner Grahn stated that per the LMC, the City does not favor demolition of buildings because it ruins the urban fabric and the history is lost. If restoration is not an option due to the dilapidated state of the building, there is always panelizing and reconstruction. She believed that was the only option at this point.

Ms. Smith did not believe it was right that four years ago things suddenly changed and the structure was considered to be in the Historic District. She noted that it was ten years after the fire and it was impossible to repair or restore the house to its historic form.

Board Member Holgrem concurred with Board Member Bush that the structure meets the criteria for a Significant designation.

Board Member Bush pointed out that Mr. Bertagnole was stuck with a liability regarding safety issues. Mr. Bertagnole remarked that he is unable to insure the house and he would be personally liable. Board Member Bush stated that a chain link fence could be installed around the house but people would still find a way in. He stated that typically an owner wants to redevelop and the HPB would ask them to incorporate the form into their design, and to use as much material as possible. However, in this case, the owner only wants to eliminate a liability and has no interest in rehabilitating the house in any way. He asked if removing the liability could be tied to a commitment to rebuild that form with the land. The owner would no longer have the liability and the City could retain the Significant structure.

Planner Grahn stated that through the Historic District Design Review process one option could be for the owner to tear down the structure but provide the financial guarantee and document the historic building. The City would retain the financial guarantee until the structure is reconstructed or meets what was approved with the HDDR. Planner Grahn stated that even though it was an option, the issue before the HPB this evening was determination of significance. She explained that the City was sympathetic to the liability issue and the Planning and Buildings Departments have been trying to find a workable solution for Mr. Bertagnole.

Board Member Melville asked if there was a City program that could assist in securing the building. Mr. Root stated that the Building Department has an abatement program, which is a fund to abate certain structures and to assist; however it is a revolving fund. The City secures the doors and mothballs the building, and if the owner is not able to pay it back to the City, the money is recouped through their taxes.

Chair Pro Tem White opened the public hearing.

Bob Martin a resident across the street at 595 Deer Valley Loop, felt this matter was interconnected with a number of issues. He was unsure of the BLM situation with the City; however, he understood that the structure at 632 Deer Valley Loop sits in the middle of the BLM piece. Mr. Martin stated that those four homes sit across from house and he has been the epicenter of the construction phase of Deer Valley Drive. Mr. Martin was unsure whether the City intended to work a deal with the BLM over this piece of property, but he believed the house is historic. This house and the other three houses that sit on that piece of property are the only things remaining from the red light district of Park City. Mr. Martin preferred that the City do something that piece of property rather than sell it to a developer. His attempts to get answers from the City or the BLM have been unsuccessful. Mr. Martin thought it was legitimate for the HPB to make a decision regarding the significance of the structure, but he also felt it was

important for the City to have a plan. He asked if the property with the other three houses was settled with the BLM. He noted that someone lives in one of those structures. Mr. Martin would like the City to put in a historic park rather than to allow development. His understanding was that the land would be traded and he could be looking at a large condo development on the last piece at the entrance to Deer Valley. Mr. Martin remarked that in terms of historic preservation, it was important to focus on the bigger picture. He has three ribbons on his fence indicating that his home is historic. His home and another home are the only two that still exist inside the Loop. Those two and the four homes on BLM land are the only historic homes in that area.

Sandra Morrison, with the Park City Historical Society and Museum thanked the City for a terrific job creating the Historic Sites Inventory in 2009. They hired an extremely well qualified consultant who spent from 2006-2009 identifying all the historic structures in Park City. She noted that both the Historic Preservation Board and the City Council held public hearings before the HSI was adopted. Ms. Morrison welcomed anyone who wanted to do additional research to use the library at the Park City Museum. Ms. Morrison also commended the City on the decision to hire Cooper Roberts to conduct an intensive level survey, which she believed would answer some of the questions raised this evening regarding the amount of historic fabric remaining on the building. She recognized that some of the questions could not be answered tonight, but the Historical Society Museum fully supported the Planning Department and the listing of this house on the Historic Sites Inventory because it is a historic house. Ms. Morrison was pleased to hear about the mothballing effort and she believed it was a good interim plan. She offered the help of the Historical Society Museum and encouraged the owners to contact her.

Alison Kitching, a resident at 670 Deer Valley Loop Drive, stated that her patio in the Portico Townhome complex was adjacent to the structure at 632 Deer Valley Loop. She is single and lives alone and she was uncomfortable having drug dealers next to her in that home. She has had to call the police twice to report activity outside the house. Ms. Kitching requested that the HPB do something with the structure that would help her feel secure. She thought she was moving into a safe community environment and she still believed that it was a good place to live. However, it would be better if the HPB could help with that issue. Ms. Kitching enjoys being around historic homes and that was one of the reasons why she moved to that area. She preferred that the house not be torn down and the property redeveloped. Ms. Kitching encouraged a solution where the current owners could work with a developer to stay within the same footprint and architecture and redeveloped in a way that fits the area.

Chair Pro Tem closed the public hearing.

Board Marian Crosby understood that the cost of mothballing the home would be the responsibility of the owner, and if the owner was incapable of paying for it that it would be added to the taxes and paid when the property is sold. Mr. Root explained that the responsibility goes to the owner. If the owner does not follow through with mothballing and taking care of the property, the City abates it under the Abatement of Dangerous Building code. At that point, the City hires a contractor to mothball the structure and cover the windows and doors. He was told that the burned out portion on this structure was not historic because it was a shed addition to the back of the house. Mr. Root stated that the main purpose is to protect the historic structure. The shed may come down because so much of it is burned out.

Board Member Crosby asked if the burned out shed could be demolished as part of mothballing. Planner Grahn replied that from the Sanborn map it looks like the shed or at least a portion of the shed is historic. However, the Staff would have to research it further to be sure. Board Member Crosby asked if there were cost estimates. Mr. Root replied that the Building Department had not obtained any estimates.

Board Member Holmgren reiterated that the HPB was only being asked to determine whether the structure should remain on the HSI as a Significant structure. Any other issues were not for discussion this evening. Planner Grahn stated that if the Board was interested in the abatement issue, she could bring it back as a work session item to give them a better understanding of the process as it applies to Old Town.

Board Member Melville understood that part of the process for removing a site from the Inventory was that the owner has the burden of proving that it did not meet the criteria and that it should be removed from the list. Assistant City Attorney McLean explained that this particular issue was more of a hybrid. The HPB should evaluate it based on the criteria outlined in the Staff report from the standpoint of whether or not it meets the criteria of Significant. She noted that in 2009 when the structures were listed on the Inventory, all the owners were noticed. If the owner disagreed with the finding, they had the ability to have the HPB look more specifically at their structure to determine whether or not it was significant. Because of the issues with the land and the possibility that only the BLM was noticed and not the homeowner, the Staff felt it was appropriate for the HPB to relook at the determination.

Board Member Melville clarified that the issue was unique to this property because of the BLM and owner dispute. She wanted to make sure the HPB would not be setting a precedent that all properties on the Historic Sites Inventory would have to be reconfirmed. City Attorney McLean replied that this was a unique situation because of the ownership issue.

Board Member Melville believed the criteria were clear for this structure to remain a Significant site. The house is 50 years old. In comparing the 1938 photo with the current photo, it has retained its essential historical form. It also meets the criteria of local history due to its importance to the mining era.

Board Member Holmgren felt strongly that the structure was significant.

MOTION: Board Member Holgrem moved to keep the property at 633 Deer Valley Loop listed on the Historic Sites Inventory as a Significant Historic Site, in accordance with the Findings of Fact and Conclusions of Law outlined in the Staff report. Board Member Crosby seconded the motion.

VOTE: The motion passed. Board Member Kenworthy was not present for the vote.

Findings of Fact – 632 Deer Valley Loop

1. 632 Deer Valley Loop is within the Residential-Medium Density (RM) zoning district.
2. There is an existing side gable hall-parlor structure at 632 Deer Valley Loop. This structure is currently listed on the Park City Historic Sites Inventory as a “Significant” Structure.
3. The existing structure has been in existence at 632 Deer Valley Loop since circa 1900. The structure appears in the 1904 and 1927 Sanborn Fire Insurance maps. Furthermore, the Historic Site Form contains tax cards of the structure from 1949, 1958, and 1969. A late-1930s tax card photo also demonstrates that the overall form of the structure has not been altered.
4. The hall-and-parlor structure and later rear addition were both constructed within the Mature Mining Era (1894-1930) and are historic.
5. Though out of period, the enclosed side porch entrance added in the 1960s does not detract from the historic significance of the structure.
6. The existing structure is in serious disrepair and is not habitable in its current dangerous condition.
7. There is very little original exterior materials remaining on the exterior of the home. The original wood lap siding has been covered by layers of Bricktex and vertical wood siding.

8. The double-hung windows on the façade were removed and expanded to install larger, undivided rectangular windows after 1969. The original wood double hung windows throughout were replaced by aluminum windows.
9. After 1969, the turned wood porch posts were replaced with new decorative metal columns. A brick chimney was installed above the enclosed side porch that was later repaired with thick layers of Portland Cement.
10. The structure is a hall-parlor plan and typical of the Mature Mining Era.
11. The rear addition of the structure, dating prior to 1927, was severely damaged in a fire on May 17, 1999.
12. The site meets the criteria as Significant on the City's Historic Sites Inventory.
13. Built circa 1900, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
14. Though the structure has lost its historic integrity due to the out-of-period alterations to its historic materials, it has retained its historical form. The out-of-period addition to the west elevation of the structure does not detract from its historic significance.
15. The structure is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era (1894-190).

Conclusions of Law – 632 Deer Valley Loop

1. The existing structure located at 632 Deer Valley Loop meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:
 - (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and
 - (b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:
 - (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
 - (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
 - (iii) Moving it from its original location to a Dissimilar Location, or

- (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.
- (c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:
 - (i) An era of Historic importance to the community, or
 - (ii) Lives of Persons who were of Historic importance to the community, or Historic Preservation Board.
 - (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.

Board Member Kenworthy arrived.

2. 820 Park Avenue, Rio Grande – Appeal of Staff’s Determination
(Application PL-13-02108)

Planner Grahn requested that the HPB review this appeal de Novo. They were looking at it anew to find whether or not unique conditions exist to move the building. Planner Grahn emphasized that the discussion should not focus on the design or what could be built on the site.

Planner Grahn reported that Planning Director Thomas Eddington and Chief Building Official Chad Root had written a determination letter stating that unique conditions did not exist for this site. She had provided the Board with a copy of Director Eddington’s testimony, since he was out of town. Mr. Root was present to testify for himself.

Chair Pro Tem White asked if any Board member had disclosures related to this appeal.

Board Member Bush disclosed that he has worked with the appellant, Rory Murphy, on projects in the past. He did not believe that association would interfere with his judgment on this appeal. He and Mr. Murphy have no current business dealings.

Assistant City Attorney McLean stated that if any of the Board members had anyone speak to them outside of this meeting concerning the appeal, that should also be disclosed, as well as the content of the conversation, since this was a quasi-judicial hearing.

Jeff Love disagreed with Board Member Bush’s assessment of his relationship with Rory Murphy. Assistant City Attorney McLean clarified that Board Member Bush is entitled under the State Code to make a disclosure how he wishes.

Appeal before the Park City Board of Adjustment, April 15, 2014

Appeal of the Board Action of the Historic Preservation Board of Park City, Utah, November 13, 2013.

Project Address: 632 Deer Valley Loop

Project Number: PL13-02094

Type of Hearing: Determination of Significance

Hearing Date: November 13, 2013

Board Action: APPROVED

Bill and Juli Bertagnole, owners of 632 Deer Valley Loop, appeal certain of the finding of facts and conclusions of law in the Determination of Significance approved by the Board in the November 13, 2013, public hearing.

Summary of argument:

There were three separate building periods for this property: the earliest, about 1902 when a two room miner's shack was built: second, between 1912-1918, the building was enlarged with a large addition to the north, with a front porch and raised with a new roof structure which enclosed an attic storage space; and, lastly the 1960's when a lean-to addition was built on the back (south of the structure). The conclusion is clear that the building pictured in the photograph from the late 1930's is in the second building period 1912 - 1918.

Given the many alterations on the inside and outside of the structure over time there is not sufficient "historic" fabric remaining to warrant a preservation effort. Secondly, and at least as important, because of the fire in 1999, the building has been open to the weather for nearly 15 years and the extent of damage and rot is so severe that even the "historic" materials which remain are in very, very poor condition, perhaps beyond the point of any feasible effort to preserve.

The earliest owners were just simple Park City families and there is no record of any important person or event that occurred there. There is no evidence of any relationship to prostitution or the Red Light District except by location.

The Bertagnoles have no interest in restoration or repair and desire demolition or relocation; allowing them to sell a reasonable sized property for condominium development, copacetic with its surroundings and get a reasonable return on their investment of time and energy over the last 34 years of effort toward that outcome.

History of the structure: Summary of Building Development

According to documents archived by the Utah Bureau of Land Management and the United States Department of the Interior, we find the following:

"We are confident that George Thompson, the original occupant of the land in the Spring of 1902, built his home at the site believing that the land belonged to one of the mining companies of the day and probably with the permission of the mining company, as was the custom of the time in Park City."

"In the Park City area, many of the houses were built upon mining company property or claims. This was an accepted practice as the mining companies were interested in the mineral under the land and not the surface of the land. They needed miners and miners needed a place to live, so the companies allowed the miners to build houses upon their mine property."

The structure was first occupied in the Spring of 1902, when George Thompson built a "two room frame dwelling house" thereon."

George Thompson, had no deed and was not taxed from 1901 to 1904. When George and Elizabeth Thompson sold the property to Sven and Hannah Bjorkman in 1904, a Quit Claim Deed was created:

(Entry No. 12390) **THOMPSON**
QUIT-CLAIM DEED. **to**
BJORKMAN

George and Elizabeth Thompson, his wife,

grantors of Park City, County of Summit, State of Utah, hereby
Quit-Claim to Sven and Hannah Bjorkman

grantees
of Wasatch County, State of Utah for the sum of Sixth (60.00) DOLLARS,
the following described house and tract of land in Park City, Summit County, State of Utah:

That certain Two (2) room frame dwelling house being and situated on the Southerly side of what is known as Hobers Road in Park City, Utah and in what is commonly known as Deer Valley said premises being situated between the dwelling house of Fred Hillstrom on the North and the Union Pacific Railroad Tracks, comonly known as the "High Line on the South together with all the improvements, outbuildings, stables and appurtenances thereunto belonging and usually had and enjoyed therewith; together with all the rights, title, claim and interest of the said grantors, of, in and to the lands upon which said dwelling and buildings are situated;

And being the same dwelling house erected by the said grantors in the spring of 1902 and occupied by them as a residence since said time.

Witness, the hand & of said grantors, this 27th day of July A. D. 1904.

Signed in the presence of
J. H. Lockhart as to mark of } Elizabeth Thompson
George Thompson } his
 } George Thompson
 } mark

State of Utah, }
County of Summit } ss.
On this 27th day of July A. D. 1904
personally appeared before me George Thompson
the signer of the above instrument, who duly acknowledged to me that he executed the same.

Notary Swal James M. Lockhart
My commission expires February 8, 1908 Notary Public.

Filed for record Sept. 7th 1904 at 9 A. M. by J. M. Lockhart
F. H. Wright County Recorder.

(Abstracted in Park City Lots page 241)

History of Ownership:

The following is an unbroken chain of title for this structure from 1902 until 1981, when Bertagnoles bought the house from Harold E. and Mary Dudley:

| | PAYOR | | Levy | Payment | |
|---------|-------|--|------|-----------------|----|
| | 1901 | | | | 1 |
| | 1902 | George Thompson | | | 2 |
| | 1903 | | | | 3 |
| | 1904 | Bjorkman, Sven & Hannah | | | 4 |
| line 34 | 1905 | Wallberg, Ernest 6 th on Sec St. [Heber Road] | 1.25 | — | 5 |
| line 25 | 1906 | Wallberg, Ernest 6 th on Sec St Heber Ave | 1.44 | 1.44 | 6 |
| line 34 | 1907 | Hulmes, Willard | 1.54 | Ad | 7 |
| line 31 | 1908 | Hulmes, Willard 7 th house on Second Street Deer Valley | 1.77 | SALE | 8 |
| line 10 | 1909 | Hulmes, Willard 7 th house 2 nd St. Deer Valley | 1.80 | SALE | 9 |
| # 830 | 1910 | Hulmes, Willard 7 th house 2 nd St. Deer Valley | 1.70 | 1.70 subsequent | 10 |
| # 3108 | 1911 | Hojer, Carl 7 th house 2 nd St. Deer Valley | 1.90 | 1.96 | 11 |
| # 2602 | 1912 | Hojer, Carl 7 th house Reel Heber Ave 2 nd St. Deer Valley | 2.03 | 2.03 SALE | 12 |
| # 776 | 1913 | Hojer, Carl Heber Ave 2 nd St. 7 th house | 5.10 | 5.36 "subseq" | 13 |
| # 597 | 1914 | Hojer, Carl 7 th House | 5.93 | 5.98 subsequent | 14 |
| # 597 | 1915 | Hojer, Carl South Side Heber Ave & Second St. 7 th house | 3.03 | subsequent | 15 |
| # 607 | 1916 | Hojer, Carl South Side Heber Ave & 2 nd St. 7 th | 3.26 | 3.26 | 16 |
| # 708 | 1917 | Hojer, Carl 7 th house | 3.79 | 3.79 | 17 |
| # 749 | 1918 | Hojer, Carl 7 th house Southside Deer Valley | 5.36 | 5.36 | 18 |

"At some point between 1912 when he acquired the property, and 1918 when he disposed of it, Carl Hojer (also Hojer) **enlarged the house to four rooms.**"

| | | | | | | |
|--------|------|---|---|-----------------|--------------------------|----|
| #707 | 1919 | Simmons, Willis A | Deer Valley 7 house | 6.31 | 6.31 | 19 |
| 516 | 1920 | NOTE: SIMMONS, WILLIS listed in lot 12 BLOCK 10 of SA PLOT SIMMONS, WILLIS A House in near South side Deer Valley St | | 5.24 | 5.24 TAX 3.49 | 20 |
| 3 #847 | 1921 | | | 9.49 | 9.49 SALE | 21 |
| #534 | 1922 | Simmons, Willis A | 11th house South side, off Deer Valley St | 8.18 | 18.18 subsequent | 22 |
| #518 | 1922 | Simmons, Willis A | 11th South | 13.89 | 13.89 subsequent | 23 |
| #510 | 1924 | Simmons, Willis A | 11th | 19.17 | 19.17 subsequent | 24 |

PAYOR

| | | | | LEVY | Payment |
|----------|------|---|---------------------------------------|-------|----------------------------|
| 2 #518 | 1925 | Simmons, Willis A | 11th | 9.45 | 9.45 |
| #518 | 1926 | Simmons, Willis A | 11th | 12.81 | 12.81 TAX SALE |
| #525 | 1927 | Simmons, Willis A | 11th | 16.39 | 16.24 (correct) subsequent |
| #517 | 1928 | Simmons, Willis A | 11th | 18.18 | 18.18 subsequent |
| #516 | 1929 | L. F. ANDERSON | | 25.90 | 25.90 |
| #524 | 1930 | L. F. ANDERSON | 11th on So | 11.17 | 11.17 1936 |
| 546 | 1931 | Anderson, L. F. (C/o J. A. Johnson) | | 12.78 | 12.78 1931 |
| 522 | 1932 | Anderson, L. F. (C/o Sidney Farley) | | 12.06 | 12.06 1932 |
| #530 | 1933 | Anderson, L. F. (C/o Sidney Farley) | | 12.87 | 12.87 TAX SALE |
| #528 | 1934 | Anderson, L. F. (C/o Sidney Farley) | | 11.48 | 1.48 (10.06 adjustment) 39 |
| p37 1936 | | Anderson, L. F. (C/o Hazel Johnson) | | 5.42 | 5.42 subsequent |
| 506 | 1937 | Anderson, L. F. (C/o Hazel Johnson) | 11th | 5.41 | 5.41 |
| 38 | 1938 | Anderson, L. F. (C/o Hazel Johnson) | 11th | 5.59 | 5.59 TAX SALE |
| 500 | 1939 | Johnson, Harold | | 6.24 | 6.24 subsequent |
| #488 | 1940 | Johnson, Harold | 11th house | 4.64 | 4.64 subsequent |
| #484 | 1941 | Johnson, Harold | 11th house | 4.80 | 4.80 subsequent |
| p48 | 1942 | Johnson, Harold | 11th house | 12.27 | 12.27 subsequent |
| 48 | 1943 | " " | 11th " | 11.19 | 11.19 |
| 466 | 1944 | " " | 11th " | 10.95 | 10.95 TAX SALE |
| 472 | 1945 | Johnson, Harold | The 11th House S. side of Deer Valley | 11.69 | 11.69 subsequent taxes |
| 448 | 1946 | Harold Johnson | | 11.25 | 11.25 subsequent |
| 449 | 1947 | Johnson, Harold (C/o Mrs Lola Johnson) | | 12.25 | 12.25 subsequent taxes |
| 449 | 1948 | Johnson, Harold (C/o Mrs Lola Johnson) | | 12.71 | 12.71 subsequent taxes |
| #46 | 1949 | Johnson, Harold (C/o Mrs Lola Johnson) PC | | 13.11 | 13.11 TAX SALE |
| 449 | 1950 | Summit Co (L. F. Anderson) (EXT HPT) | | 11.48 | 11.48 TAX SALE |
| 539 | 1951 | Summit County (Lola Johnson) | 11th house on S. side of Deer Valley | 13.45 | 13.45 subsequent |
| 410 | 1952 | Summit County (Lola Johnson) | 11th house on S. side of Deer Valley | 13.45 | 13.45 TAX SALE |
| 539 | 1953 | Summit County | | | exempt (Ref Fip 114) |
| | 1954 | not listed | | | |
| | 1955 | Clarence R & Lola Jordan, PC | | 14.65 | 14.65 subsequent 36-1954 |
| | 1956 | Clarence R & Lola Jordan, PC | | 14.65 | 14.65 subsequent 1954-36 |
| | 1957 | Clarence R & Lola Jordan, PC | | 15.44 | 15.44 subsequent 1954-36 |

PAYOR

Levy

PAYMENT

| Year | Payor | Levy | Payment |
|------|---|--------|---|
| 1958 | Clarence R & Lola Jordan PC | 15.62 | 15.62 1954-36 <i>Delaware Submerged 58</i> |
| 1959 | Clarence R & Lola Jordan PC | 19.82 | 19.82 1957-79 <i>TV 59</i> |
| 1960 | Clarence R & Lola Jordan PC | 10.86 | 10.86 |
| 1961 | Clarence R & Lola Jordan, PC | 9.20 | 9.20 60 |
| 1962 | Clarence R & Lola Jordan, PC | 9.34 | 9.34 62 |
| 1963 | " " " Jordan PC | 9.21 | 9.21 62 |
| 1964 | Karl & Phyllis Gillett PC | 9.37 | 9.37 69 |
| 1965 | Karl & Phyllis Gillett, PC | 10.92 | 10.92 66 |
| 1966 | Karl & Phyllis Gillett PC | 10.99 | 10.99 66 |
| 1967 | Karl & Phyllis Gillett, PC | 11.08 | 11.08 67 |
| 1968 | Karl & Phyllis Gillett | 10.96 | — |
| 1969 | Karl & Phyllis Gillett | 10.87 | 10.87 |
| 1970 | Karl & Phyllis Gillett | 11.05 | — <i>Karl's</i> |
| 1971 | Karl & Phyllis Gillett | 11.19 | 11.19 |
| 1972 | Karl & Phyllis Gillett | 21.35 | — |
| 1973 | Harold E & Mary Dudley, PC | 21.25 | 21.25 |
| 1974 | " E " " | 22.85 | 22.85 |
| 1975 | Harold E & Mary Dudley | 23.64 | 23.64 |
| 1976 | ↑ ↑ | 32.50 | 32.50 |
| 1977 | Harold E & Mary Dudley | 23.52 | 23.52 |
| 1978 | Harold E. & Mary Dudley PC (#632 Deer Valley) | 22.30 | 22.30 |
| 1979 | " " " " | 21.91 | 21.91 |
| 1980 | " " " " | 112.08 | 41.37 millevy 112.08 |
| 1981 | Bertagnole, Wm. T c/o Madeline Smith | 380.87 | 69.65 millevy 380.87 |

The following quit claim deeds show the evolution of the two room historic form transitioning into the four room structure.

Sven Bjorkman Hannah W. Bjorkman Ludwig Hoger
~~Sven Bjorkman and Hannah W. Bjorkman, his wife~~, of Daniels, Wasatch County, Uta.
 formerly of Park City, Utah, hereby convey and quit-claim to ~~Carl Hoger~~ Grantee, of Pa.
 City, Summit County, Utah, for the sum of Twenty-five Dollars, the following described pre-
 mises in Park City, Summit County, State of Utah, to-wit:--

That certain 2 room frame dwelling house being and situated on the southerly side of what is known as Heber Road in Park City, Utah, and in what is commonly known as Deer Valley, said premises being situated between the dwelling house of Fred Hillstrom on the North and the Union Pacific Railroad tract, commonly known as the "High Line" on the South, together with all the improvements, outbuildings, stables, and appurtenances thereunto belonging, and usually had and enjoyed therewith; together with all the right, title, claim and interest of the said grantors of, in and to the lands upon which said dwelling and buildings are situated; The said premises being the dwelling house erected by one George Thompson in the spring of 1902, and occupied by him as a residence until it was conveyed by him to this grantor on July 27th, 1904.

In witness whereof the grantors above named have hereunto set their hands this 30 day of April; A.D.; 1908

QUIT CLAIM DEED. 1912

DEED NO. 216001

Ludwig Hoger to Carl Hoger

~~Ludwig Hoger~~, grantor of Park City, County of Summit, State of Utah, hereby QUIT CLAIMS ~~the same~~ premises of the same place, for the sum of FIFTY AND NO/100 DOLLARS, the following described house and tract of land in Park City, Summit County, State of Utah:

That certain two room frame dwelling house being and situated on the southerly side of what is known as Heber Road in Park City, Utah, and in what is commonly known as Deer Valley, said premises being situated between the dwelling house of Fred Hillstrom on the north and the Union Pacific Railroad track on the south, together with all the improvements, outbuildings, and appurtenances thereunto belonging and usually had and enjoyed therewith, together with all the right, title, claim and interest of the grantor of, in and to the lands upon which said dwelling and buildings are situated.

WITNESS, the hand of said grantor, this 18th day of January, A.D. one thousand nine hundred and twelve.

QUIT CLAIM DEED 1918

DEED NO. 28796

Carl Hoger to Willis A. Simmons

~~Carl Hoger~~, grantor of Park City, County of Summit, State of Utah, hereby Quit Claim to ~~Willis A. Simmons~~ grantee of the same place, for the sum of Four Hundred and no/100 (\$400.00) Dollars the following described tract of land and house in Park City, County, State of Utah

That certain four room frame dwelling house being and situated on the southerly side of what is known as Heber Road in Park City, Utah, and what is commonly known as Deer Valley, said premises being situated between the dwelling house of Fred Hillstrom on the north, and the Union Pacific Railroad track, commonly known as the "High Line" on the south; together with all the improvements, outbuildings, stables, and appurtenances thereunto belonging and usually had and enjoyed therewith; together with all the right, title, and interest and claim of the said grantor of, in and to the lands upon which said dwelling and buildings are situated, and as now enclosed, said premises being the house erected by the grantor herein, and being the ground upon which was erected a house by George Thompson in the spring of 1902, and occupied as a residence until it was conveyed to this grantor.

WITNESS, the hand of said grantor this 5th day of July, A. D. one thousand nine hundred and eighteen.

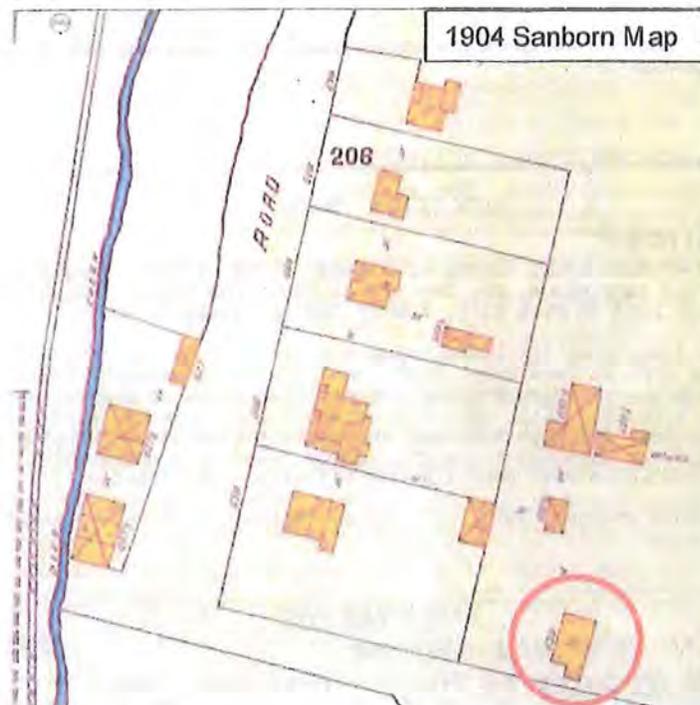
1. 1908: The "certain two room frame dwelling house" passes from Sven and Hannah Bjorkman to Ludwig Hoger.
2. 1912: Ludwig Hoger Quit Claims the two room structure to Carl Hoger.

3. 1918: Carl Hogar sells to Willis A. Simmons that certain **four room** frame dwelling house.

History of the Structure: Summary of Building Development

Quote from HPB November 13, 2013, Staff Report, p. 20:

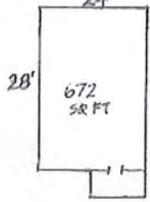
The residential structure constructed at 632 Deer Valley Loop was originally built circa 1900. The 1900 Sanborn Fire Insurance maps did not include this portion of Park City as it was outside the dense development of Old Town. The structure first appears in the 1904 Sanborn map, however, as seen below, circled in red:



It is the **two room form** shown on the 1904 Sanborn map and not the larger 4 room shape apparent on the 1927 Sanborn map. The 1927 map actually shows the later addition of two rooms to the front of the miner's shack with a new front door on the North. The staff report mistakenly identifies the original miner's shack as an addition. The west side entry was not part of the back addition, (as stated in the Staff Report, p. 21), but is the original main entrance to the miner's shack. It was enclosed for a mud room and utilities in 1969, at the same time the rear addition finally obscured the original back wall of the miner's shack on the South, which is the modified form we see today.

1927 SANBORN

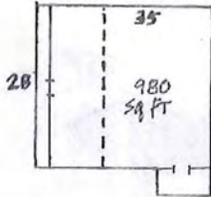
1902
HISTORIC FORM
24'



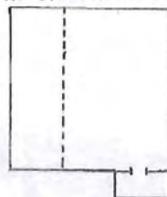
1904
SANBORN
MAP



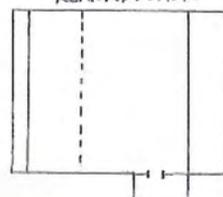
1930s
TAX PHOTO
FRONT ROOMS, PORCH
NORTH ENTRY



1941
SANBORN MAP
NO PORCH (INACCURATE)



1969
TAX CARD
REAR ADDITION



Determination of Significance: Finding of Fact: Correcting the Record



1930's photo

The Bertagnoles take exception to the Historic Preservation Board's Determination of Significance **Finding of Fact** as follows:

Fact #3 (pg. 26)

"The existing structure has been in existence at 632 Deer Valley Loop since circa 1900.

Incorrect. The structure in the photo above is the four room structure built by Hogar in 1918.

"The structure appears in the 1904 and 1927 Sanborn Fire Insurance maps."

Incorrect. The structure in the 1904 map is the miner's shack. The 1927 map shows the 'add-ons' which compose the structure shown in the photo.

"Furthermore, the Historic Site Form contains tax cards of the structure from 1949, 1958, and 1969."

The information on the tax cards cannot be trusted. Those who filled out the cards transferred inaccurate information from year to year without measuring or updating changes. It was not until 1969 that the notations actually described the structure accurately.

"A late 1930's photo demonstrates that the overall form of the structure has not been altered."

Incorrect. It is the Essential Historical Form of the two room miner's shack, built by George Thompson, that appears on the 1904 Sanborn map, not the structure we see today. The structure we see today is the compilation of additions to the Essential Historic Form of the two room miner's shack, added on between 1912 and 1918 by Carl Hogar, which completely obscures the two room shack, lost inside the form we see today. It does not "demonstrate that the overall form of the structure has not been altered".

Fact #4:

"The Hall and Parlor structure and later rear addition were both constructed within the Mature Mining Era (1894-1930) and are historic."

On the 1968 tax card the rear addition shows up for the first time on the south, (back) wall of the building as a 60 sq. ft. addition, well past the Mature Mining Era. What has been mistakenly assumed to be a rear addition on the 1927 Sanborn map, is actually the original footprint of the back wall of the miner's shack. The change in form is the result of adding two rooms to the front, not an addition to the rear.

The location of the west porch, which was mistakenly assumed to have been moved to the back when the rear addition was added on, has actually always stayed where it was as the main entrance to the shack, and was never moved. The change of shape shown in the 1927 map is due to the addition of two rooms on the front of the building, expanding the structure to the north.

It is reasonable to assume the front porch, with railings and stairs, was actually built by Carl Hogar at the same time he made the front door, (1912 - 1918), otherwise, one could not access entry through the front door, as it sits around 6ft. above grade.

Although the 1933 tax photo clearly shows the front porch, for some reason, the addition of the porch does not appear on the tax cards until 1949.

Fact #11:

"The rear addition to the structure, dating to prior 1927, was severely damaged in a fire on May 17, 1999."

The rear addition was added in 1972, not before 1927, as per evidence of a sharp rise in taxes from \$11.19 to \$21.35 in 1972. The fire definitely damaged the rear addition as well as the remaining back wall and ceiling of the Essential Historic Form miner's shack. After the fire in 1999, the Bertagnoles were no longer able to collect \$800 each month in rent. Bertagnoles solicited bids from local builders for repair of the building. Bill Bertagnole remembers meeting with then Building Inspector, Ron Ivie, at the site, to inspect the damage. Ivie determined the building to be a Hazardous building, too dangerous to repair, and condemned it for demolition. Bill was ordered by the Park City Municipal Corporation not to try to repair the structure.

Meanwhile, Bertagnoles were engaged in a long running, (34 year) legal battle with the BLM which owned the ground it sits on, to allow him to buy the land so he could then demolish the structure and sell the property for development. If he demolished the building during the legal battle he would lose his rights to the ground and would destroy his evidence of good faith in having paid taxes on the structure for 19 years up to that point. Because the City would not

allow the Bertagnoles to repair the structure, another 15 years of exposure to the elements, animal habitation, squatters and vandalism have deteriorated the structure beyond repair. There is alternative for the Bertagnoles but to tear it down.

Development of Structure: Physical Evidence of Two Room Miners Shack:

A close examination of materials in the structure clearly reveals evidence of three distinct periods of development:

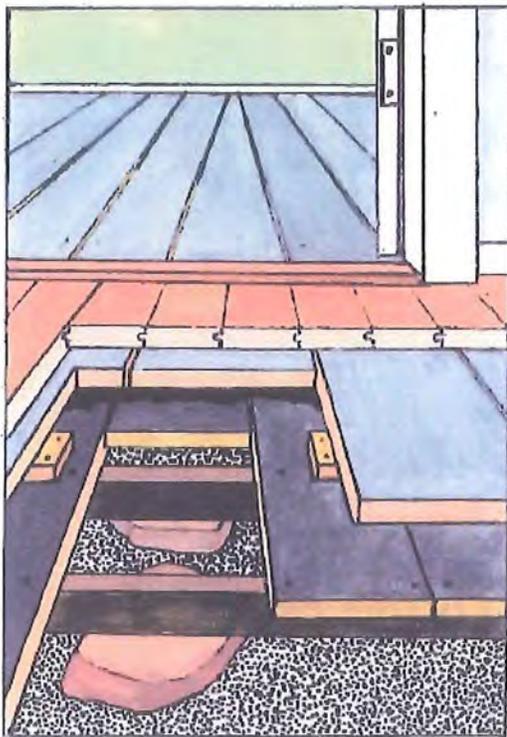
(1) The Two room miners shack built 1902: The west (side entry) door is the original door to the 12'X24' shack. The door opens into the 12' X 12' kitchen with the remnants of a brick chimney in the northeast corner. A center door on the east wall of the kitchen opens into a 12 X 12" bedroom. Both rooms share the oldest wood floor and a second wood floor. The kitchen has three layers of flooring, the oldest 3/4" X 9" (varying) planks, the middle floor of 3/4"X 12" planks, and the latest of tongue and groove fir installed with a major remodel in 1972. The kitchen has 8 layers of floor coverings with alternating layers of 3 types of linoleum with newspapers from 1965 and 1972 in between, and topped newer tongue and groove fir under two layers of carpet. The walls in the bedroom have 12 layers of covering over 12" horizontal plank walls; the earliest dating from cardboard and newspaper from 1933, then 4 layers of wallpaper, a 1947 newspaper , 3 layers of wallpaper and , finally, sheetrock and paint.

(2) The Four room form, 1912-1918: Two room front addition: The front two rooms (on north), have three layers of wall covering over varying sizes of horizontal planks:(1) cardboard backed wallpaper under (2)sheetrock under (3) vertical wood paneling. There is (1) floor of 3 1/2" tongue and groove, (2) linoleum and (3) carpet. These remnants indicate a much longer period of occupation in the original two rooms than in the later front addition.

(3) The rear (south) addition in 1972: Mostly destroyed in the fire of 1999.

Development of Structure: Physical Evidence: of the Two Room Shack:
 2 ROOM KITCHEN-BEDROOM FLOOR

2 ROOM MINERS SHACK



← TONGUE & GROOVE

← MIDDLE FLOOR
 ← BOARDS SPAN
 2 ROOMS

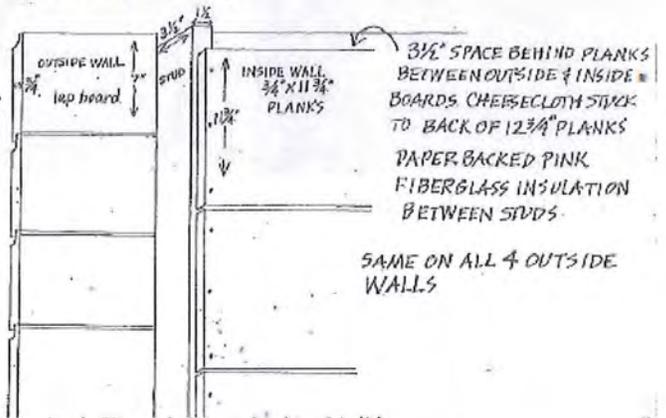
← 3/4" X 3/4" SPACERS
 ← OLD FLOOR

← 1 3/4" X 3 3/4" JOISTS

← ROCKS
 ← DIRT



OUTSIDE WALLS



BEDROOM WALL COVERINGS



KITCHEN FLOOR COVERINGS

2 ROOM MINERS SHACK KITCHEN FLOOR COVERINGS

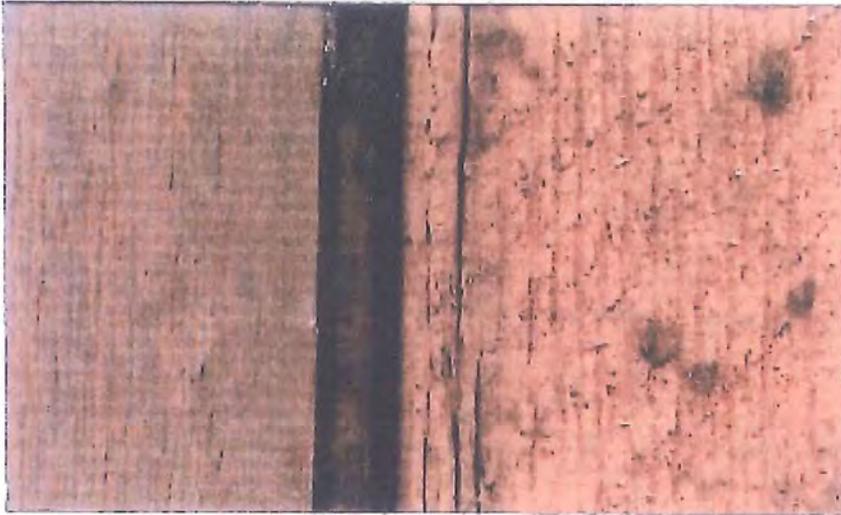


Development of Structure: Physical Evidence: of the Two Room Shack

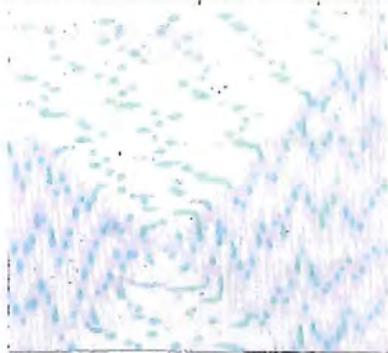
LIVING ROOM FLOOR

TOP OF FIR

BOTTOM OF FIR



1. FIR TONGUE AND GROOVE 3/4" X 3 1/2"



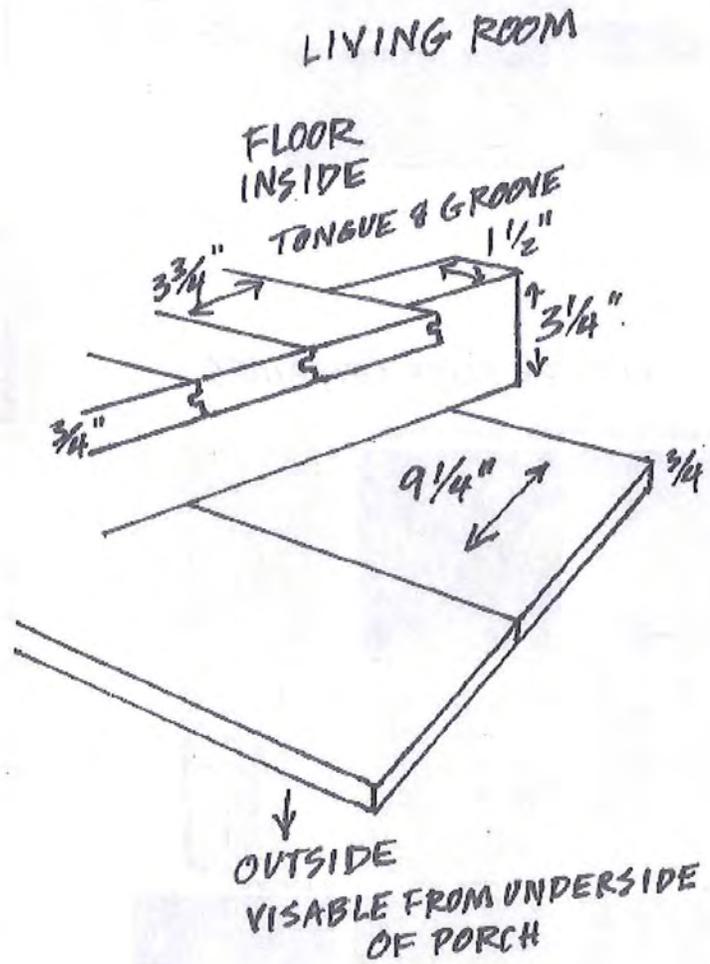
2. LINOLIUM



3. RUG PAD



4. CARPET



(The following four pages consist of Baird Smith's letter to the Historic Preservation Board, dated February 12, 2014):

Baird M Smith, FAIA, FAPT
7223 Ludwood Court
Alexandria, VA 22306

12 February 2014

Historic Preservation Board - Park City
445 Marsac Ave.
Park City, Utah 84060

RE: 632 Deer Valley Loop

Dear Board Members,

Very briefly I want to give a little of my background and basis for making some comments regarding the historic designation recently placed on the above referenced property. I was born and raised in Salt Lake and then completed my architectural degree at the University of Utah in 1971. I was then drafted into the US Army and I was very fortunate to be stationed in our Nation's capital where I've remained since that time. From that point on, I became very interested in historic buildings because of the rich heritage in the mid-Atlantic area and began what has now stretched through four decades as a specialist in architectural preservation and preservation technology.

I have visited Park City off and on over the years and have been proud to witness the preservation work and the accomplishments in the balancing act between preservation of the old and fostering new development. I've been happy to funnel historic preservation materials to my older sister, Patricia, to aid in her work in Park City. During my most recent visit in mid-November of last year, we again toured the roads and lanes in Park City. She described the situation of her dear friends, the Bertagnoles, and their property on Deer Valley Loop. We toured the site and I was quite disturbed to hear of the recent actions of the HPB and offered to provide support where I could, hence this letter.

I was most disturbed that this building could be considered "historic" when compared to the overall stock of the older Park City buildings, and have urged the Bertagnoles to appeal the Nov. 13 determination and for my part, I provide the following:

Determination of Significance" - a counter argument

1. Applying the criteria for designating sites found in the Land Management Code to this property does not provide a complete analysis. At first glance, the criteria seem very typical and pretty much come straight from the similar Federal guidelines, with one very notable exception, there appears to be no consideration for the "context" or "setting" of the resource. This is a criteria to measure the integrity of the resource regarding the broader context of the surrounding historic buildings, site and landscape features. In discussing this with my sister Patricia, who participated in the official documentation for the three historic districts, it's clear that "context" did not need to be addressed in the early years because each of the designated historic districts was formulated to incorporate all the known resources. Historic "context" could be assumed, hence, it's not included as one of the criteria. This property is well outside the historic districts, and hence, it would be appropriate to expand the review criteria to include "context" and "setting."
[Please see attached page 2 from a National Register Bulletin entitled, "Defining Boundaries for National Register Properties," 1997.]
2. The historic "context" for this property has been entirely lost. The loss of context and setting are easily supported by a comparison of the number of buildings indicated on the Sanborn Maps included in the Nov. 13 staff report for this property. Please note that in the #1 map, there are a total of fourteen structures identified in the immediate vicinity of the subject property. This number decreases to eight by 1927 and now stands at only four. If the criteria of "context" is applied to this property, I don't see how any historic preservation professional can disagree with the fact that its historic context is lost.
3. The historic landscape features are lost. A brief analysis of the historic photograph of this property and a comparison to current conditions clearly indicates that virtually all of the historic landscape features are lost. This includes the fence, rock wall, plantings and outbuildings. A detached house such as this becomes pretty "nude" without the contextual landscape features. There is also now a modern intrusion to the immediate vicinity in the form of an adjacent roadway.

4. This property is a buck tooth in the remaining precinct. This building clearly is an outlier to the remaining three adjacent older buildings. It would be very hard to make the case that this building (red circle below), when considered with the other three, actually adds to the ensemble. It's an ugly buck tooth and it's preservation does not achieve any higher goal in my mind.



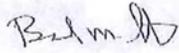
In the discussion above, I'm actually challenging the criteria included in the Land Management Code as being outdated. Use of these criteria would not provide a full evaluation of historic significance for buildings outside the established historic districts. I understand that a new comprehensive study of the historic resources is just beginning. Also, they will be updating the criteria to meet current Federal guidelines. I feel certain that a future evaluation of this property at that time with refined criteria would yield a finding of "no significance."

I've chosen to focus on what I consider limited criteria used in the designation of significance which I think by itself could cause the Board to overturn the earlier ruling. However, I understand that Patricia and the Bertagnoles have undertaken a focused examination of the building materials and condition of this structure and have some very interesting findings that raise important questions about the integrity of the older remaining materials. I concur with their findings and hope you'll give them serious consideration.

Lastly, if you will permit me an editorial comment. Park City is not alone in trying to address the preservation challenges of the 21st century. It is no longer enough to just establish that a building is old. I feel strongly that if preservation is mandated there must be a significant public benefit derived from the action. When this is the case, we are preserving and enhancing our cultural heritage. However, in some cases, when a building is remodeled and then upgraded, it is so altered that there is little or no measurable benefit to the preservation of resources. I'm afraid that would be the case if the significance ruling holds for the property at 632 Deer Valley Loop. Once this building is repaired and brought to code, and the building and site are improved to meet current life-style requirements, the historic fabric will be lost and unrecognizable. No historic preservation benefit will accrue to the public.

Thank you for your time and allowing me to participate in this manner.

Cordially,



Baird M. Smith, FAIA, FAPT
703-303-4075
cc: Bertagnole, P. Smith

An Argument for Integrity:

Park City Design Guidelines: 2009

The main body of information in Bertagnole's appeal deals with meeting criteria as presented in the Land Management Code regarding local Determination of Significance.

In conclusion, we would like to review **Park City's Design Guidelines**, which provide an overview of our agreed upon preservation philosophy in Park City:

"...the design guidelines are intended to fulfill the policy directives provided by the general plan and the Land Management Code."

Purpose of the Design Guidelines:

"For the Planning Department staff and the Historic Preservation Board, it offers a framework for evaluating proposed projects to ensure that decisions are not arbitrary or based on personal taste."

"...they provide applicants, staff, and the Historic Preservation Board with a foundation for making decisions and a framework for ensuring consistent procedures and fair deliberations."

Park City Design Guidelines: Historic Preservation Theory

Historic Preservation theory centers on two important principles:

Historical Significance and Integrity

The concept of Historical Significance:

In Park City, a site may be considered historic if:

- It is at least fifty years old,
- It is associated with events or lives of important people in the past,
- It embodies distinctive characteristics of type, a period, or construction method, or is the work of a notable architect or craftsman.

The concept of Integrity:

In addition to the historical significance, a property must also have **integrity**.

Integrity can be defined as:

"The authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic period."

In the Historic Site Form- Historic Sites Inventory, Park City Municipal Corporation, October, 2008, 632 Deer Valley Loop is described as follows:

p.1, Item 4. Architectural Description & Integrity:

Building Type and/or style: Rectangular or "Hall-Parlor House

Comment: The original two room structure was a Miner's Shack, altered and added onto to resemble the hall-parlor style we see today.

Additions: minor, **Alterations:** major

Comment : More than 50% of the Hall-parlor form is actually additions. the structure is a compilation of additions and alterations.

p 2: **Builder:** Not known

Comment: We now know there were three stages to the development of the structure we see today: builders were George Thompson,1902; Carl Hogar, 1918; and Karl and Phyllis Gillette,1972.

p 3: **General condition of exterior materials:** Poor: major problems are apparent and constitute an imminent threat: Vacant. Slightly sagging roofline, missing shingles, boarded up and exposed window openings, unkempt property, staggered and missing boards along porch foundation, peeling paint, and missing sections of roofline gutters and boards.

Comment: Correct. We agree.

Materials: Foundation: Not visible and therefore material cannot be verified.

Comment: Actually there is no foundation. The front two room addition structure rests on a large telephone pole supporting the floor joists and the original back two room joists rest on flat rocks on the ground.

Walls: Vertical wooden boards, wooden trim, decorative metal porch supports, (no railings).

Comment: Actually, the exterior walls have three layers of material on the north, east and west sides; horizontal 7" X 3/4" drop-novelty wood siding, covered by Bricktex, which is then covered by manufactured vertical 4'X8' sheets of fake wood paneling. The back wall was destroyed with the rear addition and fire.

Roof: Undetermined shingle material (asphalt?) with metal cap endings along roofline edge.

Comment: Actually the top layer material is patterned asphalt shingles on top of an earlier layer of asphalt shingles over tar paper.

Windows: Collaboration of picture windows, aluminum single hung windows, and window openings, (windows missing).

Comment: The original double hung wood windows are lost. The existing front windows are aluminum trimmed stationary plate glass and the side windows are single hung aluminum. Remodeled by Karl and Phyllis Gillette in 1972, along with the addition to the rear on the south and a change of floor coverings in the kitchen.

Essential Historical Form: Retains.

Comment: Given the fact that the form we see today is the result of alterations and additions to the original two room structure, the Essential Historical Form has not been maintained and does not now exist.

Location: Original Location.

Comment: We agree.

Design: (the combination of physical elements that create the form, plan, space, and style. Describe additions and/or alterations from the original design, including dates-known or estimated- when alterations were made):

Building card indicates side room addition between 1949-1969. Siding is not likely original, neither are porch supports. The window configuration on the primary facade is also not typical of early mining era homes and is not likely original.

Comment: The original design of the structure is the two room miners shack built in 1902. The addition of two more rooms on the front, (north), occurred between 1912 and 1918. The addition on the back, (south), occurred in 1972.

Setting (The physical environment- natural or manmade of a historic site. Describe the setting and how it has changed over time):

Structure built on a sloped building lot above the roadway. Surrounding grounds and property unkempt and overgrown with naturally occurring grasses and terrain. Narrow building lot surrounded by what appears to be newer multifamily housing developments.

Comment: An overview of the setting through time reveals that the historic context of this building has been entirely lost. This finding is easily supported by a comparison of the segments from the Sanborn maps included in the Nov 13 staff report for this property. Please note that in the 1904 map, there are a total of 14 structures identified in the immediate vicinity of the subject property. This number decreases to 8 by 1927 and now stands at only 4. The historic landscape features are lost. A brief analysis of the historic photograph of this property and a comparison to current conditions clearly indicates that virtually all of the historic landscape features are lost. (This includes the fence, rock wall, plantings and outbuildings.)

Workmanship (The physical evidence of the crafts of a particular culture or people during a particular period in history. Describe the distinctive elements):

The physical evidence from the period that defines the typical Park City mining era home- simple methods of construction, the use of non-beveled (dropnovelty) wood siding, plan type, simple roof form, informal landscaping, restrained ornamentation, and plain finishes- have been altered and therefor, lost.

Comment: We agree.

Feeling (Describe the property's historic character.):

The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth century and early twentieth centuries.

Comment: We agree.

Association (Describe the link between the important historic era or person and the property.):

The Hall-Parlor house form is the earliest type to be built in Park City and one of the three most common house types built in Park city during the mining era.

Comment: Of the over 400 historically significant dwellings in Park City, this is one that has lost its integrity forever and would serve no purpose to restore.

Design Guidelines, Park City Municipal Corp.

“Another way to look at a site's integrity is to ask, “Would the person who built the structure still recognize it today?” Generally, the majority of the structure's materials, structural system, architectural details, and ornamental features, as well as the overall mass and form must be intact in order for a building to retain its integrity.”

From Park City's Design Guidelines, 2008

Approach to Historic Sites:

Begin by evaluating the character of the site. What changes have been made to the site and its structure over time and were changes made during the historic period or later?

The structure has three building periods: (1) 1902, (2) 1912-1918, (3) 1972. The changes have been explained previously in this report. Two changes took place within the historic period, one addition in 1972.

Have windows been blocked or added, have additions been constructed, has the original plan been altered?

Yes.

Then, the architectural integrity and physical condition of the property should be assessed.

Are historic features hidden behind other materials?

Yes.

Are there physical problems that could lead to structural failure?

Yes.

Is there damage to materials that will require repair?

Yes.

If the materials cannot be repaired, can they be replaced in-kind?

Not likely and certainly not for any reasonable price.

Considered in the light of these basic questions regarding the structure's integrity, or loss thereof, this structure clearly **does not retain its original integrity** and **is not worthy of a determination of significance** as defined in Park City's Historic Preservation Theory as put forth in the Design Guidelines.

Given the new research presented in this report, it is clear the HPB erred in some of its findings and was incorrect in many factual matters regarding the structure. The Determination of Significance of the 632 Deer Valley Loop property was legally and factually incorrect.

The following statement is made on page 7 of the Historic Preservation Board's Staff Report to the Board of Adjustment, February 19, 2014:

"The structure at 632 Deer Valley Loop was once part of the larger Red Light District. Many of the structures that once made up this neighborhood have been lost; however, four (4) remain in close proximity to one another- 632 Deer Valley Loop; as well as 622, 652, and 660 Rossie Hill Drive. The relationship between these four (4) houses demonstrates the density of the Red Light District and this neighborhood that existed just outside the congestion of downtown."

The relationship between these four houses is weak: (1) as 632 sits above and alone on the hillside and has lost its context, as have the three remaining structures on Rossie Hill Drive which are obviously very different architecturally and obviously physically separated from the 632; (2) There is no evidence of "the Trade" taking place at any of these four houses, occupied by hard working families, and their connection to the Red Light District is by location only.

As it is, 632 will undoubtedly be surrounded on all sides by condos, eventually obscuring the structure from view from the public right of ways; a poor use of preservation dollars.

CONCLUSION:

We are requesting that the file on 632 Deer Valley Loop be re-evaluated by the Historic Preservation Board in the light of new findings of fact and hopefully come to a determination of non-significance for this structure.

Sincerely,

William T Bertagnole, Juli M Bertagnole 3/28/14
Bill and Juli Bertagnole, Owners of 632 Deer Valley Drive

Patricia E. Smith
Patricia E. Smith, Preservation Consultant

Research Sources:

Bureau of Land Management; U.S. Department of the Interior; Summit County Courthouse; Park City Historical Society; Park City Museum Library; Park City Library; the Park Record; Utah State Historical Society Library; Of Moths and Miners, Gary Kimball; Doris Webster LaFay, (interview); Worth Their Salt, Colleen Whitley; Treasure Mountain Home, Fraser Buck; Diggings and Doings, Raye Ringholtz; The Giddy Girls of Deer Valley Gulch, Lodestar, Vol.7, #2, Summer,1984, David Hampshire; A History of Summit County, David Hampshire, Martha Sonntag Bradley, Allen Roberts:

Board of Adjustments

Council Chambers – City Hall

April 15, 2014

NOTE: The recorder did not work properly for the duration of this meeting. These notes have been compiled to the best of staff's ability.

Recorder Notes by Makena Hawley

Board Members: Richard Miller (RM), Hans Fuegi (HF), Ruth Gezelus (RG), Jennifer Franklin (JF), Mary Wintzer (MW), Steve Joyce (SJ) –(Liaison) - Quorum

Staff: Anya Grahn (AG), Thomas Eddington (TE), Polly Samuels McLean (PS), Makena Hawley (MH)

Meeting Called to order at 5:06 PM

ROLL CALL

All Members are present and accounted for.

ADOPTION OF MINUTES FROM MARCH 18, 2014

MOTION: HF moved to approve

VOTE: Seconded by MW

ADOPTION OF MINUTES motion carried unanimously

PUBLIC COMMUNICATION

None

STAFF/BOARD DISCLOSURES

TE- None

MW- I will be recusing myself because of a personal and business relationship with this applicant.

TE- 333 Main affordable housing. In response to a request for information at the last meeting there is no requirement for affordable housing at this site. The original approval of this building did not require such.

REGULAR AGENDA

RG -632 Deer Valley Loop – Appeal of Historic Preservation Board’s determination of historical significance of the site.

AG- Identified as a significant site in 2009, applicants have been fighting with The Bureau of Land Management (BLM) for years. The Bertonelis obtained ownership of the historic house. Was the building really significant? The staff was then tasked with doing background research

Staff made a determination on that the site was indeed a historic site and should remain on the Historic Sites Inventory (HIS). This determination was appealed to the Historic Preservation Board (HPB).

The HPB reviewed it, and agreed with staff’s determination – The site and structure are historic.

PS provided information for clarification at the time of the appeal.

PS- The applicants have submitted a report that was not heard by the HPB.

Appeals to the HPB can be heard by the Board of Adjustments stated in the LMC. This body may consider it but if you view the newly provided report the BOA could remand back to HPB to be heard again with this new information in hand. If you believe the information contained in the report is not substantial, you may consider this info and hear the appeal tonight.

AG – What would you all like to do? While I find their efforts towards the research commendable, I don’t personally think that it has relevance and the appeal should be heard tonight..

Bruce Baird (Applicant) - We would request it be remanded to the HPB –My clients didn’t understand the meeting with the HPB, they weren’t prepared. They want to return to HPB more prepared. If everyone agrees, we would like to return to HPB.

RM- I would like to speak to that. The HPB probably has more expertise in this type of decision. I’m not sure how carefully we have to step around this line as far as introducing new evidence. I think what they presented is different from what the HPB heard. I have no problem sending this back to HPB.

HF – New facts, are noted; after reading through the report again, I think the HPB would be interested in reviewing this report again. They are the experts here, more so than us. I think there is a lot of material that HPB has not yet heard.

JF – I agree that the amount of research here justifies sending this back to the HPB

RG – Should I open for public hearing?

PS- Not necessary.

RM- If they go back to HPB and they rule that it’s significant; do they still have the opportunity to appeal again here at the BOA?

PS- Yes. You are not taking a position on this appeal at this time. Your decision tonight is simply whether to remand back to HPB.

RG- May I have a motion?

RM- I move to remand the appeal back to HPB to look over the new evidence properly.

HF – Seconded.

MOTION CARRIED UNANIMOUSLY.

Meeting adjourned at 5:18 PM

DRAFT



Historic Preservation Board Staff Report

Application #: PL-13-02117
Subject: Carl Winters School Remodel and Addition – Park City Library
Author: Ryan Wassum, Planner
Department: Planning Department
Date: May 21, 2014
Type of Item: Design Review

Topic:

Project Name: 1255 Park Avenue – Park City Library & Education Center
aka Carl Winters School
Applicant: Park City Municipal Corporation,
Matt Twombly - Sustainability Department
Owner: Park City Municipal Corporation
Reason for Review: Design Review participation as directed by City Council

Proposal:

Land Management Code Section 15-11-6(A) allows for the Historic Preservation Board to “Participate in the design review of any City-owned projects located within the designated Historic District” when directed by City Council. City Council requested the HPB’s participation at their September 5, 2013 meeting.

Background:

The library is the highest rated community service provided by the City and is an essential element to Park City’s small town character and sense of community. In order to preserve Park City’s long tradition of offering top notch library service the facility and services must keep up with current trends and the changing needs of the community.

On March 28, 2013 the City Council agreed on a scope and budget for an expanded Carl Winters building. The scope included:

- Interior renovation and expansion of the library into all of floors one and two;
- Interior renovation of the third floor for flexible community space and Park City Film Series (PCFS). This community space is anticipated to be used in the short term to house senior center functions and support community activities during off hours, including pre and post function to the Santy Auditorium
- An added, single-story entry sequence to the library at the north façade;
- A two-story addition at the northwest corner providing added function, flexibility and consolidation of services, and

- Modifications of the 1992 addition to expose the original historic structure on the south, west, and north facades

Extensive public process has taken place to date, to include the 2008 Citizen Satisfaction Survey, the 2012-2014 Library Strategic/Work Plan, Public input survey and dot polling results of current library project.

On September 5, 2013, the City Council directed the Historic Preservation Board (HPB) to participate in the design review of the Carl Winter's School remodel and addition as allowed in 15-11-6(A) of the Land Management Code (LMC).

On December 19, 2013, the City council asked Sustainability staff to explore additional sites for a standalone, new library building.

On January 9, 2014 City Council reviewed possible options and cost estimates. On this date Council came to consensus on:

- Commit to an adaptive reuse of the historic Carl Winters building to demonstrate commitment to historic preservation;
- Highlight the library as the centerpiece of the Lower Park Avenue (LOPA) neighborhood redevelopment and anchor tenant in the building, and
- Prioritize retaining the historic fabric of the building before energy efficiency (retaining the barreled and coffered roof versus removing roof and building a more energy efficiency roof system)

Library Expansion Summary

The Library and Education Center expansion consists of a 2,400 square foot footprint addition (to total 19,519 s.f. footprint) to the Carl Winters School Building. There was a previous 1992 approved Master Planned Development (MPD) for the Carl Winters Building. The project is located in the Lower Park Avenue (LoPA) neighborhood. The structure is zoned Recreation Commercial (RC), but the adjacent park to the north is zoned Recreation Open Space (ROS).

The applicant is proposing to renovate the existing building and construct a new addition. This new addition has a footprint of 2,400 square feet and will be built on the north elevation of the library is proposed, and significant changes will be made to the existing 1992 addition in order to create a comprehensive design. The new addition will provide additional space for the expanding Park City Library. Within the existing structure, the third floor will be remodeled as a temporary home for the Senior Center while still accommodating the Pre-School and Park City Film Series. In an effort to meet the growing demands for a twenty-first century library, the architects propose to also create a café within the new addition. In addition, the rehabilitation of the library will guarantee its continued use for master festivals, most importantly the annual Sundance Film Festival.

In order to proceed with the addition, the applicant submitted a plat amendment, an amendment to the MPD and a Historic District Design Review.

As required by the Land Management Code, The Planning Commission reviewed the Pre-MPD application on September 25, 2013 and November 11, 2013 and approved a Master Planned Development (MPD) amendment for this site on December 11, 2013. Any previous Conditions of Approval as noted in the MPD, etc. will continue to apply. The Planning Commission will review the related Development Agreement for this MPD amendment on May 28, 2014.

Further, a plat amendment for the Carl Winters School Subdivision located at 1255 Park Avenue was approved by City Council on January 9, 2014 and is in the process of being routed through the City for final review prior to recordation.

Historic District Design Review

On November 13, 2013, November 20, 2013 and March 19, 2014 the applicant/representative attended a Pre-Application Conference for the Historic District Design Review.

The Historic District Design Review (HDDR) application was submitted to the Planning Department and deemed complete on April 18, 2014. The required HDDR Public Hearing was held on May 1, 2014. A decision on the HDDR must be made according to Code no later than June 16, 2014.

Analysis:

The Historic Preservation Board is authorized by Section 15-11-6(A) to "Participate in the design review of any City-owned projects located within the designated Historic District" when directed by City Council. Staff is requesting the HPB review the Universal Guidelines listed below and provide comments regarding the new addition.

Universal Guidelines from the City's Design Guidelines for Historic Districts and Historic Sites:

1. A site should be used as it was historically or be given a new use that requires minimal change to the distinctive materials and features.
2. Changes to a site or building that have acquired historic significance in their own right should be retained and preserved.
3. The historic exterior features of a building should be retained and preserved.
4. Distinctive materials, components, finishes, and examples of craftsmanship should be retained and preserved. Owners are encouraged to reproduce missing historic elements that were original to the building, but have been removed. Physical or photographic evidence should be used to substantiate the reproduction of missing features.
5. Deteriorated or damaged historic features and elements should be repaired rather than replaced. Where the severity of deterioration or existence of structural or

material defects requires replacement, the feature or element should match the original in design, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.

6. Features that do not contribute to the significance of the site or building and exist prior to the adoption of these guidelines, such as incompatible windows, aluminum soffits, or iron porch supports or railings, may be maintained; however, if it is proposed they be changed, those features must be brought into compliance with these guidelines.

7. Each site should be recognized as a physical record of its time, place and use. Owners are discouraged from introducing architectural elements or details that visually modify or alter the original building design when no evidence of such elements or details exists.

8. Chemical or physical treatments, if appropriate, should be undertaken using recognized preservation methods. Treatments that cause damage to historic materials should not be used. Treatments that sustain and protect, but do not alter appearance, are encouraged.

9. New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the site or building.

10. New additions and related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored.

Process:

Following input from the HPB, the applicant will go back to City Council and present applicable feedback.

The HDDR application will continue to be reviewed by the Planning Director within the initial forty-five (45) day period. If the Director's decision is appealed, City Council may call-up any Final Action taken by the Planning Director for review by the Board of Adjustment (BOA) as allowed in 15-1-18(J) of the LMC.

Notice:

Legal Notice of this public hearing was posted on May 10, 2014 and published in the Park Record on May 8, 2014.

Public Input:

Prior to the HDDR application being submitted, Staff received a letter from a member of the public – Jim Tedford (Exhibit E) and the Utah Heritage Foundation (Exhibit F) regarding the project. Such letter from the Utah Heritage Foundation was requested to be sent by a member of the public. A public hearing for the HDDR application was properly and legally noticed as required by the Land Management Code. One

individual, Steve Swanson, attended and spoke at the public hearing. Mr. Swanson expressed concerns regarding the timeline of the project, the modern approach to the addition, removal of the 1990's addition and desire for additional design schemes, as well as, reference to a signed petition from multiple individuals who didn't feel they knew about the project.

Exhibits:

Exhibit A – Existing Survey

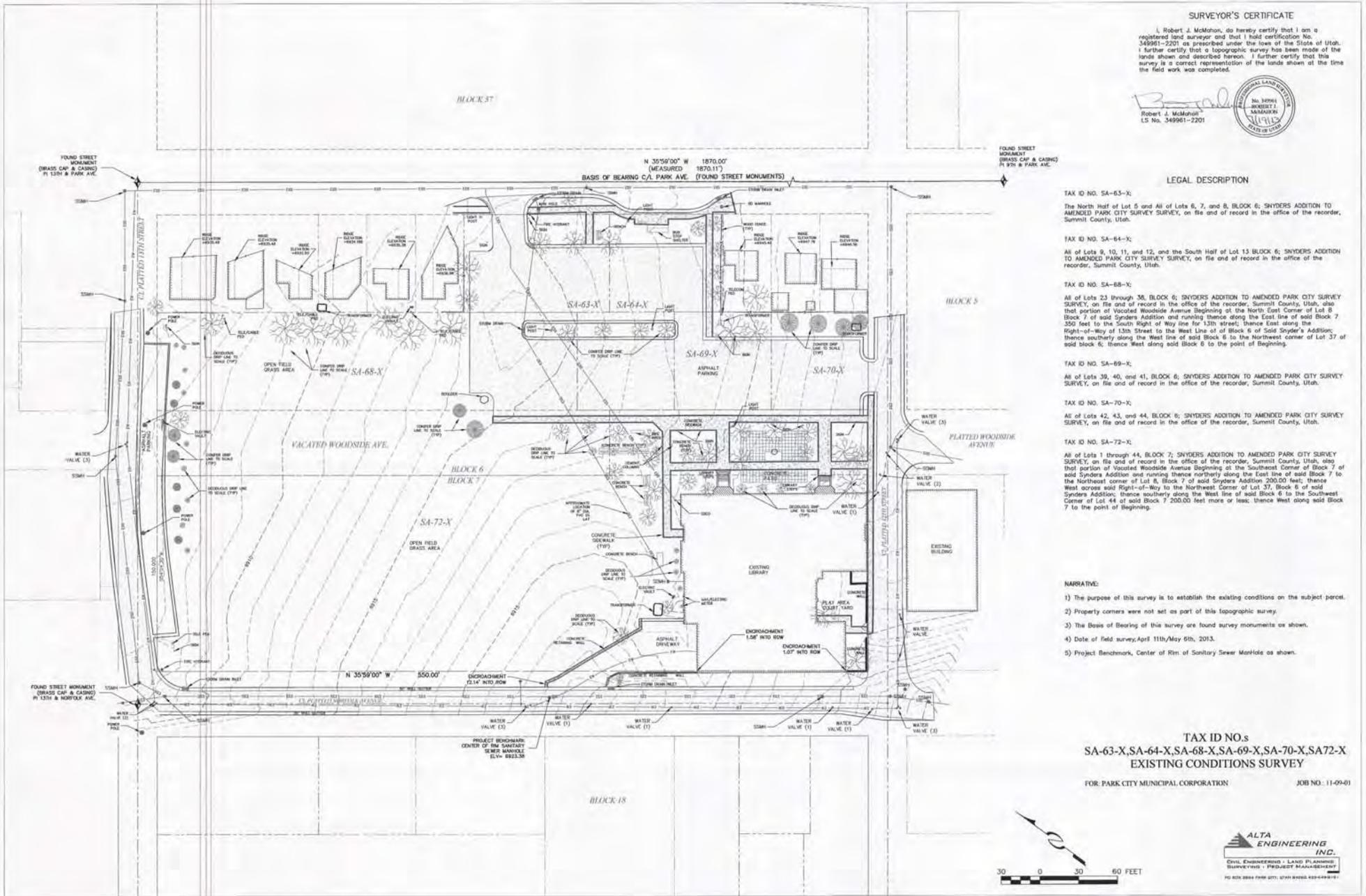
Exhibit B – Proposed Design – HDDR

Exhibit C – Historic Sites Inventory Form

Exhibit D – MPD Action Letter – December 12, 2013

Exhibit E – Letter from Jim Tedford January 24, 2014

Exhibit F – Letter from Utah Heritage Foundation – February 7, 2014



SURVEYOR'S CERTIFICATE

I, Robert J. McMahon, do hereby certify that I am a registered land surveyor and that I hold certification No. 349961-2201 as prescribed under the laws of the State of Utah. I further certify that a topographic survey has been made of the lands shown and described hereon. I further certify that this survey is a correct representation of the lands shown at the time the field work was completed.

Robert J. McMahon
 No. 349961-2201
 ROBERT J. MCMAHON
 LAND SURVEYOR
 STATE OF UTAH

LEGAL DESCRIPTION

TAX ID NO. SA-63-X:
 The North half of Lot 5 and All of Lots 6, 7, and 8, BLOCK 6; SNYDERS ADDITION TO AMENDED PARK CITY SURVEY SURVEY, on file and of record in the office of the recorder, Summit County, Utah.

TAX ID NO. SA-64-X:
 All of Lots 9, 10, 11, and 12, and the South Half of Lot 13 BLOCK 6; SNYDERS ADDITION TO AMENDED PARK CITY SURVEY SURVEY, on file and of record in the office of the recorder, Summit County, Utah.

TAX ID NO. SA-68-X:
 All of Lots 23 through 36, BLOCK 6; SNYDERS ADDITION TO AMENDED PARK CITY SURVEY SURVEY, on file and of record in the office of the recorder, Summit County, Utah, also that portion of Vacated Woodside Avenue beginning at the North East Corner of Lot 8 Block 7 of said Snyder's Addition and running thence along the East line of said Block 7 350 feet to the South Right of Way line for 13th street; thence East along the Right-of-Way of 13th Street to the West line of Block 6 of said Snyder's Addition; thence southerly along the West line of said Block 6 to the Northwest corner of Lot 37 of said Block 6; thence West along said Block 6 to the point of Beginning.

TAX ID NO. SA-69-X:
 All of Lots 39, 40, and 41, BLOCK 6; SNYDERS ADDITION TO AMENDED PARK CITY SURVEY SURVEY, on file and of record in the office of the recorder, Summit County, Utah.

TAX ID NO. SA-70-X:
 All of Lots 42, 43, and 44, BLOCK 6; SNYDERS ADDITION TO AMENDED PARK CITY SURVEY SURVEY, on file and of record in the office of the recorder, Summit County, Utah.

TAX ID NO. SA-72-X:
 All of Lots 1 through 44, BLOCK 7; SNYDERS ADDITION TO AMENDED PARK CITY SURVEY SURVEY, on file and of record in the office of the recorder, Summit County, Utah, also that portion of Vacated Woodside Avenue beginning at the Southeast Corner of Block 7 of said Snyder's Addition and running thence northerly along the East line of said Block 7 to the Northwest corner of Lot 8, Block 7 of said Snyder's Addition 200.00 feet; thence West across said Right-of-Way to the Northwest Corner of Lot 37, Block 6 of said Snyder's Addition; thence southerly along the West line of said Block 6 to the Southwest Corner of Lot 44 of said Block 7 200.00 feet more or less; thence West along said Block 7 to the point of Beginning.

- NARRATIVE:**
- 1) The purpose of this survey is to establish the existing conditions on the subject parcel.
 - 2) Property corners were not set as part of this topographic survey.
 - 3) The Basis of Bearing of this survey are found survey monuments as shown.
 - 4) Date of field survey: April 11th/May 6th, 2013.
 - 5) Project Benchmark, Center of Rim of Sanitary Sewer Manhole as shown.

TAX ID NO.s
SA-63-X, SA-64-X, SA-68-X, SA-69-X, SA-70-X, SA-72-X
EXISTING CONDITIONS SURVEY
 FOR: PARK CITY MUNICIPAL CORPORATION JOB NO.: 11-09-01

ALTA ENGINEERING INC.
 CIVIL ENGINEERING - LAND PLANNING
 SURVEYING - PROJECT MANAGEMENT
 PO BOX 2884 PARK CITY, UTAH 84302-4884



blalock
and PARTNERS
architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
project no.: 130122
HDDR Application

Park City Library and Carl Winters
School Building Remodel Project
1255 Park Avenue, Park City, Utah

Site Plan (Aerial) A5
Scale: 1:50

Conceptual
Site Plan (Aerial)
AS101

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
 project no.: 130122
 HDDR Application

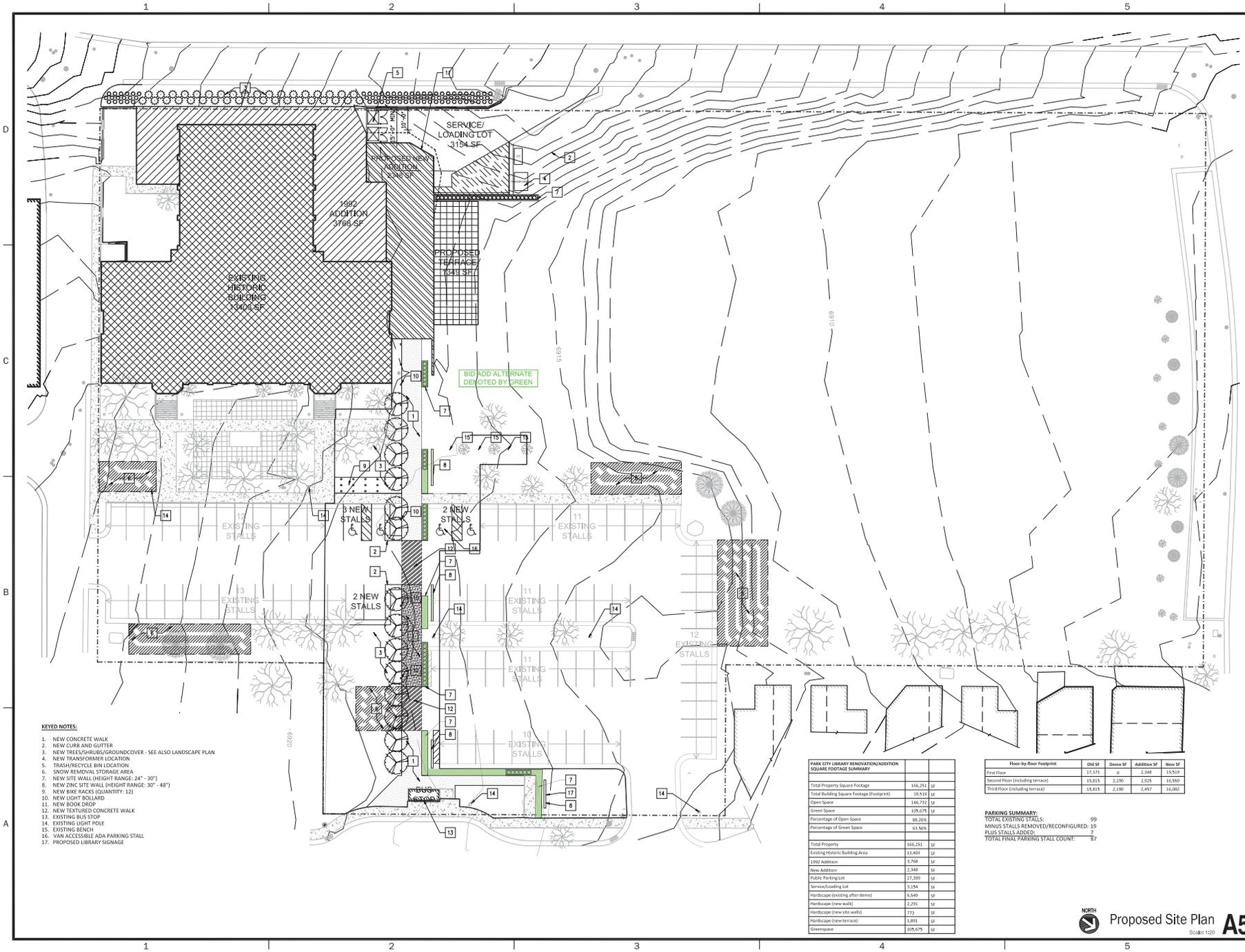
Park City Library and Carl Winters
 School Building Remodel Project
 1255 Park Avenue, Park City, Utah

Site Plan
AS102



- KEYED NOTES:
- 1 NEW CONCRETE WALK
 - 2 NEW CURB AND GUTTER
 - 3 NEW TREES/SHRUBS/GROUNDCOVER
 - 4 NEW TRANSFORMER LOCATION
 - 5 TRASH/RECYCLE BIN LOCATION
 - 6 SNOW REMOVAL STORAGE AREA
 - 7 NEW SITE WALL (HEIGHT RANGE: 24" - 30")
 - 8 NEW ZINC SITE WALL (HEIGHT RANGE: 30" - 48")
 - 9 NEW BIKE RACKS
 - 10 NEW LIGHT BOLLARD
 - 11 NEW BOOK DROP
 - 12 NEW TEXTURED CONCRETE WALK
 - 13 EXISTING BUS STOP
 - 14 EXISTING LIGHT POLE
 - 15 EXISTING BENCH
 - 16 PROPOSED LIBRARY SIGNAGE

Site Plan AS102
 Scale: 1:20



- KEYED NOTES:**
1. NEW CONCRETE WALK
 2. NEW CURB AND GUTTER
 3. NEW TREES/SHRUBS/GROUNDCOVER - SEE ALSO LANDSCAPE PLAN
 4. NEW TRANSFORMER LOCATION
 5. TRASH/RECYCLE BIN LOCATION
 6. SNOW REMOVAL STORAGE AREA
 7. NEW SITE WALL (HEIGHT RANGE: 24" - 30")
 8. NEW ZINC SITE WALL (HEIGHT RANGE: 30" - 48")
 9. NEW BIRE RACKS (QUANTITY: 13)
 10. NEW LIGHT BOLLARD
 11. NEW BOOK DROP
 12. NEW TEXTURED CONCRETE WALK
 13. EXISTING BUS STOP
 14. EXISTING LIGHT POLE
 15. EXISTING BENCH
 16. VAN ACCESSIBLE ADA PARKING STALL
 17. PROPOSED LIBRARY SIGNAGE

PARK CITY LIBRARY RENOVATION/ADDITION SQUARE FOOTAGE SUMMARY

| | | |
|---|---------|----|
| Total Property Square Footage | 166,251 | SF |
| Total Building Square Footage (Footprint) | 13,833 | SF |
| Open Space | 146,732 | SF |
| Green Space | 105,075 | SF |
| Percentage of Open Space | 88.26% | |
| Percentage of Green Space | 81.56% | |
| Total Property | 166,251 | SF |
| Existing Historic Building Area | 13,403 | SF |
| 2002 Addition | 976 | SF |
| 2002 Addition | 2,388 | SF |
| Public Parking Lot | 27,389 | SF |
| Service/Loading Lot | 3,134 | SF |
| Hardscape (existing after demo) | 5,549 | SF |
| Hardscape (new walls) | 2,291 | SF |
| Hardscape (new site walls) | 773 | SF |
| Hardscape (new terrace) | 1,881 | SF |
| GreenSpace | 105,075 | SF |

Floor-by-Floor Footprint

| | Old SF | Demos SF | Addition SF | New SF |
|----------------------------------|--------|----------|-------------|--------|
| First Floor | 13,373 | 0 | 2,348 | 15,721 |
| Second Floor (including terrace) | 15,815 | 2,190 | 2,026 | 15,651 |
| Third Floor (including terrace) | 15,815 | 2,190 | 2,457 | 16,062 |

PARKING SUMMARY:
 TOTAL EXISTING STALLS: 99
 MINUS STALLS REMOVED/RECONFIGURED: 19
 PLUS STALLS ADDED: 7
 TOTAL FINAL PARKING STALL COUNT: 87

blalock
 PARTNERS
 architectural design studio
 307 West 200 South, Suite 4003
 Salt Lake City, UT 84101
 801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

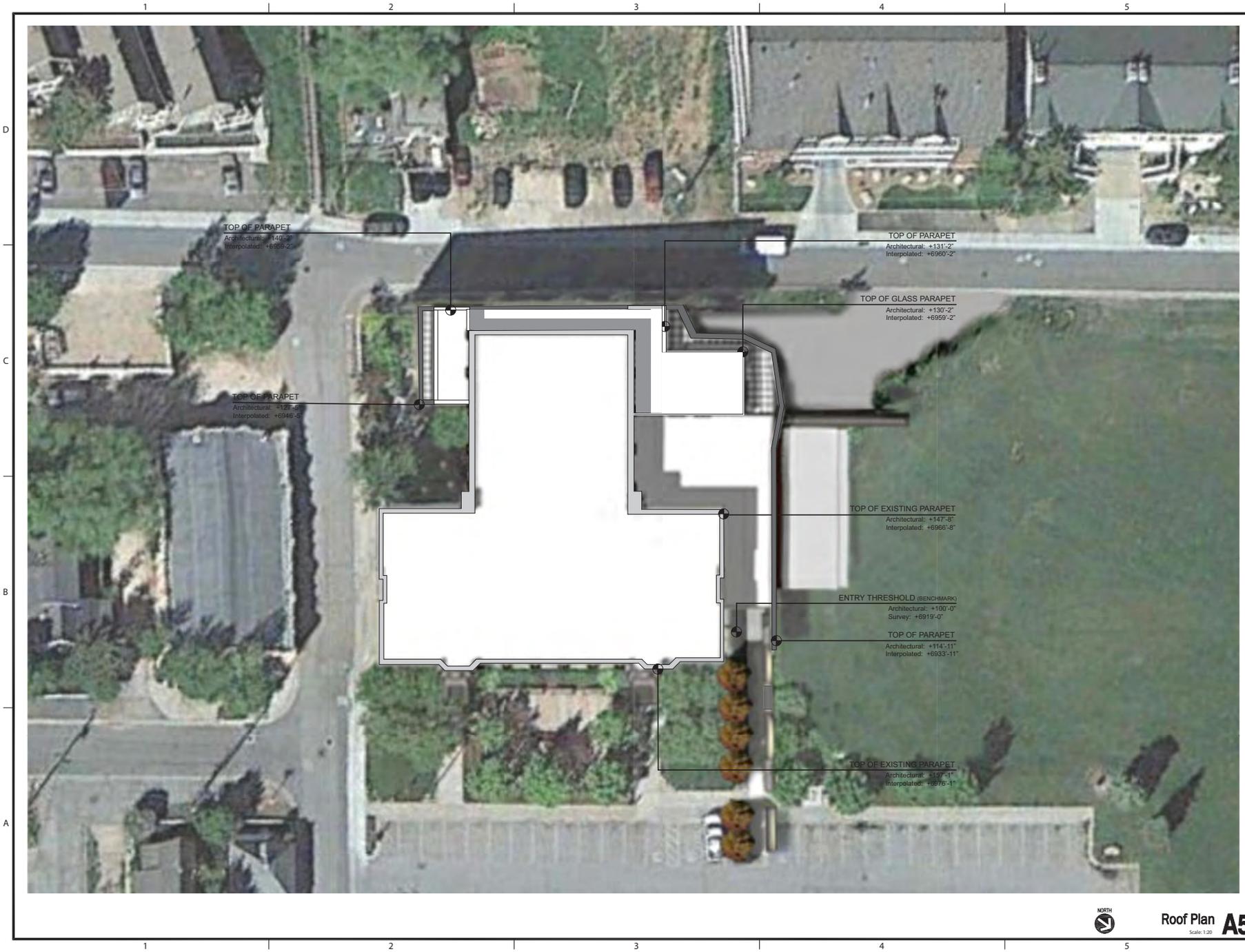
revisions

date: 01 April 2014
 project no.: 130122
 HDDR Application

Park City Library and Carl Winters School Building Remodel Project
 1255 Park Avenue, Park City, Utah

Proposed Site Plan A5

Proposed Site Plan AS103



The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
 project no.: 130122
 HDDR Application

Park City Library and Carl Winters
 School Building Remodel Project
 1255 Park Avenue, Park City, Utah

Roof Plan A5
 Scale: 1:20

Roof Plan AS104

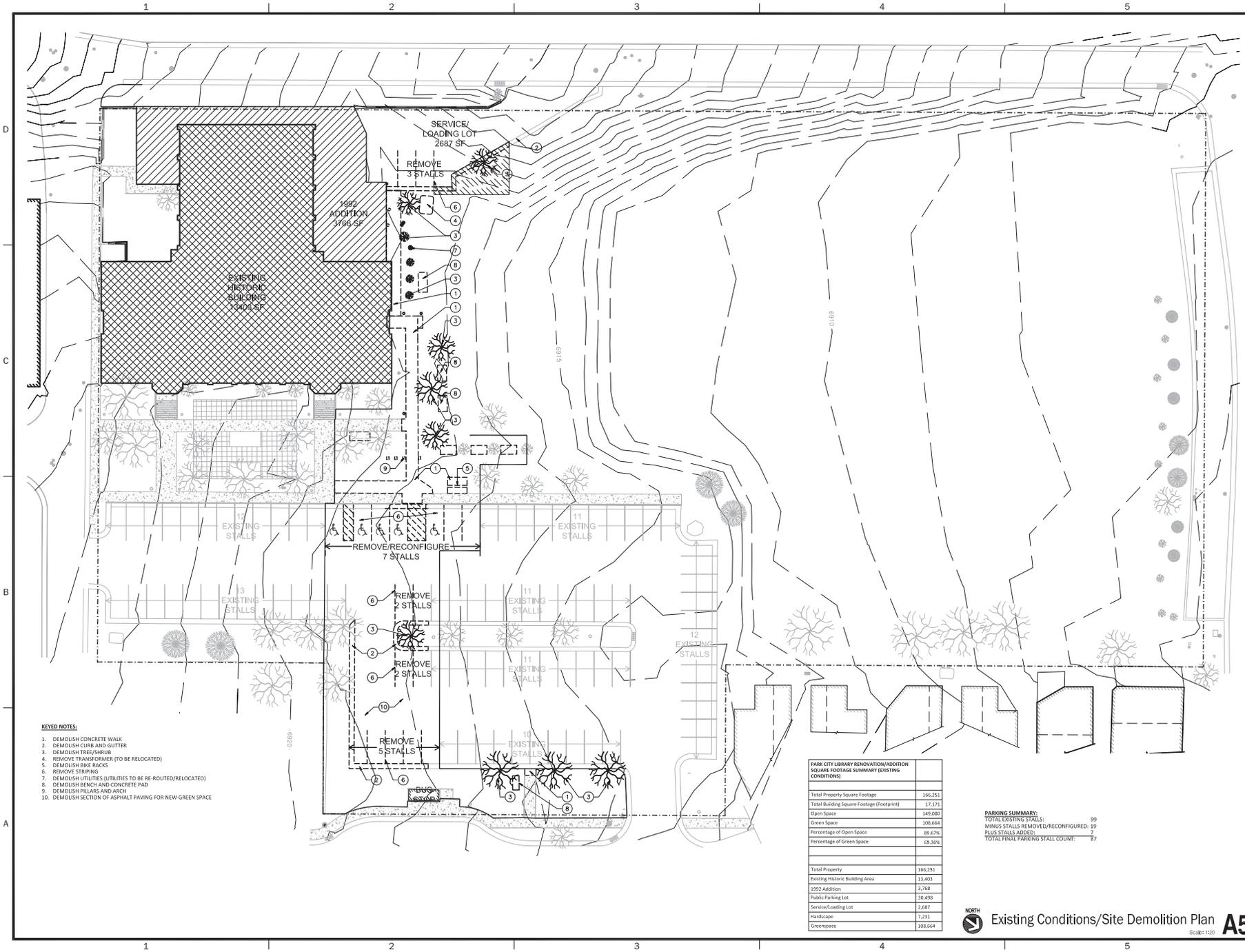
The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
 project no.: 130122
 HDDR Application

Park City Library and Carl Winters School Building Remodel Project
 1255 Park Avenue, Park City, Utah

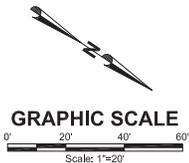
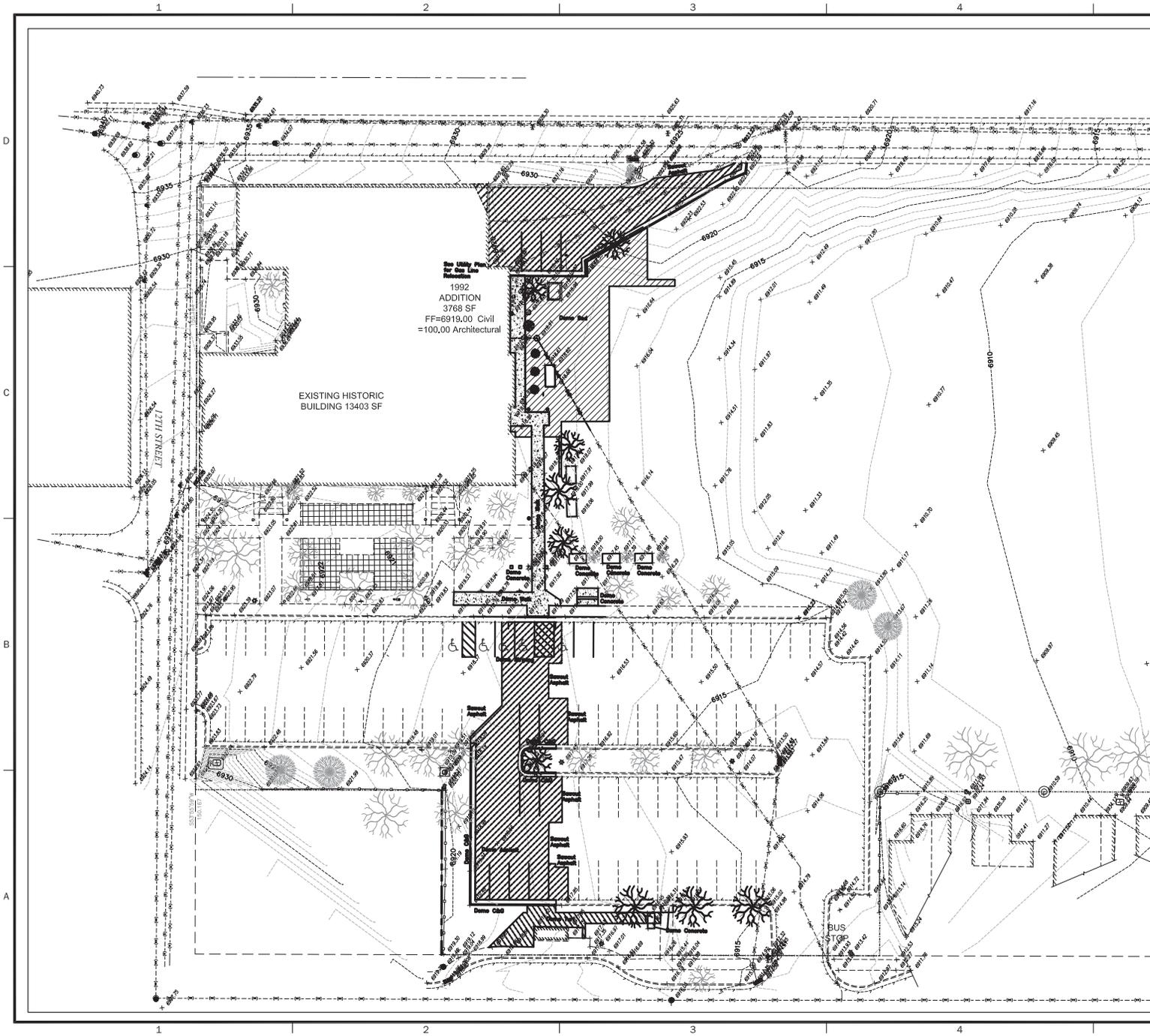
Existing Conditions/Site Demolition Plan
DS101



- KEYED NOTES:**
1. DEMOLISH CONCRETE WALK
 2. DEMOLISH CURB AND GUTTER
 3. DEMOLISH TREE/SHRUB
 4. REMOVE TRANSFORMER (TO BE RELOCATED)
 5. DEMOLISH BIKE RACKS
 6. REMOVE STRIPING
 7. DEMOLISH UTILITIES (UTILITIES TO BE RE-ROUTED/RELOCATED)
 8. DEMOLISH BENCH AND CONCRETE PAD
 9. DEMOLISH PILARS AND ARCH
 10. DEMOLISH SECTION OF ASPHALT PAVING FOR NEW GREEN SPACE

| PARK CITY LIBRARY RENOVATION/ADDITION SQUARE FOOTAGE SUMMARY (EXISTING CONDITIONS) | |
|--|---------|
| Total Property Square Footage | 166,291 |
| Total Building Square Footage (Footprint) | 17,271 |
| Open Space | 149,080 |
| Green Space | 108,664 |
| Percentage of Open Space | 89.67% |
| Percentage of Green Space | 65.30% |
| | |
| Total Property | 166,291 |
| Existing Historic Building Area | 15,403 |
| 1992 Addition | 3,768 |
| Public Parking Lot | 30,498 |
| Service/Loading Lot | 2,687 |
| Hardscape | 7,231 |
| GreenSpace | 108,664 |

PARKING SUMMARY:
 TOTAL EXISTING STALLS: 99
 MINUS STALLS REMOVED/RECONFIGURED: 19
 PLUS STALLS ADDED: 7
 TOTAL FINAL PARKING STALL COUNT: 87



blalock
PARTNERS
 architectural design studio

307 West 200 South, Suite 4003
 Salt Lake City, UT 84101
 801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

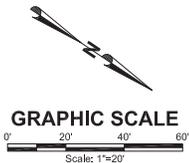
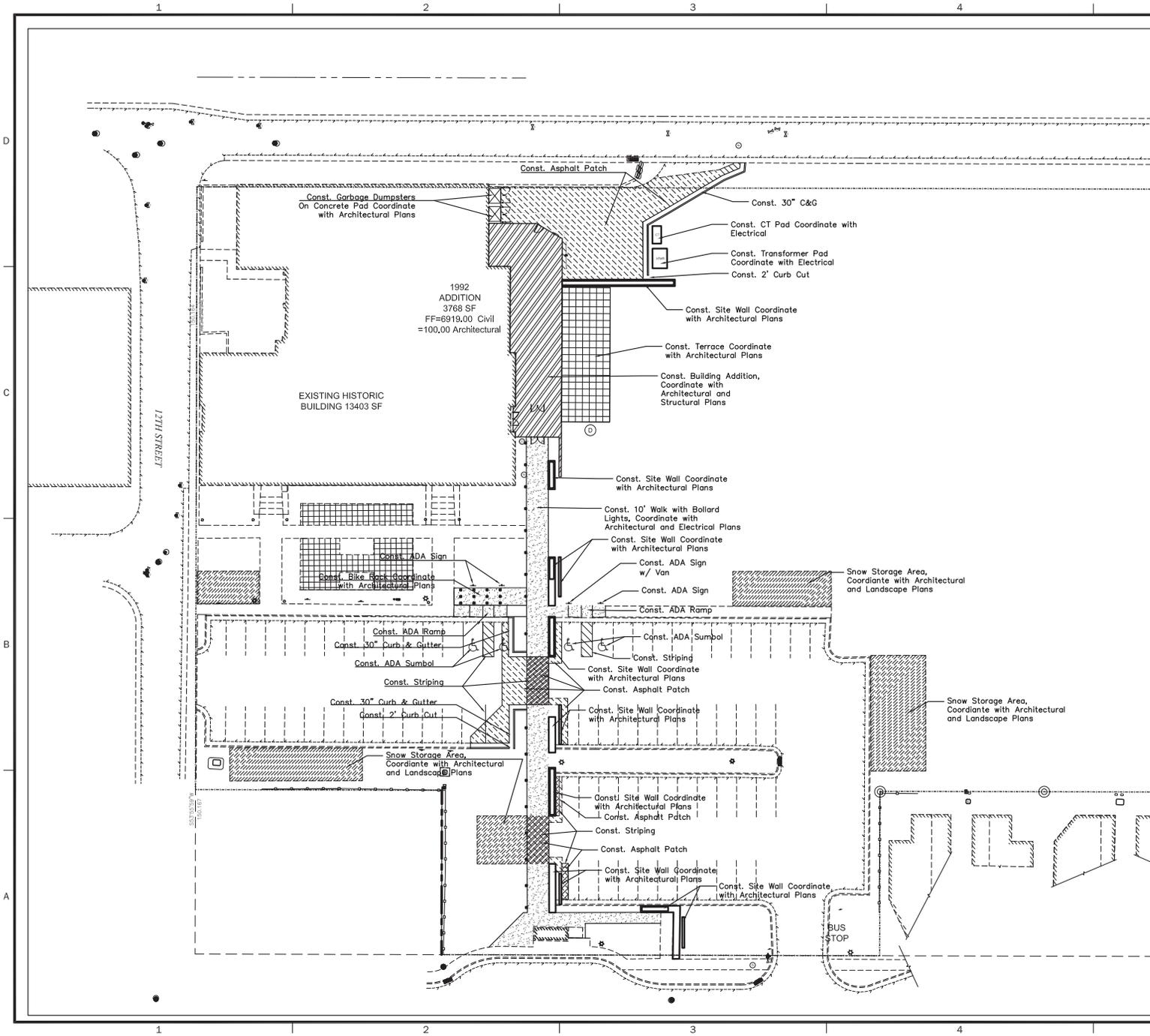
date: 01 April 2014
 project no.: 130122
 HDDR Application

**Park City Library and Carl Winters
 School Building Remodel Project**
 1255 Park Avenue, Park City, Utah

Demolition Plan

Sheet C-001

FORSYDEN
Associates Inc.
 370 EAST 500 SOUTH, #200 SALT LAKE CITY, UT 84111
 PH: 801.364.4765 FAX: 801.364.4802



blalock
PARTNERS
 architectural design studio

307 West 200 South, Suite 4003
 Salt Lake City, UT 84101
 801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
 project no.: 130122
 HDDR Application

**Park City Library and Carl Winters
 School Building Remodel Project**

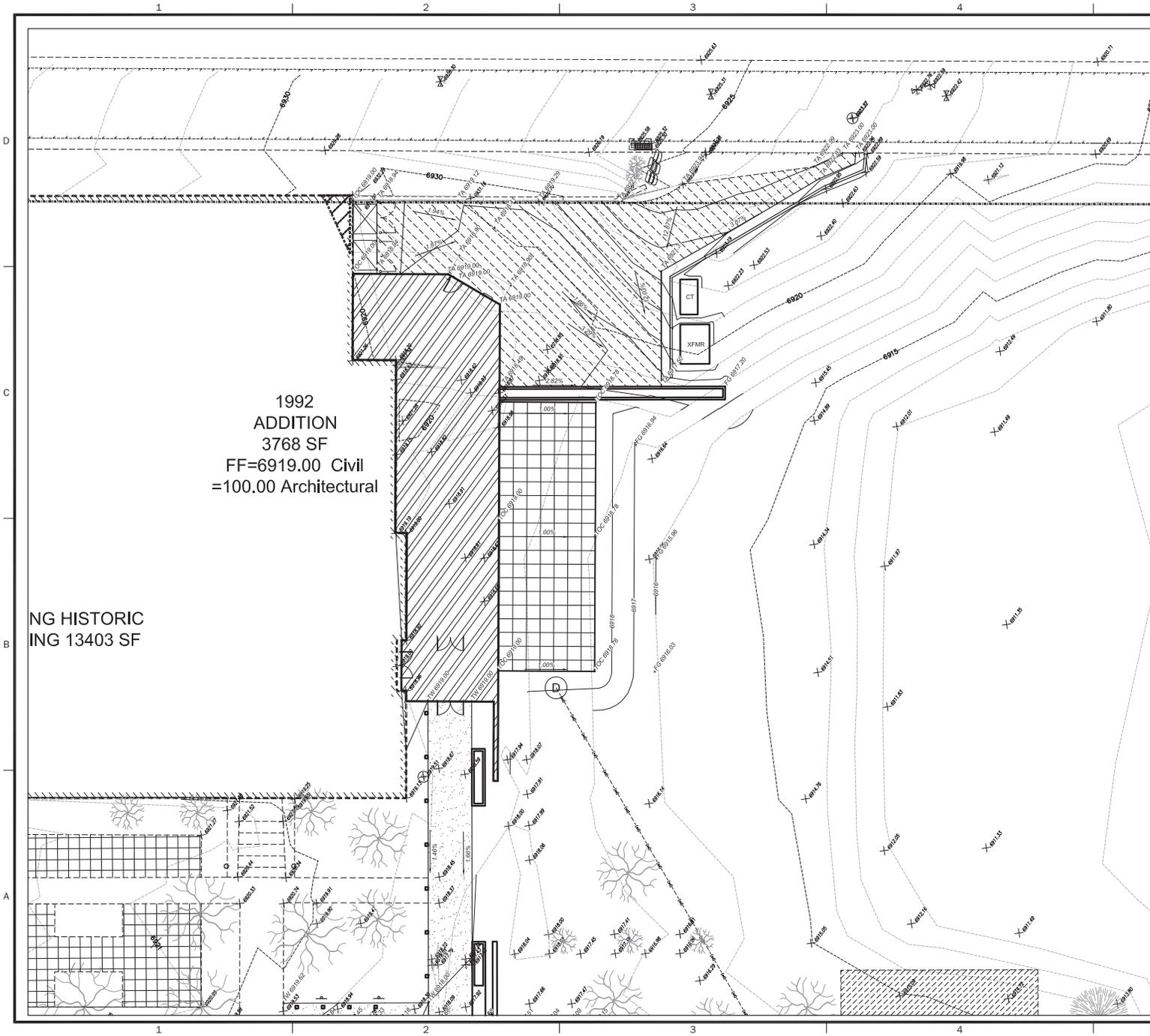
1255 Park Avenue, Park City, Utah

Site Plan

Sheet C-100

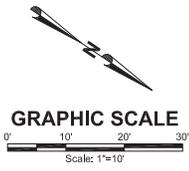
FORSQREN
Associates, Inc.

370 EAST 500 SOUTH, #200 SALT LAKE CITY, UT 84111
 PH: 801.364.4765 FAX: 801.364.4802



1992
ADDITION
3768 SF
FF=6919.00 Civil
=100.00 Architectural

EXISTING HISTORIC
BUILDING 13403 SF



blalock
PARTNERS
architectural design studio
307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

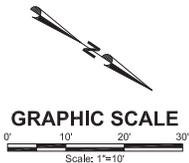
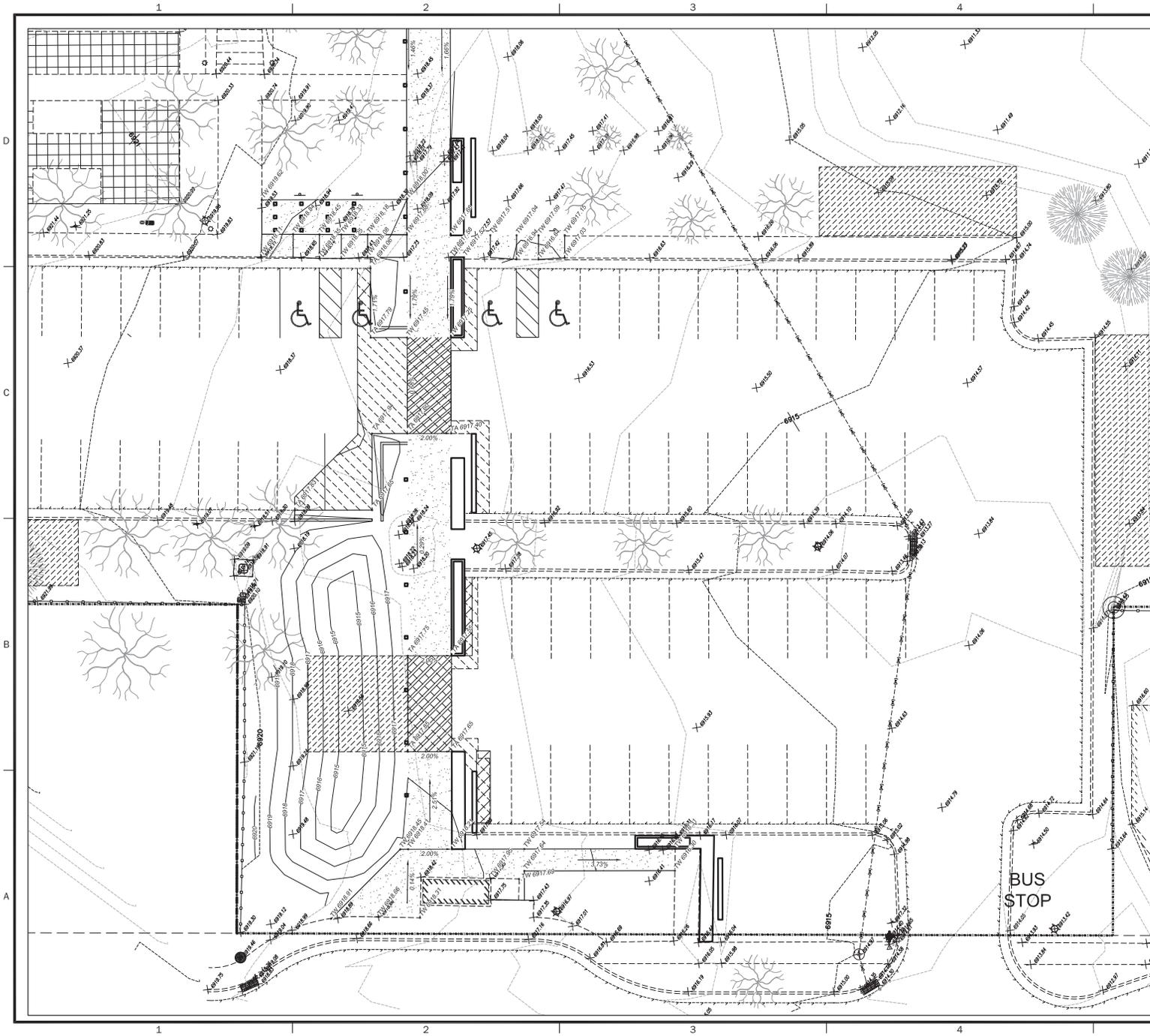
date: 01 April 2014
project no.: 130122
HDDR Application

**Park City Library and Carl Winters
School Building Remodel Project**
1255 Park Avenue, Park City, Utah

FORSGREN
Associates Inc.
370 EAST 500 SOUTH, #200 SALT LAKE CITY, UT 84111
PH: 801.364.4765 FAX: 801.364.4802

Grading Plan

Sheet C-200



blalock
PARTNERS
 architectural design studio
 307 West 200 South, Suite 4003
 Salt Lake City, UT 84101
 801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
 project no.: 130122
 HDDR Application

**Park City Library and Carl Winters
 School Building Remodel Project**
 1255 Park Avenue, Park City, Utah

Grading Plan

FORSYGREN
Associates, Inc.
 370 EAST 500 SOUTH, #200 SALT LAKE CITY, UT 84111
 PH: 801.364.4765 FAX: 801.364.4802

Sheet C-201

TREES



SHRUBS AND GROUNDCOVERS



ORNAMENTAL GRASSES



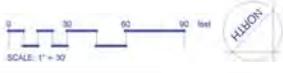
PLANT SCHEDULE

| | | |
|----|---|---|
| 1 | DECIDUOUS TREE ACER DASYCARPUM (RED MAPLE) | 1 |
| 2 | DECIDUOUS TREE PRUNUS NIGRA (BLACK CHERRY) | 1 |
| 3 | DECIDUOUS TREE QUERCUS LAEVIS (LIVE OAK) | 1 |
| 4 | DECIDUOUS TREE MALUS BACCATA (RED CRAB APPLE) | 1 |
| 5 | DECIDUOUS TREE PRUNELLA AMERICANA (BLACKBERRY) | 1 |
| 6 | SHRUB EUONYMUS ALATUS (WINGED BURNING BUSH) | 1 |
| 7 | SHRUB FORSYTHIA HYBRIDA (YELLOW FLO. FORSYTHIA) | 1 |
| 8 | SHRUB PRUNUS LAUROCERASUS (LAURUSTINUS) | 1 |
| 9 | SHRUB PRUNUS CISTINA (PURPLE LEAF SANDCHERRY) | 1 |
| 10 | SHRUB RIBES AROMATICA (GRISELINIA) | 1 |
| 11 | SHRUB JUNIPERUS HORIZONTALIS (BLUE CHIP JUNIPER) | 1 |
| 12 | SHRUB LONICERA REPENS (CREEPING HONEYSUCKLE) | 1 |
| 13 | ORNAMENTAL GRASS Panicum capillare (Switchgrass) | 1 |
| 14 | ORNAMENTAL GRASS Pennisetum purpurascens (Bottlebrush Grass) | 1 |
| 15 | ORNAMENTAL GRASS Pennisetum setaceum (Fountain Grass) | 1 |
| 16 | ORNAMENTAL GRASS Calamagrostis canadensis (Blue Wild Grass) | 1 |

SPECIAL NOTE:
 1. LANDSCAPE SHOWN IS CONCEPTUAL ONLY AND IS STILL IN DEVELOPMENT.

REFERENCE NOTES SCHEDULE

| | |
|----|---------------------|
| 1 | EXISTING |
| 2 | PROPOSED |
| 3 | REMOVED |
| 4 | EXISTING CONCRET |
| 5 | PROPOSED CONCRET |
| 6 | EXISTING ASPHALT |
| 7 | PROPOSED ASPHALT |
| 8 | EXISTING GRAVEL |
| 9 | PROPOSED GRAVEL |
| 10 | EXISTING SOIL |
| 11 | PROPOSED SOIL |
| 12 | EXISTING CURB |
| 13 | PROPOSED CURB |
| 14 | EXISTING DRIVEWAY |
| 15 | PROPOSED DRIVEWAY |
| 16 | EXISTING SIDEWALK |
| 17 | PROPOSED SIDEWALK |
| 18 | EXISTING BIKEWAY |
| 19 | PROPOSED BIKEWAY |
| 20 | EXISTING FENCE |
| 21 | PROPOSED FENCE |
| 22 | EXISTING SIGN |
| 23 | PROPOSED SIGN |
| 24 | EXISTING LIGHT |
| 25 | PROPOSED LIGHT |
| 26 | EXISTING UTILITY |
| 27 | PROPOSED UTILITY |
| 28 | EXISTING TREE |
| 29 | PROPOSED TREE |
| 30 | EXISTING SHRUB |
| 31 | PROPOSED SHRUB |
| 32 | EXISTING GRASS |
| 33 | PROPOSED GRASS |
| 34 | EXISTING PAVEMENT |
| 35 | PROPOSED PAVEMENT |
| 36 | EXISTING WALL |
| 37 | PROPOSED WALL |
| 38 | EXISTING FLOOR |
| 39 | PROPOSED FLOOR |
| 40 | EXISTING CEILING |
| 41 | PROPOSED CEILING |
| 42 | EXISTING ROOF |
| 43 | PROPOSED ROOF |
| 44 | EXISTING MECHANICAL |
| 45 | PROPOSED MECHANICAL |
| 46 | EXISTING ELECTRICAL |
| 47 | PROPOSED ELECTRICAL |
| 48 | EXISTING TELEPHONE |
| 49 | PROPOSED TELEPHONE |
| 50 | EXISTING CABLE |
| 51 | PROPOSED CABLE |
| 52 | EXISTING SANITARY |
| 53 | PROPOSED SANITARY |
| 54 | EXISTING VENT |
| 55 | PROPOSED VENT |
| 56 | EXISTING SIGNAGE |
| 57 | PROPOSED SIGNAGE |
| 58 | EXISTING FURNITURE |
| 59 | PROPOSED FURNITURE |
| 60 | EXISTING EQUIPMENT |
| 61 | PROPOSED EQUIPMENT |
| 62 | EXISTING OTHER |
| 63 | PROPOSED OTHER |



The design shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and exclusive written permission from blalock + Partners, LLP.

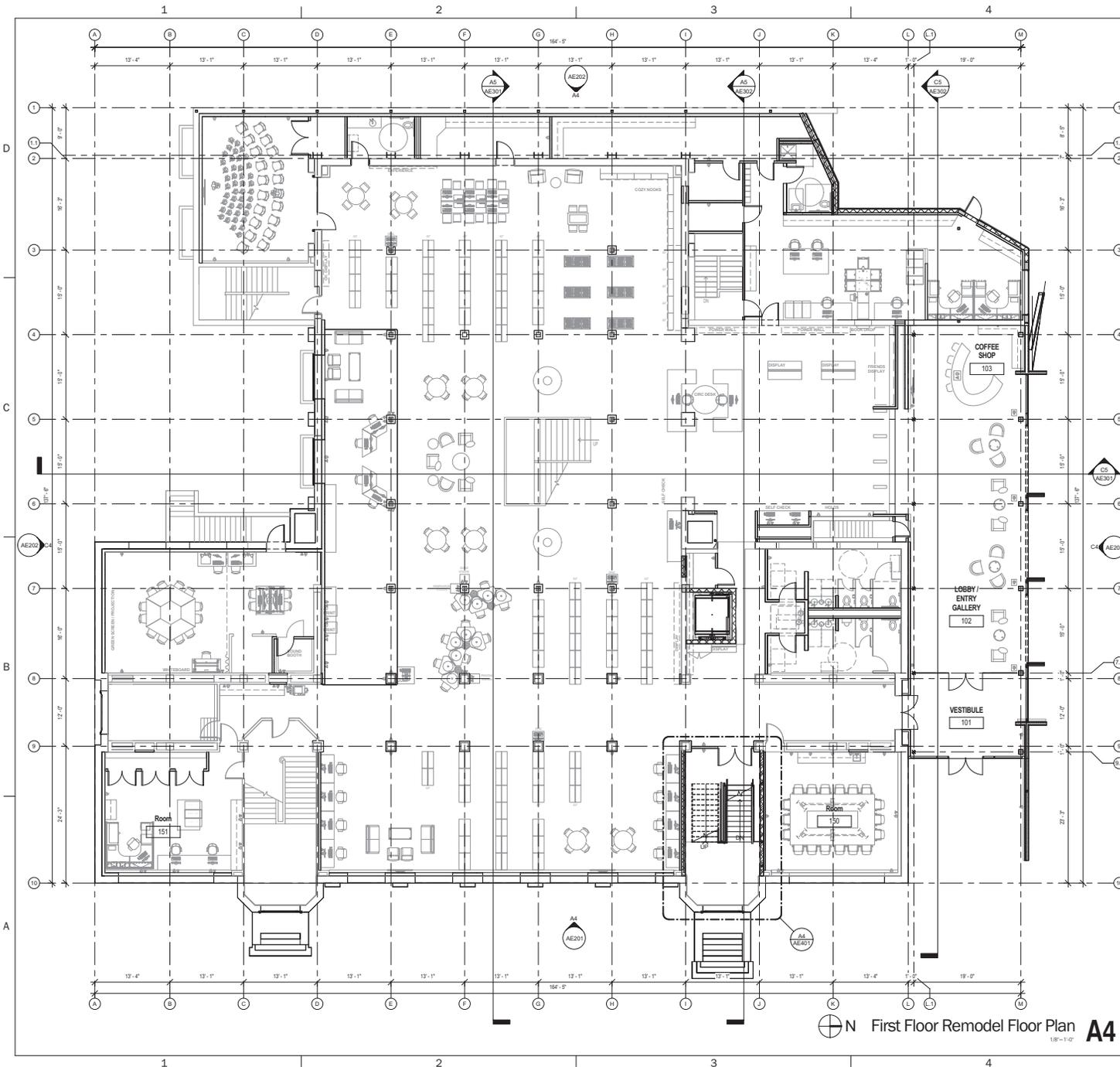
revisions

date: 01 April 2014
 project no.: 130122
 HDDR Application

Park City Library and Carl Winters School Building Remodel Project

1255 Park Avenue, Park City, Utah

LANDSCAPE PLAN LP101



First Floor Remodel Floor Plan **A4**
18"=1'-0"

- KEYNOTES**
- 1.3 CONSTRUCTION LIMITS
 - 1.4 PROPERTY LINE
 - 2.1 EXISTING LIGHT POLE TO REMAIN
 - 2.2 EXISTING FIRE HYDRANT TO REMAIN
 - 2.3 EXISTING SIGN TO REMAIN
 - 2.4 EXISTING WALK (OR PORTION OF) TO REMAIN
 - 2.5 EXISTING STRIPING TO REMAIN, TYP.
 - 2.6 EXISTING BUS STOP STRUCTURE TO REMAIN
 - 2.7 EXISTING LIGHT BOLLARDS TO REMAIN
 - 2.8 EXISTING VEGETATION TO REMAIN, TYP.
 - 2.9 EXISTING WALL TO REMAIN, TYP.
 - 2.10 EXISTING COLUMN TO REMAIN
 - 2.12 EXISTING TUNNEL TO REMAIN, TYP.
 - 2.14 EXISTING STAIRS TO REMAIN
 - 2.15 EXISTING SLOUGHT TO REMAIN
 - 2.16 EXISTING ROOF DRAIN TO REMAIN
 - 2.17 EXISTING PARAPET SUPPORTS TO REMAIN, TYP. OTHER PARAPET SUPPORTS EXIST THAT ARE NOT SHOWN. ALL ARE TO REMAIN.
 - 2.18 EXISTING PARAPET CAP TO REMAIN, TYP.
 - 2.19 EXISTING AIR HANDLER TO REMAIN
 - 2.20 EXISTING CONCRETE SLAB TO REMAIN
 - 2.40 RELOCATE CUBBIES/LOCKERS TO 3RD FLOOR - SEE NEW CONSTRUCTION FLOOR PLAN
 - 2.50 REMOVE PORTION OF BUILDING (SEE DEMO FLOOR PLANS)
 - 2.51 REMOVE WALL (OR PORTION OF), TYP.
 - 2.52 REMOVE DOOR AND FRAME, TYP.
 - 2.53 REMOVE GLAZING
 - 2.54 REMOVE PLUMBING FIXTURE, TYP. (SEE ALSO MECHANICAL DRAWINGS)
 - 2.55 REMOVE BENCH AND CONCRETE PAD
 - 2.56 REMOVE ARCHWAY AND SUPPORTING BASE/COLUMNS
 - 2.57 REMOVE BIKE RACKS
 - 2.58 REMOVE TRANSFORMER (SEE ALSO ELECTRICAL DRAWINGS)
 - 2.59 REMOVE VEGETATION, TYP.
 - 2.60 REMOVE CURB/CUTTER (SEE ALSO CIVIL DRAWINGS)
 - 2.61 REMOVE ASPHALT PAVING (SEE ALSO CIVIL DRAWINGS)
 - 2.62 REMOVE STRIPING, TYP.
 - 2.63 REMOVE BUILT-IN CABINETRY/MILLWORK
 - 2.65 REMOVE FLOOR FINISHES. PREP CONCRETE SUBFLOOR FOR NEW FINISHES.
 - 2.66 REMOVE CONCRETE SLAB (OR PORTION OF)
 - 2.67 REMOVE CONCRETE TIE, DIAL, CONCRETE FLOOR AND SLUPPORTING JOISTS (SEE ALSO STRUCTURAL DRAWINGS)
 - 2.70 REMOVE ELEVATORS AND ASSOCIATED EQUIPMENT
 - 2.76 REMOVE TOILET PARTITIONS, TYP.
 - 2.77 REMOVE STAIRS
 - 2.78 REMOVE CONCRETE WALK (OR PAD)
 - 2.79 REMOVE LIGHT BOLLARD
 - 2.80 REMOVE SIGN - SALVAGE TO OWNER
 - 2.81 REMOVE TURF/GROUND COVER
 - 2.82 REMOVE EXISTING ROOFING MEMBRANE LAYERS TO SUBSTRATE
 - 2.83 REMOVE EXISTING FIN TUBE RADIANT HEATERS AND SALVAGE/STORE FOR REINSTALLATION. INVENTORY FOR REINSTALLATION IN THE SAME LOCATIONS REMOVED FROM. NOTE: EXISTING HOT WATER MAINS FEEDING THE HEATERS ARE TO REMAIN.
 - 2.84 REMOVE PLUMBING - CAP AT NEAREST MAIN
 - 2.85 REMOVE GYP SHEATHING DOWN TO FRAMING, TYP. REMOVE FRAMING AS REQ'D
 - 2.86 SAWCUT/REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ACCOMMODATE NEW SPOT FOOTINGS. REF. STRUCTURAL
 - 3.1 4" CONCRETE SIDEWALK ON 4" AGGREGATE BASE COURSE
 - 3.3 4" CONCRETE SLAB OVER 4" COMPACTED GRAVEL FILL
 - 3.5 CONCRETE FOOTING. REF. STRUCTURAL
 - 3.6 CONCRETE FOUNDATION WALL - REF. STRUCTURAL
 - 3.10 CONCRETE SLAB OVER METAL DECK - REF. STRUCTURAL
 - 3.11 CONCRETE SITE WALL/PLANTER (ADD ALTERNATE #1 - SEE ALTERNATES SPECIFICATION)
 - 3.13 HATCHED AREA INDICATES EXTENT NEW CARBON FIBER REINFORCEMENT UNDER NEW EPDM ROOFING. REF. STRUCTURAL FOR REQUIREMENTS.
 - 5.1 STEEL COLUMN - REF. STRUCTURAL
 - 5.3 STEEL BEAM - REF. STRUCTURAL
 - 5.4 STEEL JOIST - REF. STRUCTURAL
 - 5.7 METAL ROOF DECK - REF. STRUCTURAL
 - 6.3 8" P' PAINTED PLYWOOD SHEATHING - REF. STRUCTURAL
 - 7.8 BATT INSULATION, MINERAL-FIBER BLANKET INSULATION - REF. WALL TYPES
 - 7.9 4" MIN. RIGID POLY-ISO INSULATION, R-20 MIN.
 - 7.13 SINGLE PLY ROOF MEMBRANE
 - 7.17 PRE-FINISHED METAL PARAPET CAP
 - 7.18 WOOD VENEERED COMPOSITE PANEL SYSTEM WITH EXPOSED FASTENERS
 - 7.20 ZINC METAL WALL PANEL
 - 7.22 BLACK UV RESISTANT WEATHER BARRIER
 - 7.23 NEW EPDM ROOFING OVER EXISTING AREA INDICATED. TYP. REF. SPECIFICATIONS. WRAP MEMBRANE AROUND BOTTOM PARAPET SUPPORTS (SOME NOT SHOWN) AS REQUIRED TO CREATE A COMPLETELY SEALED MEMBRANE SYSTEM. WRAP UP TO EXISTING PARAPET WALLS TO UNDERSIDE OF PARAPET CAP AND EMBED INTO TERMINATION BARS RUNNING DIRECTLY UNDER EXISTING PARAPET CAP. CALK BETWEEN PARAPET CAP AND TERMINATION BAR.
 - 7.24 EXTERIOR SHEATHING
 - 8.2 CURTAINWALL WINDOW
 - 8.5 THERMALLY BROKEN ALUMINUM FRAMED FOLDING PANEL SYSTEM
 - 8.6 TEMPERED GLASS INFILL PANELS
 - 9.4 ACOUSTICAL PANEL CEILING/CLOUD
 - 14.1 PASSENGER ELEVATOR
 - 26.1 ELECTRIC LIGHT FIXTURE - REF. ELECTRICAL
 - 26.4 TRANSFORMER - REF. ELECTRICAL
 - 26.5 ELECTRIC LIGHT BOLLARD, TYP. - REF. ELECTRICAL
 - 32.1 ASPHALTIC CONCRETE PAVING - REF. CIVIL
 - 32.4 BIKE RACKS
 - 32.6 TREES/SHRUBS - REF. LANDSCAPE
 - 32.7 TRASH/RECYCLE BIN ENCLOSURE
 - 32.8 METAL CLAD SITE WALL (ADD ALTERNATE #2 - SEE ALTERNATES SPECIFICATION)
 - 32.9 PARKING STRIPING
 - 32.10 VAN ACCESSIBLE ADA PARKING STALL
 - 32.11 CURB AND GUTTER - REF. CIVIL
 - 32.12 LIBRARY SIGNAGE
 - 32.13 PEDESTRIAN CIRCULATION STRIPING

and **ballock**
PARTNERS
architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Ballock and Partners, LLC.

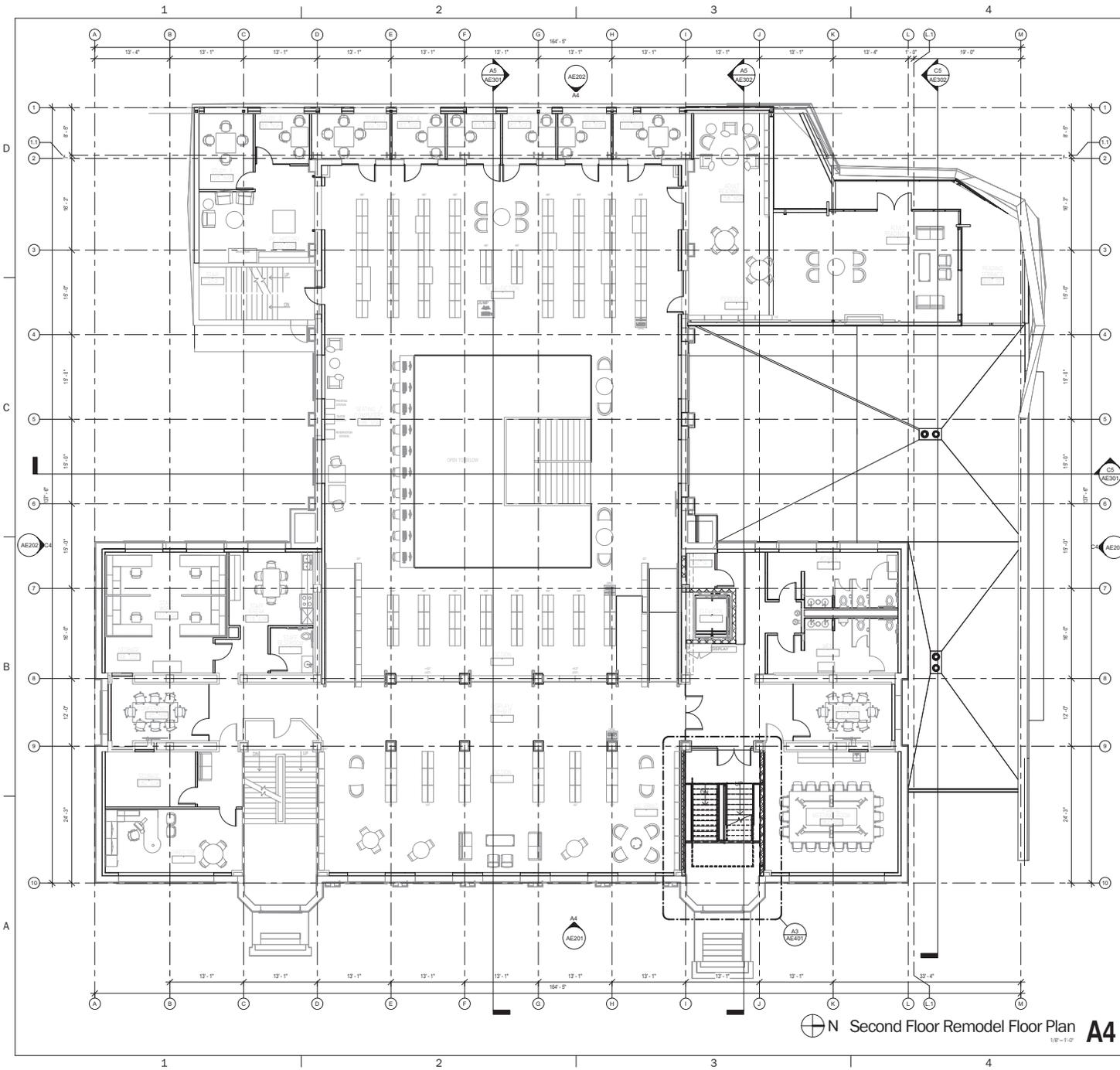
stamp

revisions

date: 01 April 2014
project no.: 130122
HDRR Submittal

Park City Library and Carl Winters School Building Remodel Project
1.255 Park Avenue, Park City, Utah

First Floor Remodel Floor Plan
AE101



- REMARKS**
- 1.3 CONSTRUCTION LIMITS
 - 1.4 PROPERTY LINE
 - 2.1 EXISTING LIGHT POLE TO REMAIN
 - 2.2 EXISTING FIRE HYDRANT TO REMAIN
 - 2.3 EXISTING SIGN TO REMAIN
 - 2.4 EXISTING WALK (OR PORTION OF) TO REMAIN
 - 2.5 EXISTING STRIPING TO REMAIN, TYP.
 - 2.6 EXISTING BUS STOP STRUCTURE TO REMAIN
 - 2.7 EXISTING LIGHT SILLARDS TO REMAIN
 - 2.8 EXISTING VEGETATION TO REMAIN, TYP.
 - 2.9 EXISTING WALL TO REMAIN, TYP.
 - 2.10 EXISTING COLUMN TO REMAIN
 - 2.12 EXISTING TUNNEL TO REMAIN, TYP.
 - 2.14 EXISTING STAIRS TO REMAIN
 - 2.15 EXISTING SLOUGHT TO REMAIN
 - 2.16 EXISTING ROOF DRAIN TO REMAIN
 - 2.17 EXISTING PARAPET SUPPORTS TO REMAIN, TYP. OTHER PARAPET SUPPORTS EXIST THAT ARE NOT SHOWN. ALL ARE TO REMAIN.
 - 2.18 EXISTING PARAPET CAP TO REMAIN, TYP.
 - 2.19 EXISTING AIR HANDLER TO REMAIN
 - 2.20 EXISTING CONCRETE SLAB TO REMAIN
 - 2.40 RELOCATE CUBBIES/LOCKERS TO 3RD FLOOR - SEE NEW CONSTRUCTION FLOOR PLAN
 - 2.90 REMOVE PORTION OF BUILDING (SEE DEMO FLOOR PLANS)
 - 2.91 REMOVE WALL (OR PORTION OF), TYP.
 - 2.92 REMOVE DOOR AND FRAME, TYP.
 - 2.93 REMOVE GLAZING
 - 2.94 REMOVE PLUMBING FIXTURE, TYP. (SEE ALSO MECHANICAL DRAWINGS)
 - 2.95 REMOVE BENCH AND CONCRETE PAD
 - 2.96 REMOVE ARCHWAY AND SUPPORTING BASE/COLUMNS
 - 2.97 REMOVE BIKE RACKS
 - 2.98 REMOVE TRANSFORMER (SEE ALSO ELECTRICAL DRAWINGS)
 - 2.99 REMOVE VEGETATION, TYP.
 - 2.80 REMOVE CURB/CUTTER (SEE ALSO CIVIL DRAWINGS)
 - 2.81 REMOVE ASPHALT PAVING (SEE ALSO CIVIL DRAWINGS)
 - 2.82 REMOVE STRIPING, TYP.
 - 2.84 REMOVE BUILT-UP CABINETRY/MILLWORK
 - 2.85 REMOVE FLOOR FINISHES. PREP CONCRETE SUBFLOOR FOR NEW FINISHES.
 - 2.86 REMOVE CONCRETE SLAB (OR PORTION OF)
 - 2.87 REMOVE CONCRETE MATERIAL, CONCRETE FLOOR AND SLIP-RESISTANT JOISTS (SEE ALSO STRUCTURAL DRAWINGS)
 - 2.70 REMOVE ELEVATORS AND ASSOCIATED EQUIPMENT
 - 2.76 REMOVE TOILET PARTITIONS, TYP.
 - 2.77 REMOVE STAIRS
 - 2.78 REMOVE CONCRETE WALK (OR PAD)
 - 2.79 REMOVE LIGHT BOLLARD
 - 2.80 REMOVE SIGN - SALVAGE TO OWNER
 - 2.81 REMOVE TURF/GROUND COVER
 - 2.82 REMOVE EXISTING ROOFING MEMBRANE LAYERS TO SUBSTRATE
 - 2.83 REMOVE EXISTING FIN TUBE RADIANT HEATERS AND SALVAGE/STORE FOR REINSTALLATION. INVENTORY FOR REINSTALLATION IN THE SAME LOCATIONS REMOVED FROM. NOTE: EXISTING HOT WATER MAINS FEEDING THE HEATERS ARE TO REMAIN.
 - 2.84 REMOVE PLUMBING - CAP AT NEAREST MAIN
 - 2.85 REMOVE GYP SHEATHING DOWN TO FRAMING, TYP. REMOVE FRAMING AS REQ'D
 - 2.86 SAWCUT/REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ACCOMMODATE NEW SPOT FOOTINGS. REF. STRUCTURAL
 - 3.1 4" CONCRETE SIDEWALK ON 4" AGGREGATE BASE COURSE
 - 3.3 4" CONCRETE SLAB OVER 4" COMPACTED GRAVEL FILL
 - 3.5 CONCRETE FOOTING. REF. STRUCTURAL
 - 3.6 CONCRETE FOUNDATION WALL - REF. STRUCTURAL
 - 3.10 CONCRETE SLAB OVER METAL DECK - REF. STRUCTURAL
 - 3.11 CONCRETE SITE WALL/PLANTER (ADD ALTERNATE #1 - SEE ALTERNATES SPECIFICATION)
 - 3.13 HATCHED AREA INDICATES EXTENT NEW CARBON FIBER REINFORCEMENT UNDER NEW EPDM ROOFING. REF. STRUCTURAL FOR REQUIREMENTS.
 - 5.1 STEEL COLUMN - REF. STRUCTURAL
 - 5.3 STEEL BEAM - REF. STRUCTURAL
 - 5.4 STEEL JOIST - REF. STRUCTURAL
 - 5.7 METAL ROOF DECK - REF. STRUCTURAL
 - 6.3 8" P PAINTED PLYWOOD SHEATHING - REF. STRUCTURAL
 - 7.8 BATT INSULATION, MINERAL-FIBER BLANKET INSULATION - REF. WALL TYPES
 - 7.9 4" MIN. RIGID POLY-ISO INSULATION, R-20 MIN.
 - 7.13 SINGLE PLY ROOF MEMBRANE
 - 7.17 PRE-FINISHED METAL PARAPET CAP
 - 7.18 WOOD VENEERED COMPOSITE PANEL SYSTEM WITH EXPOSED FASTENERS
 - 7.20 ZINC METAL WALL PANEL
 - 7.22 BLACK UV RESISTANT WEATHER BARRIER
 - 7.23 NEW EPDM ROOFING OVER EXISTING AREA INDICATED. TYP. REF. SPECIFICATIONS. WRAP MEMBRANE AROUND BOTTOM PARAPET SUPPORTS (SOME NOT SHOWN) AS REQ'D TO CREATE A COMPLETELY SEALED MEMBRANE SYSTEM. WRAP UP TO EXISTING PARAPET WALLS TO UNDERSIDE OF PARAPET CAP AND EMBED INTO TERMINATION BARS RUNNING DIRECTLY UNDER EXISTING PARAPET CAP. CALK BETWEEN PARAPET CAP AND TERMINATION BAR.
 - 7.24 EXTERIOR SHEATHING
 - 8.2 CURTAINWALL WINDOW
 - 8.5 THERMALLY BROKEN ALUMINUM FRAMED FOLDING PANEL SYSTEM
 - 8.6 TEMPERED GLASS INFILL PANELS
 - 9.4 ACOUSTICAL PANEL CEILING/CLOUD
 - 14.1 PASSENGER ELEVATOR
 - 26.1 ELECTRIC LIGHT FIXTURE - REF. ELECTRICAL
 - 26.4 TRANSFORMER - REF. ELECTRICAL
 - 26.5 ELECTRIC LIGHT BOLLARD, TYP. - REF. ELECTRICAL
 - 32.1 ASPHALTIC CONCRETE PAVING - REF. CIVIL
 - 32.4 BIKE RACKS
 - 32.6 TREES/SHRUBS - REF. LANDSCAPE
 - 32.7 TRASH/RECYCLE BIN ENCLOSURE
 - 32.8 METAL CLAD SITE WALL (ADD ALTERNATE #2 - SEE ALTERNATES SPECIFICATION)
 - 32.9 PARKING STRIPING
 - 32.10 VAN ACCESSIBLE ADA PARKING STALL
 - 32.11 CURB AND GUTTER - REF. CIVIL
 - 32.12 LIBRARY SIGNAGE
 - 32.13 PEDESTRIAN CIRCULATION STRIPING

blalock
PARTNERS
architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock and Partners, LLC.

stamp

revisions

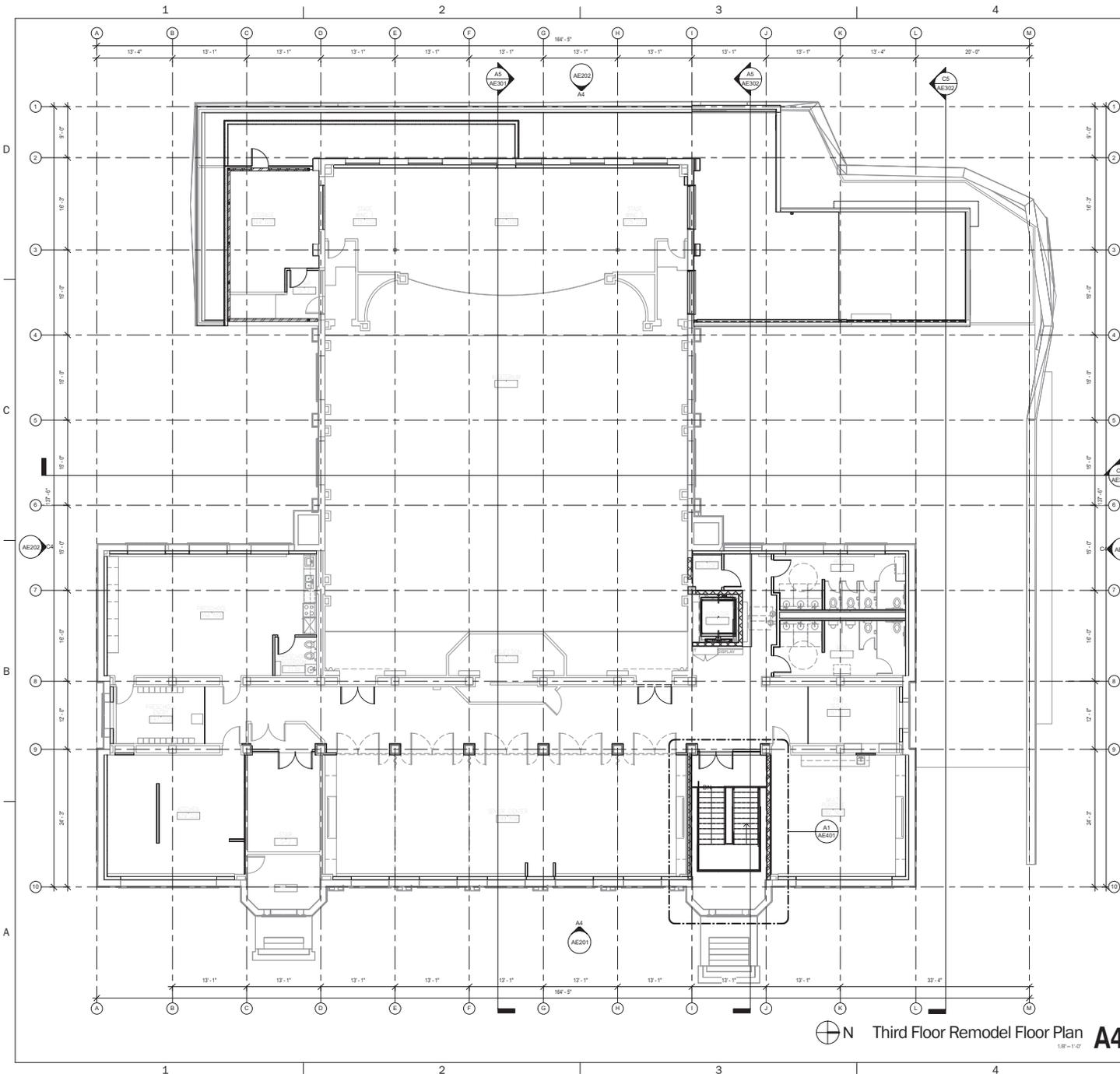
date: 01 April 2014
project no.: 130122
HDDR Submittal

Park City Library and Carl Winters School Building Remodel Project

1255 Park Avenue, Park City, Utah

Second Floor Remodel Floor Plan
AE102

N Second Floor Remodel Floor Plan **A4**



- REVISIONS**
- | NO. | DATE | DESCRIPTION |
|-----|------|---------------------|
| 1 | | ISSUED FOR PERMIT |
| 2 | | REVISIONS TO PERMIT |
| 3 | | REVISIONS TO PERMIT |
| 4 | | REVISIONS TO PERMIT |
| 5 | | REVISIONS TO PERMIT |
| 6 | | REVISIONS TO PERMIT |
| 7 | | REVISIONS TO PERMIT |
| 8 | | REVISIONS TO PERMIT |
| 9 | | REVISIONS TO PERMIT |
| 10 | | REVISIONS TO PERMIT |
| 11 | | REVISIONS TO PERMIT |
| 12 | | REVISIONS TO PERMIT |
| 13 | | REVISIONS TO PERMIT |
| 14 | | REVISIONS TO PERMIT |
| 15 | | REVISIONS TO PERMIT |
| 16 | | REVISIONS TO PERMIT |
| 17 | | REVISIONS TO PERMIT |
| 18 | | REVISIONS TO PERMIT |
| 19 | | REVISIONS TO PERMIT |
| 20 | | REVISIONS TO PERMIT |
| 21 | | REVISIONS TO PERMIT |
| 22 | | REVISIONS TO PERMIT |
| 23 | | REVISIONS TO PERMIT |
| 24 | | REVISIONS TO PERMIT |
| 25 | | REVISIONS TO PERMIT |
| 26 | | REVISIONS TO PERMIT |
| 27 | | REVISIONS TO PERMIT |
| 28 | | REVISIONS TO PERMIT |
| 29 | | REVISIONS TO PERMIT |
| 30 | | REVISIONS TO PERMIT |
| 31 | | REVISIONS TO PERMIT |
| 32 | | REVISIONS TO PERMIT |
| 33 | | REVISIONS TO PERMIT |
| 34 | | REVISIONS TO PERMIT |
| 35 | | REVISIONS TO PERMIT |
| 36 | | REVISIONS TO PERMIT |
| 37 | | REVISIONS TO PERMIT |
| 38 | | REVISIONS TO PERMIT |
| 39 | | REVISIONS TO PERMIT |
| 40 | | REVISIONS TO PERMIT |
| 41 | | REVISIONS TO PERMIT |
| 42 | | REVISIONS TO PERMIT |
| 43 | | REVISIONS TO PERMIT |
| 44 | | REVISIONS TO PERMIT |
| 45 | | REVISIONS TO PERMIT |
| 46 | | REVISIONS TO PERMIT |
| 47 | | REVISIONS TO PERMIT |
| 48 | | REVISIONS TO PERMIT |
| 49 | | REVISIONS TO PERMIT |
| 50 | | REVISIONS TO PERMIT |
| 51 | | REVISIONS TO PERMIT |
| 52 | | REVISIONS TO PERMIT |
| 53 | | REVISIONS TO PERMIT |
| 54 | | REVISIONS TO PERMIT |
| 55 | | REVISIONS TO PERMIT |
| 56 | | REVISIONS TO PERMIT |
| 57 | | REVISIONS TO PERMIT |
| 58 | | REVISIONS TO PERMIT |
| 59 | | REVISIONS TO PERMIT |
| 60 | | REVISIONS TO PERMIT |
| 61 | | REVISIONS TO PERMIT |
| 62 | | REVISIONS TO PERMIT |
| 63 | | REVISIONS TO PERMIT |
| 64 | | REVISIONS TO PERMIT |
| 65 | | REVISIONS TO PERMIT |
| 66 | | REVISIONS TO PERMIT |
| 67 | | REVISIONS TO PERMIT |
| 68 | | REVISIONS TO PERMIT |
| 69 | | REVISIONS TO PERMIT |
| 70 | | REVISIONS TO PERMIT |
| 71 | | REVISIONS TO PERMIT |
| 72 | | REVISIONS TO PERMIT |
| 73 | | REVISIONS TO PERMIT |
| 74 | | REVISIONS TO PERMIT |
| 75 | | REVISIONS TO PERMIT |
| 76 | | REVISIONS TO PERMIT |
| 77 | | REVISIONS TO PERMIT |
| 78 | | REVISIONS TO PERMIT |
| 79 | | REVISIONS TO PERMIT |
| 80 | | REVISIONS TO PERMIT |
| 81 | | REVISIONS TO PERMIT |
| 82 | | REVISIONS TO PERMIT |
| 83 | | REVISIONS TO PERMIT |
| 84 | | REVISIONS TO PERMIT |
| 85 | | REVISIONS TO PERMIT |
| 86 | | REVISIONS TO PERMIT |
| 87 | | REVISIONS TO PERMIT |
| 88 | | REVISIONS TO PERMIT |
| 89 | | REVISIONS TO PERMIT |
| 90 | | REVISIONS TO PERMIT |
| 91 | | REVISIONS TO PERMIT |
| 92 | | REVISIONS TO PERMIT |
| 93 | | REVISIONS TO PERMIT |
| 94 | | REVISIONS TO PERMIT |
| 95 | | REVISIONS TO PERMIT |
| 96 | | REVISIONS TO PERMIT |
| 97 | | REVISIONS TO PERMIT |
| 98 | | REVISIONS TO PERMIT |
| 99 | | REVISIONS TO PERMIT |
| 100 | | REVISIONS TO PERMIT |
- KEYNOTES**
- CONSTRUCTION LIMITS
 - PROPERTY LINE
 - EXISTING LIGHT POLE TO REMAIN
 - EXISTING FIRE HYDRANT TO REMAIN
 - EXISTING SIGN TO REMAIN
 - EXISTING WALK (OR PORTION OF) TO REMAIN
 - EXISTING STRIPING TO REMAIN, TYP.
 - EXISTING VEGETATION TO REMAIN, TYP.
 - EXISTING BUS STOP STRUCTURE TO REMAIN
 - EXISTING COLUMNS TO REMAIN
 - EXISTING WALL TO REMAIN, TYP.
 - EXISTING STAIRS TO REMAIN
 - EXISTING SPOUGHT TO REMAIN
 - EXISTING ROOF DRAIN TO REMAIN
 - EXISTING PARAPET SUPPORTS TO REMAIN, TYP. OTHER PARAPET SUPPORTS EXIST THAT ARE NOT SHOWN. ALL ARE TO REMAIN.
 - EXISTING PARAPET CAP TO REMAIN, TYP.
 - EXISTING AIR HANDLER TO REMAIN
 - EXISTING CONCRETE SLAB TO REMAIN
 - RELOCATE CUBBYLOCKERS TO 3RD FLOOR - SEE NEW CONSTRUCTION FLOOR PLAN
 - REMOVE PORTION OF BUILDING (SEE DEMO FLOOR PLANS)
 - REMOVE WALL (OR PORTION OF), TYP.
 - REMOVE DOOR AND FRAME, TYP.
 - REMOVE GLAZING
 - REMOVE PLUMBING FIXTURE, TYP. (SEE ALSO MECHANICAL DRAWINGS)
 - REMOVE BENCH AND CONCRETE PAD
 - REMOVE ARCHWAY AND SUPPORTING BASE/COLUMNS
 - REMOVE BIKE RACKS
 - REMOVE TRANSFORMER (SEE ALSO ELECTRICAL DRAWINGS)
 - REMOVE VEGETATION, TYP.
 - REMOVE CURB/CUTTER (SEE ALSO CIVIL DRAWINGS)
 - REMOVE ASPHALT PAVING (SEE ALSO CIVIL DRAWINGS)
 - REMOVE STRIPING, TYP.
 - REMOVE BUILT-IN CABINETRY/MILLWORK
 - REMOVE FLOOR FINISHES. PREP CONCRETE SUBFLOOR FOR NEW FINISHES.
 - REMOVE CONCRETE SLAB (OR PORTION OF)
 - REMOVE CONCRETE METAL DECK, CONCRETE FLOOR AND SLUPPORTING JOISTS (SEE ALSO STRUCTURAL DRAWINGS)
 - REMOVE ELEVATORS AND ASSOCIATED EQUIPMENT
 - REMOVE TOILET PARTITIONS, TYP.
 - REMOVE CONCRETE WALK (OR PAD)
 - REMOVE LIGHT BOLLARD
 - REMOVE STAIRS
 - REMOVE CONCRETE WALK (OR PAD)
 - REMOVE TURF/GROUND COVER
 - REMOVE EXISTING ROOFING MEMBRANE LAYERS TO SUBSTRATE
 - REMOVE EXISTING FIN TUBE RADIANT HEATERS AND SALVAGE/STORE FOR REINSTALLATION. INVENTORY FOR REINSTALLATION IN THE SAME LOCATIONS REMOVED FROM. NOTE, EXISTING HOT WATER MAINS FEEDING THE HEATERS ARE TO REMAIN.
 - REMOVE PLUMBING - CAP AT NEAREST MAIN
 - REMOVE GYP SHEATHING DOWN TO FRAMING, TYP. REMOVE FRAMING AS REQ'D
 - SAW/CUT/REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ACCOMMODATE NEW SPOT FOOTINGS. REF. STRUCTURAL
 - 4" CONCRETE SIDEWALK ON 4" AGGREGATE BASE COURSE
 - 4" CONCRETE SLAB OVER 4" COMPACTED GRAVEL FILL
 - CONCRETE FOOTING. REF. STRUCTURAL
 - CONCRETE FOUNDATION WALL - REF. STRUCTURAL
 - CONCRETE SLAB OVER METAL DECK - REF. STRUCTURAL
 - CONCRETE SITE WALL/PLANTER (ADD ALTERNATE #1 - SEE ALTERNATES SPECIFICATION)
 - HATCHED AREA INDICATES EXISTENT NEW CARBON FIBER REINFORCEMENT UNDER NEW EPDM ROOFING. REF. STRUCTURAL FOR REQUIREMENTS.
 - STEEL COLUMN - REF. STRUCTURAL
 - STEEL BEAM - REF. STRUCTURAL
 - STEEL JOIST - REF. STRUCTURAL
 - METAL ROOF DECK - REF. STRUCTURAL
 - S/P PAINTED PLYWOOD SHEATHING - REF. STRUCTURAL
 - BATT INSULATION, MINERAL-FIBER BLANKET INSULATION - REF. WALL TYPES
 - 4" MIN. RIGID POLY-ISO INSULATION, R-20 MIN.
 - SINGLE PLY ROOF MEMBRANE
 - PRE-FINISHED METAL PARAPET CAP
 - WOOD VENEERED COMPOSITE PANEL SYSTEM WITH EXPOSED FASTENERS
 - ZINC METAL WALL PANEL
 - BLACK UV RESISTANT WEATHER BARRIER
 - NEW EPDM ROOFING OVER EXISTING AREA INDICATED. TYP. REF. SPECIFICATIONS. WRAP MEMBRANE AROUND BOTTOM PARAPET SUPPORTS (SOME NOT SHOWN) AS REQUIRED TO CREATE A COMPLETELY SEALED MEMBRANE SYSTEM. WRAP UP TO EXISTING PARAPET WALLS TO UNDERSIDE OF PARAPET CAP AND EMBED INTO TERMINATION BARS RUNNING DIRECTLY UNDER EXISTING PARAPET CAP. CALK BETWEEN PARAPET CAP AND TERMINATION BAR.
 - EXTERIOR SHEATHING
 - CURTAINWALL WINDOW
 - THERMALLY BROKEN ALUMINUM FRAMED FOLDING PANEL SYSTEM
 - TEMPERED GLASS INFILL PANELS
 - ACOUSTICAL PANEL CEILING/CLOUD
 - PASSENGER ELEVATOR
 - ELECTRIC LIGHT FIXTURE - REF. ELECTRICAL
 - TRANSFORMER - REF. ELECTRICAL
 - ELECTRIC LIGHT BOLLARD, TYP. - REF. ELECTRICAL
 - TREES/SHRUBS - REF. LANDSCAPE
 - ASPHALTIC CONCRETE PAVING - REF. CIVIL
 - BIKE RACKS
 - TREES/SHRUBS - REF. LANDSCAPE
 - TRASH/RECYCLE BIN ENCLOSURE
 - METAL CLAD SITE WALL (ADD ALTERNATE #2 - SEE ALTERNATES SPECIFICATION)
 - PARKING STRIPING
 - VAN ACCESSIBLE ADA PARKING STALL
 - CURB AND GUTTER - REF. CIVIL
 - LIBRARY SIGNAGE
 - PEDESTRIAN CIRCULATION STRIPING

and **blalock PARTNERS** architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock and Partners, LLC.

stamp

revisions

date: 01 April 2014
project no.: 130122
HDRR Submittal

Park City Library and Carl Winters School Building Remodel Project

1255 Park Avenue, Park City, Utah

Third Floor Remodel Floor Plan
AE103

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.



Exterior Elevation - North **C5**
 Scale: 1/8" = 1'-0"



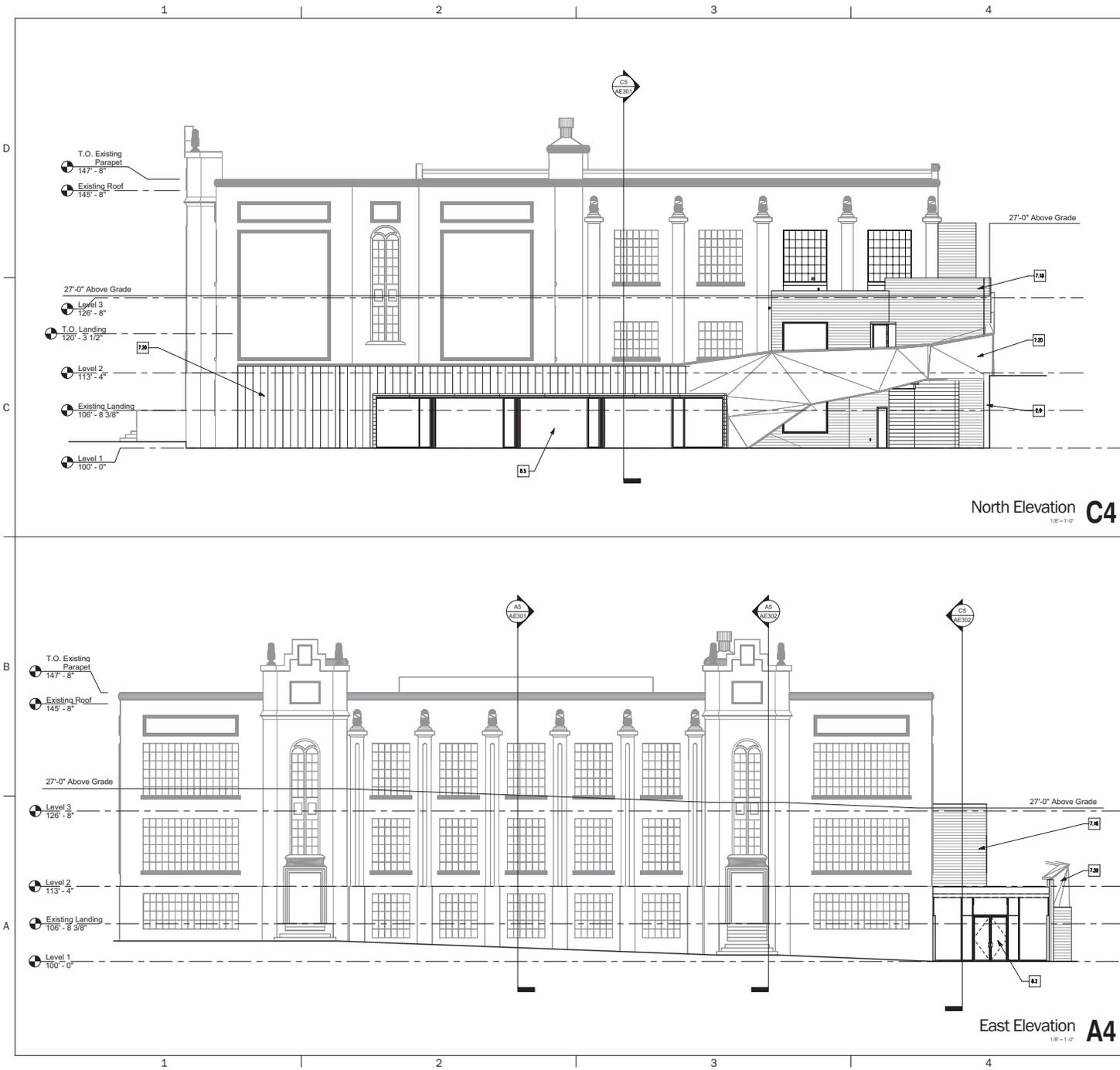
Exterior Elevation - East **A5**
 Scale: 1/8" = 1'-0"

revisions

date: 01 April 2014
 project no.: 130122
 HDDR Submittal

**Park City Library and Carl Winters
 School Building Remodel Project**
 1255 Park Avenue, Park City, Utah

Exterior Elevations
AE201



- KEYNOTES**
- 1.3 CONSTRUCTION LIMITS
 - 1.4 PROPERTY LINE
 - 2.1 EXISTING LIGHT POLE TO REMAIN
 - 2.2 EXISTING FIRE HYDRANT TO REMAIN
 - 2.3 EXISTING SIGN TO REMAIN
 - 2.4 EXISTING WALK (OR PORTION OF) TO REMAIN
 - 2.5 EXISTING STRIPING TO REMAIN, TYP.
 - 2.6 EXISTING BUS STOP STRUCTURE TO REMAIN
 - 2.7 EXISTING LIGHT SOLLARD TO REMAIN
 - 2.8 EXISTING VEGETATION TO REMAIN, TYP.
 - 2.9 EXISTING WALL TO REMAIN, TYP.
 - 2.10 EXISTING COLUMN TO REMAIN
 - 2.12 EXISTING TUNNEL TO REMAIN, TYP.
 - 2.14 EXISTING STAIRS TO REMAIN
 - 2.15 EXISTING SKYLIGHT TO REMAIN
 - 2.16 EXISTING ROOF DRAIN TO REMAIN
 - 2.17 EXISTING PARAPET SUPPORTS TO REMAIN, TYP. OTHER PARAPET SUPPORTS EXIST THAT ARE NOT SHOWN. ALL ARE TO REMAIN.
 - 2.18 EXISTING PARAPET CAP TO REMAIN, TYP.
 - 2.19 EXISTING AIR HANDLER TO REMAIN
 - 2.20 EXISTING CONCRETE SLAB TO REMAIN
 - 2.40 RELOCATE CUBBIELOCKERS TO 3RD FLOOR - SEE NEW CONSTRUCTION FLOOR PLAN
 - 2.50 REMOVE PORTION OF BUILDING (SEE DEMO FLOOR PLANS)
 - 2.51 REMOVE WALL (OR PORTION OF), TYP.
 - 2.52 REMOVE DOOR AND FRAME, TYP.
 - 2.53 REMOVE GLAZING
 - 2.54 REMOVE PLUMBING FIXTURE, TYP. (SEE ALSO MECHANICAL DRAWINGS)
 - 2.55 REMOVE BENCH AND CONCRETE PAD
 - 2.56 REMOVE ARCHWAY AND SUPPORTING BASE/COLUMNS
 - 2.57 REMOVE BIKE RACKS
 - 2.58 REMOVE TRANSFORMER (SEE ALSO ELECTRICAL DRAWINGS)
 - 2.59 REMOVE VEGETATION, TYP.
 - 2.60 REMOVE CURB (SEE ALSO CIVIL DRAWINGS)
 - 2.61 REMOVE ASPHALT PAVING (SEE ALSO CIVIL DRAWINGS)
 - 2.63 REMOVE STRIPING, TYP.
 - 2.64 REMOVE BUILT-IN CABINETS/RYMILL/WORK
 - 2.65 REMOVE FLOOR FINISHES, PREP CONCRETE SUBFLOOR FOR NEW FINISHES.
 - 2.66 REMOVE CONCRETE SLAB (OR PORTION OF)
 - 2.67 REMOVE CONCRETE FOOTING FOR CONCRETE FLOOR AND SLUPPORTING JOISTS (SEE ALSO STRUCTURAL DRAWINGS)
 - 2.70 REMOVE ELEVATORS AND ASSOCIATED EQUIPMENT
 - 2.76 REMOVE TOILET PARTITIONS, TYP.
 - 2.77 REMOVE STAIRS
 - 2.78 REMOVE CONCRETE WALK (OR PAD)
 - 2.79 REMOVE LIGHT BOLLARD
 - 2.80 REMOVE SIGN - SALVAGE TO OWNER
 - 2.81 REMOVE TURNING RADIUSES
 - 2.82 REMOVE EXISTING ROOFING MEMBRANE LAYERS TO SUBSTRATE
 - 2.83 REMOVE EXISTING FIN TUBE RADIANT HEATERS AND SALVAGE/STORE FOR REINSTALLATION. INVENTORY FOR REINSTALLATION IN THE SAME LOCATIONS REMOVED FROM. NOTE, EXISTING HOT WATER MAINS FEEDING THE HEATERS ARE TO REMAIN.
 - 2.84 REMOVE PLUMBING - CAP AT NEAREST MAIN
 - 2.85 REMOVE GYP SHEATHING DOWN TO FRAMING, TYP. REMOVE FRAMING AS REQ'D
 - 2.86 SAWCUT/REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ACCOMMODATE NEW SPOT FOOTINGS. REF. STRUCTURAL
 - 3.1 4" CONCRETE SIDEWALK ON 4" AGGREGATE BASE COURSE
 - 3.3 4" CONCRETE SLAB OVER 4" COMPACTED GRAVEL FILL
 - 3.5 CONCRETE FOOTING - REF. STRUCTURAL
 - 3.6 CONCRETE FOUNDATION WALL - REF. STRUCTURAL
 - 3.10 CONCRETE SLAB OVER METAL DECK - REF. STRUCTURAL
 - 3.11 CONCRETE SITE WALL/PLANTER (ADD ALTERNATE #1 - SEE ALTERNATES SPECIFICATION)
 - 3.13 HATCHED AREA INDICATES EXTENT NEW CARBON FIBER REINFORCEMENT UNDER NEW EPDM ROOFING. REF. STRUCTURAL FOR REQUIREMENTS.
 - 5.1 STEEL COLUMN - REF. STRUCTURAL
 - 5.3 STEEL BEAM - REF. STRUCTURAL
 - 5.4 STEEL JOIST - REF. STRUCTURAL
 - 5.7 METAL ROOF DECK - REF. STRUCTURAL
 - 6.3 SIP PAINTED PLYWOOD SHEATHING - REF. STRUCTURAL
 - 7.8 BATT INSULATION, MINERAL-FIBER BLANKET INSULATION - REF. WALL TYPES
 - 7.9 4" MIN. RIGID POLY-ISO INSULATION, R-20 MIN.
 - 7.13 SINGLE PLY ROOF MEMBRANE
 - 7.17 PRE-FINISHED METAL PARAPET CAP
 - 7.18 WOOD VENEER/COMPOSITE PANEL SYSTEM WITH EXPOSED FASTENERS
 - 7.20 ZINC METAL WALL PANEL
 - 7.22 BLACK UV RESISTANT WEATHER BARRIER
 - 7.23 NEW EPDM ROOFING OVER EXISTING AREA INDICATED. TYP. REF. SPECIFICATIONS. WRAP MEMBRANE AROUND BOTTOM PARAPET SUPPORTS (SOME NOT SHOWN) AS REQUIRED TO CREATE A COMPLETELY SEALED MEMBRANE SYSTEM. WRAP UP TO EXISTING PARAPET WALLS TO UNDERSIDE OF PARAPET CAP AND EMBED INTO TERMINATION BARS RUNNING DIRECTLY UNDER EXISTING PARAPET CAP. CALK BETWEEN PARAPET CAP AND TERMINATION BAR.
 - 7.24 EXTERIOR SHEATHING
 - 8.2 CURTAINWALL WINDOW
 - 8.5 THERMALLY BROKEN ALUMINUM FRAMED FOLDING PANEL SYSTEM
 - 8.6 TEMPERED GLASS INFILL PANELS
 - 9.4 ACOUSTICAL PANEL CEILING/CLOUD
 - 14.1 PASSENGER ELEVATOR
 - 26.1 ELECTRIC LIGHT FIXTURE - REF. ELECTRICAL
 - 26.4 TRANSFORMER - REF. ELECTRICAL
 - 26.5 ELECTRIC LIGHT BOLLARD, TYP. - REF. ELECTRICAL
 - 32.1 ASPHALTIC CONCRETE PAVING - REF. CIVIL
 - 32.4 BIKE RACKS
 - 32.6 TREES/SHRUBS - REF. LANDSCAPE
 - 32.7 TRASH/RECYCLE BIN ENCLOSURE
 - 32.8 METAL CLAD SITE WALL (ADD ALTERNATE #2 - SEE ALTERNATES SPECIFICATION)
 - 32.9 PARKING STRIPING
 - 32.10 VAN ACCESSIBLE ADA PARKING STALL
 - 32.11 CURB AND GUTTER - REF. CIVIL
 - 32.12 LIBRARY SIGNAGE
 - 32.13 PEDESTRIAN CIRCULATION STRIPING

and **blalock**
PARTNERS
architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock and Partners, LLC.

stamp

revisions

date: 01 April 2014
project no.: 130122
HDDR Submittal

Park City Library and Carl Winters School Building Remodel Project

1.255 Park Avenue, Park City, Utah

Exterior Elevations
AE201



blalock
and PARTNERS
 architectural design studio
 307 West 200 South, Suite 4003
 Salt Lake City, UT 84101
 801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

Exterior Elevation - South **A5**
 Scale: 1/8" = 1'-0"

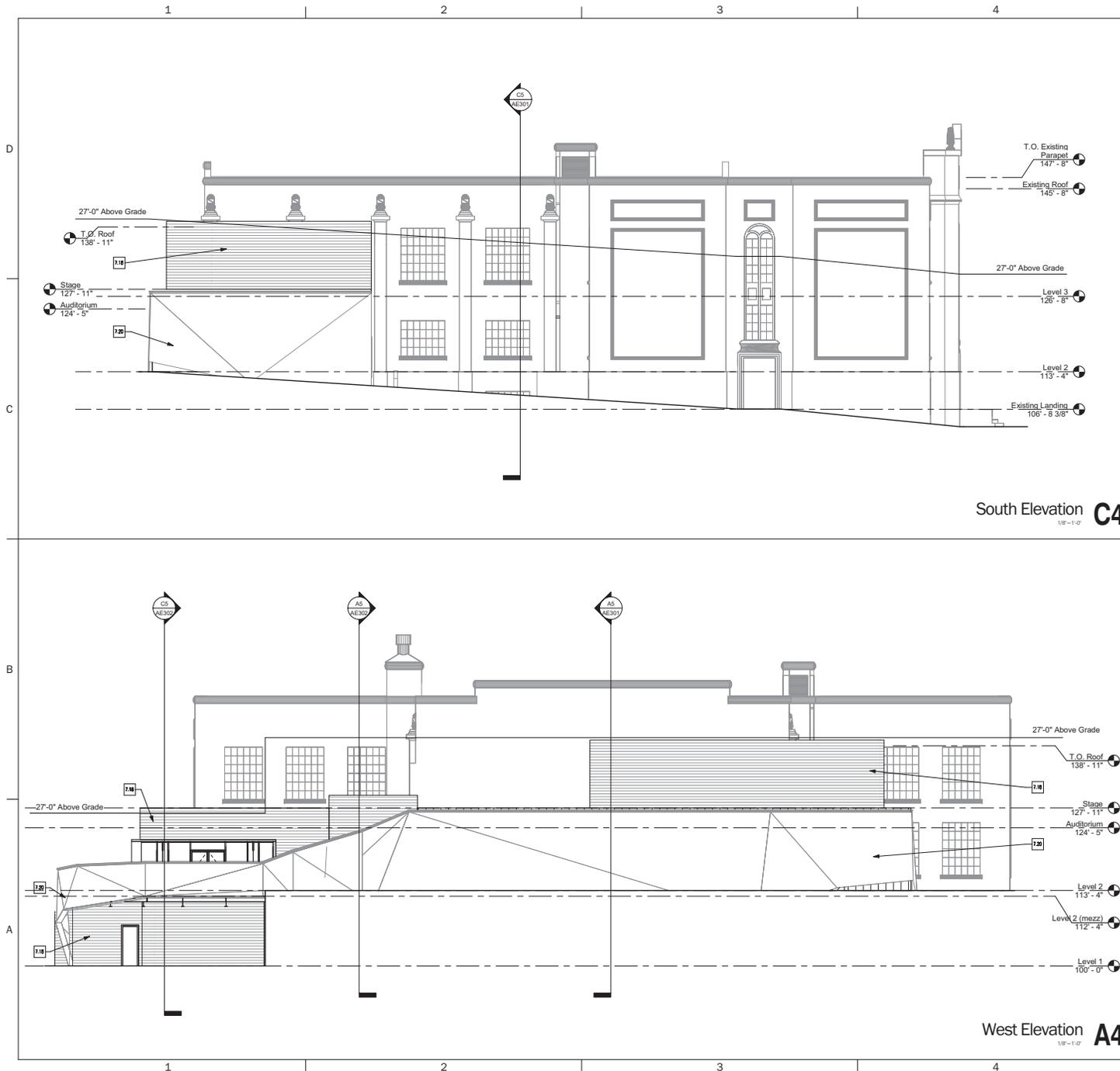
Exterior Elevation - West **A5**
 Scale: 1/8" = 1'-0"

revisions

date: 01 April 2014
 project no.: 130122
 HDDR Submittal

**Park City Library and Carl Winters
 School Building Remodel Project**
 1255 Park Avenue, Park City, Utah

Exterior Elevations
AE202



- KEYNOTES**
- 1.3 CONSTRUCTION LIMITS
 - 1.4 PROPERTY LINE
 - 2.1 EXISTING LIGHT POLE TO REMAIN
 - 2.2 EXISTING FIRE HYDRANT TO REMAIN
 - 2.3 EXISTING SIGN TO REMAIN
 - 2.4 EXISTING WALK (OR PORTION OF) TO REMAIN
 - 2.5 EXISTING STRIPING TO REMAIN, TYP.
 - 2.6 EXISTING BUS STOP STRUCTURE TO REMAIN
 - 2.7 EXISTING LIGHT BOLLARD TO REMAIN
 - 2.8 EXISTING VEGETATION TO REMAIN, TYP.
 - 2.9 EXISTING WALL TO REMAIN, TYP.
 - 2.10 EXISTING COLUMN TO REMAIN
 - 2.12 EXISTING TUNNEL TO REMAIN, TYP.
 - 2.14 EXISTING STAIRS TO REMAIN
 - 2.15 EXISTING SKYLIGHT TO REMAIN
 - 2.16 EXISTING ROOF DRAIN TO REMAIN
 - 2.17 EXISTING PARAPET SUPPORTS TO REMAIN, TYP. OTHER PARAPET SUPPORTS EXIST THAT ARE NOT SHOWN. ALL ARE TO REMAIN.
 - 2.18 EXISTING PARAPET CAP TO REMAIN, TYP.
 - 2.19 EXISTING AIR HANDLER TO REMAIN
 - 2.20 EXISTING CONCRETE SLAB TO REMAIN
 - 2.40 RELOCATE CUBBIELOCKERS TO 3RD FLOOR - SEE NEW CONSTRUCTION FLOOR PLAN
 - 2.50 REMOVE PORTION OF BUILDING (SEE DEMO FLOOR PLANS)
 - 2.51 REMOVE WALL (OR PORTION OF), TYP.
 - 2.52 REMOVE DOOR AND FRAME, TYP.
 - 2.53 REMOVE GLAZING
 - 2.54 REMOVE PLUMBING FIXTURE, TYP. (SEE ALSO MECHANICAL DRAWINGS)
 - 2.55 REMOVE BENCH AND CONCRETE PAD
 - 2.56 REMOVE ARCHWAY AND SUPPORTING BASE/COLUMNS
 - 2.57 REMOVE BIKE RACKS
 - 2.58 REMOVE TRANSFORMER (SEE ALSO ELECTRICAL DRAWINGS)
 - 2.59 REMOVE VEGETATION, TYP.
 - 2.60 REMOVE CURB/BIKEWAY (SEE ALSO CIVIL DRAWINGS)
 - 2.61 REMOVE ASPHALT PAVING (SEE ALSO CIVIL DRAWINGS)
 - 2.63 REMOVE STRIPING, TYP.
 - 2.64 REMOVE BUILT-UP CABINETRY/MILLWORK
 - 2.65 REMOVE FLOOR FINISHES. PREP CONCRETE SUBFLOOR FOR NEW FINISHES.
 - 2.66 REMOVE CONCRETE SLAB (OR PORTION OF)
 - 2.67 REMOVE CONCRETE METEORICAL COMPOSITE FLOOR AND SLUPPORTING JOISTS (SEE ALSO STRUCTURAL DRAWINGS)
 - 2.70 REMOVE ELEVATORS AND ASSOCIATED EQUIPMENT
 - 2.76 REMOVE TOILET PARTITIONS, TYP.
 - 2.77 REMOVE STAIRS
 - 2.78 REMOVE CONCRETE WALK (OR PAD)
 - 2.79 REMOVE LIGHT BOLLARD
 - 2.80 REMOVE SIGN - SALVAGE TO OWNER
 - 2.81 REMOVE TUB/GRIND/COVER
 - 2.82 REMOVE EXISTING ROOFING MEMBRANE LAYERS TO SUBSTRATE
 - 2.83 REMOVE EXISTING FIN TUBE RADIANT HEATERS AND SALVAGE/STORE FOR REINSTALLATION. INVENTORY FOR REINSTALLATION IN THE SAME LOCATIONS REMOVED FROM. NOTE, EXISTING HOT WATER MAINS FEEDING THE HEATERS ARE TO REMAIN.
 - 2.84 REMOVE PLUMBING - CAP AT NEAREST MAIN
 - 2.85 REMOVE GYP SHEATHING DOWN TO FRAMING, TYP. REMOVE FRAMING AS REQ'D
 - 2.86 SAWCUT/REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ACCOMMODATE NEW SPOT FOOTINGS. REF. STRUCTURAL
 - 3.1 4" CONCRETE SIDEWALK ON 4" AGGREGATE BASE COURSE
 - 3.3 4" CONCRETE SLAB OVER 4" COMPACTED GRAVEL FILL
 - 3.5 CONCRETE FOOTING. REF. STRUCTURAL
 - 3.6 CONCRETE FOUNDATION WALL - REF. STRUCTURAL
 - 3.10 CONCRETE SLAB OVER METAL DECK - REF. STRUCTURAL
 - 3.11 CONCRETE SITE WALL/PLANTER (ADD ALTERNATE #1 - SEE ALTERNATES SPECIFICATION)
 - 3.13 HATCHED AREA INDICATES EXTENT NEW CARBON FIBER REINFORCEMENT UNDER NEW EPDM ROOFING. REF. STRUCTURAL FOR REQUIREMENTS.
 - 5.1 STEEL COLUMN - REF. STRUCTURAL
 - 5.3 STEEL BEAM - REF. STRUCTURAL
 - 5.4 STEEL JOIST - REF. STRUCTURAL
 - 5.7 METAL ROOF DECK - REF. STRUCTURAL
 - 6.3 8" P'NTED PLYWOOD SHEATHING - REF. STRUCTURAL
 - 7.8 BATT INSULATION, MINERAL-FIBER BLANKET INSULATION - REF. WALL TYPES
 - 7.9 4" MIN. RIGID POLY-ISO INSULATION, R-20 MIN.
 - 7.13 SINGLE PLY ROOF MEMBRANE
 - 7.17 PRE-FINISHED METAL PARAPET CAP
 - 7.18 WOOD VENEERED COMPOSITE PANEL SYSTEM WITH EXPOSED FASTENERS
 - 7.20 ZINC METAL WALL PANEL
 - 7.22 BLACK UV RESISTANT WEATHER BARRIER
 - 7.23 NEW EPDM ROOFING OVER ENTIRE AREA INDICATED. TYP. REF. SPECIFICATIONS. WRAP MEMBRANE AROUND BOTTOM PARAPET SUPPORTS (SOME NOT SHOWN) AS REQUIRED TO CREATE A COMPLETELY SEALED MEMBRANE SYSTEM. WRAP UP TO EXISTING PARAPET WALLS TO UNDERSIDE OF PARAPET CAP AND EMBED INTO TERMINATION BARS RUNNING DIRECTLY UNDER EXISTING PARAPET CAP. CALK BETWEEN PARAPET CAP AND TERMINATION BAR.
 - 7.24 EXTERIOR SHEATHING
 - 8.2 CURTAINWALL WINDOW
 - 8.5 THERMALLY BROKEN ALUMINUM FRAMED FOLDING PANEL SYSTEM
 - 8.6 TEMPERED GLASS INFILL PANELS
 - 9.4 ACOUSTICAL PANEL CEILING/CLOUD
 - 14.1 PASSENGER ELEVATOR
 - 26.1 ELECTRIC LIGHT FIXTURE - REF. ELECTRICAL
 - 26.4 TRANSFORMER - REF. ELECTRICAL
 - 26.5 ELECTRIC LIGHT BOLLARD, TYP. - REF. ELECTRICAL
 - 32.1 ASPHALTIC CONCRETE PAVING - REF. CIVIL
 - 32.4 BIKE RACKS
 - 32.6 TREES/SHRUBS - REF. LANDSCAPE
 - 32.7 TRASH/RECYCLE BIN ENCLOSURE
 - 32.8 METAL CLAD SITE WALL (ADD ALTERNATE #2 - SEE ALTERNATES SPECIFICATION)
 - 32.9 PARKING STRIPING
 - 32.10 VAN ACCESSIBLE ADA PARKING STALL
 - 32.11 CURB AND GUTTER - REF. CIVIL
 - 32.12 LIBRARY SIGNAGE
 - 32.13 PEDESTRIAN CIRCULATION STRIPING

and **blalock**
PARTNERS
architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock and Partners, LLC.

stamp

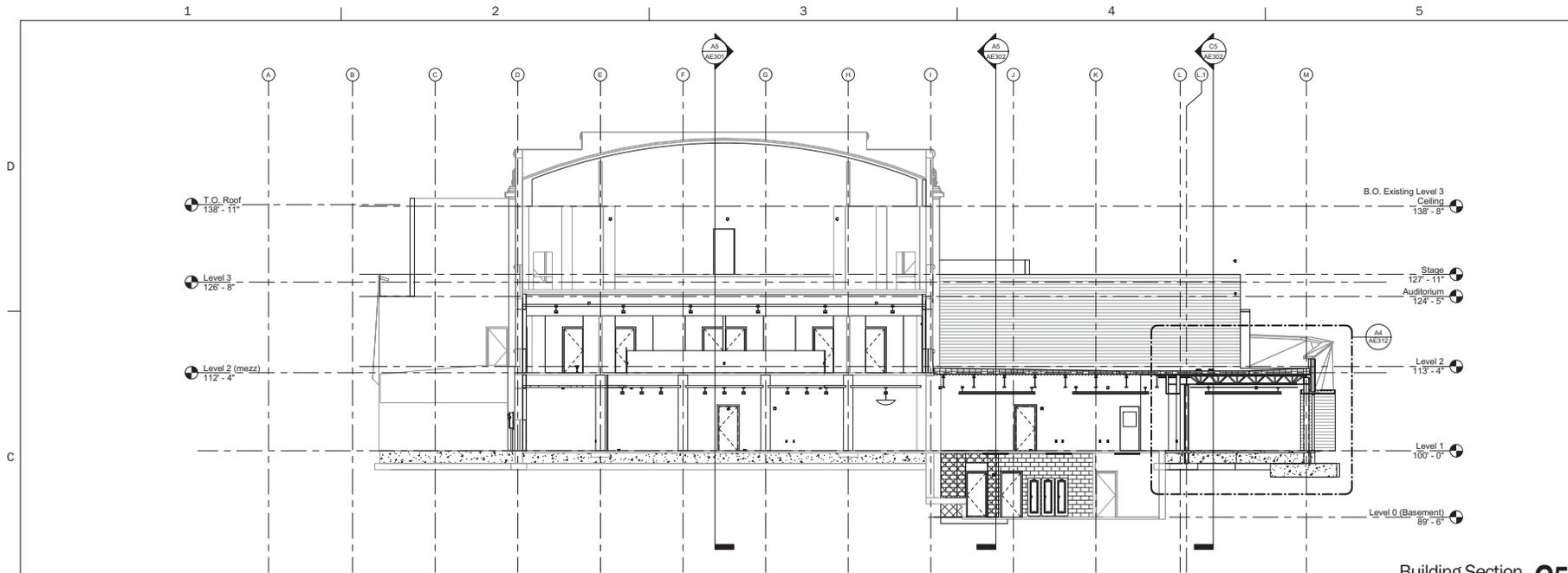
revisions

date: 01 April 2014
project no.: 130122
HDDR Submittal

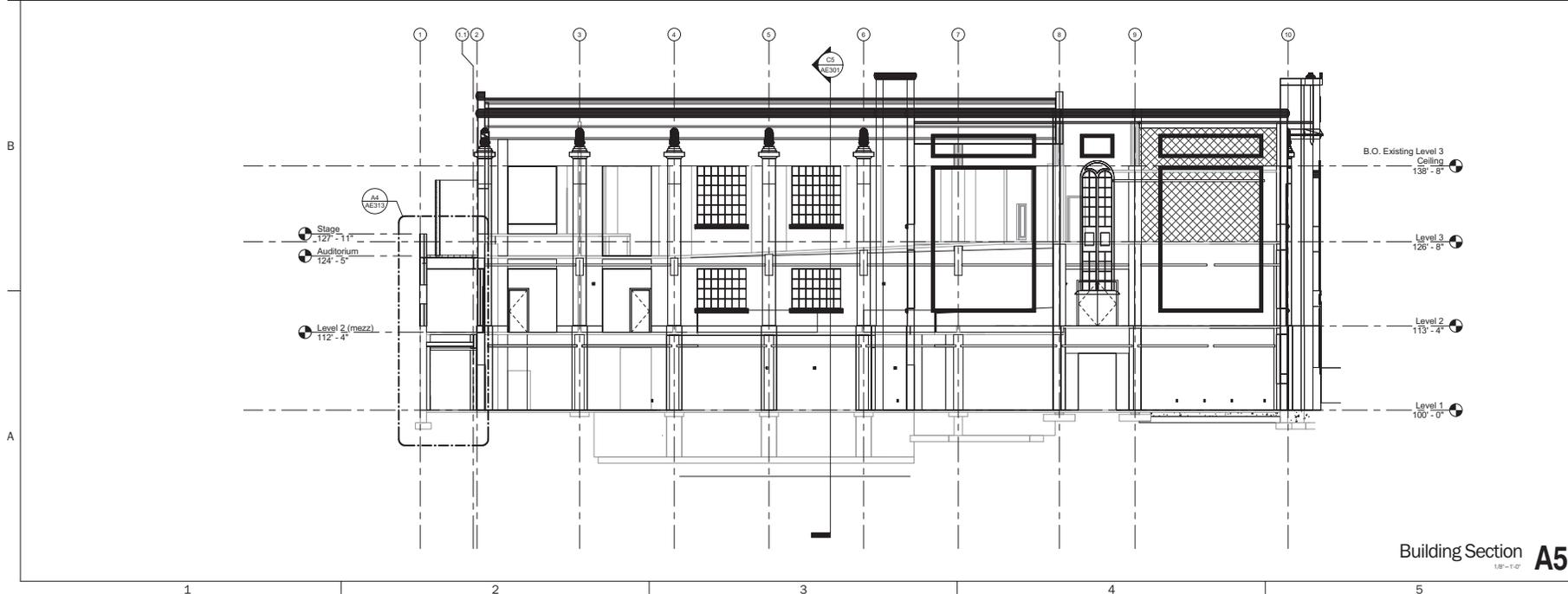
Park City Library and Carl Winters School Building Remodel Project

1.255 Park Avenue, Park City, Utah

Exterior Elevations
AE202



Building Section **C5**
1/8"=1'-0"



Building Section **A5**
1/8"=1'-0"

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock and Partners, LLC.

stamp

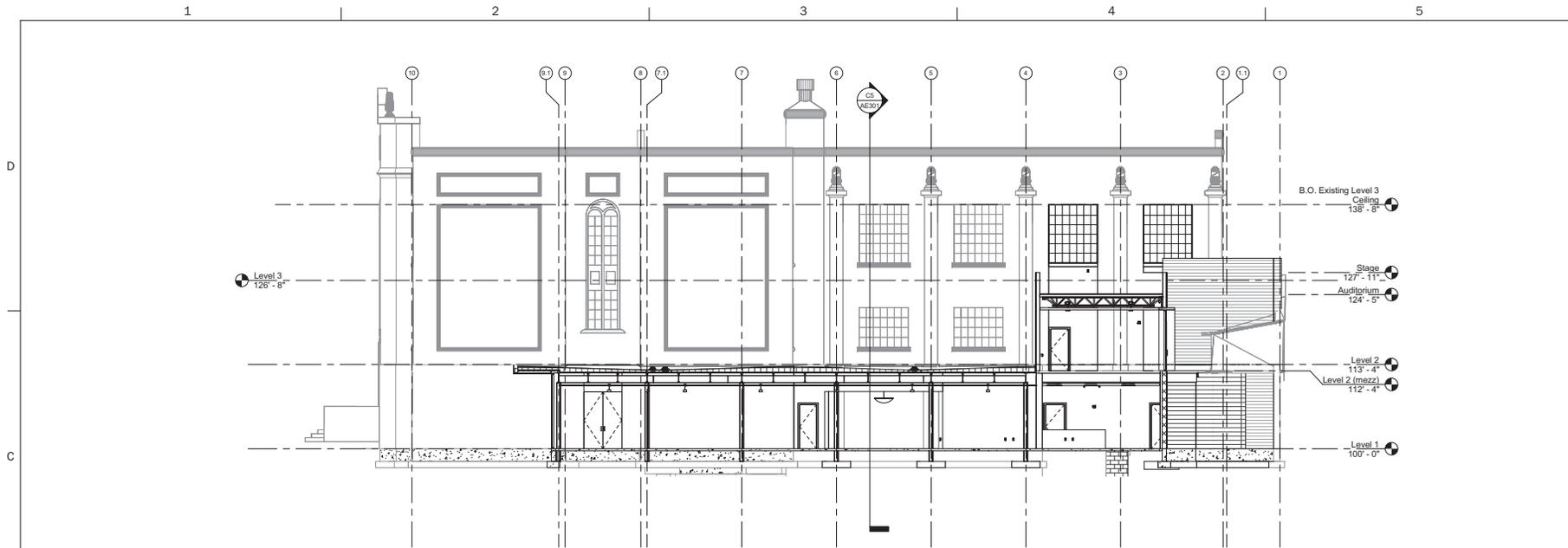
revisions

date: 01 April 2014
project no.: 130122
HDRR Submittal

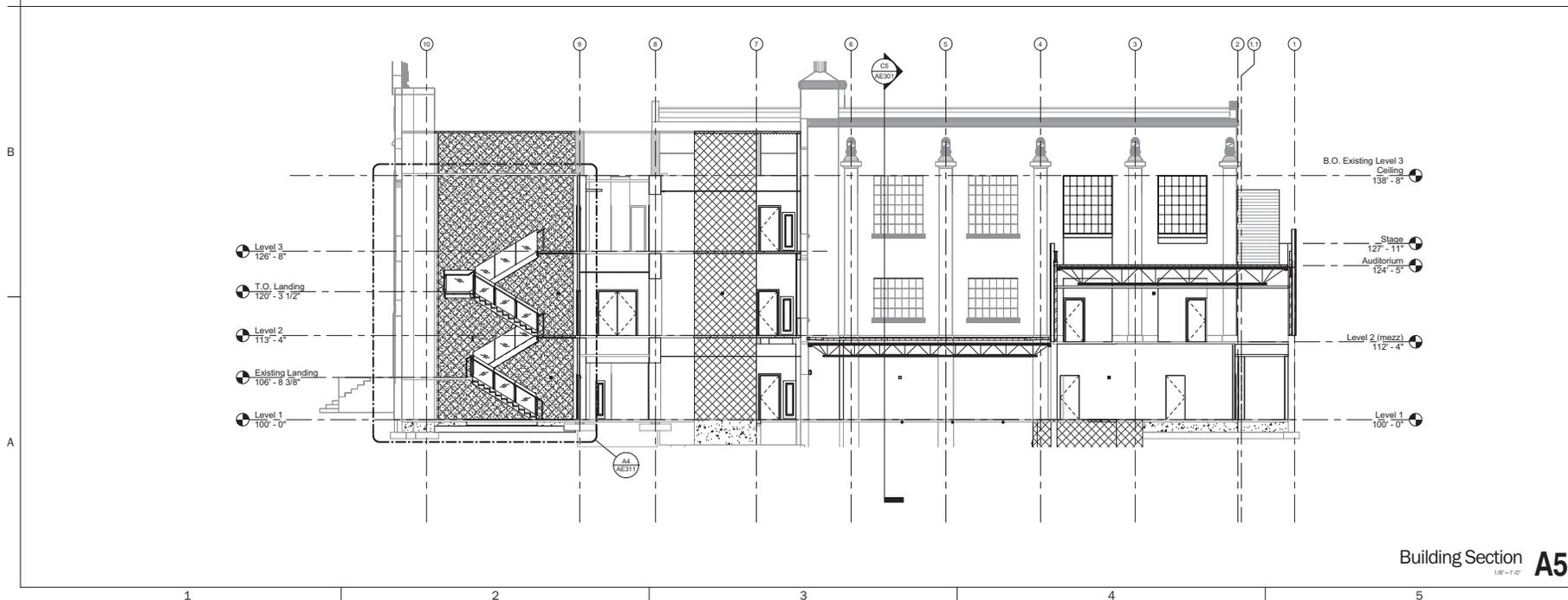
**Park City Library and Carl Winters
School Building Remodel Project**

1255 Park Avenue, Park City, Utah

Building Sections
AE301



Building Section **C5**
1/8"=1'-0"



Building Section **A5**
1/8"=1'-0"

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock and Partners, LLC.

stamp

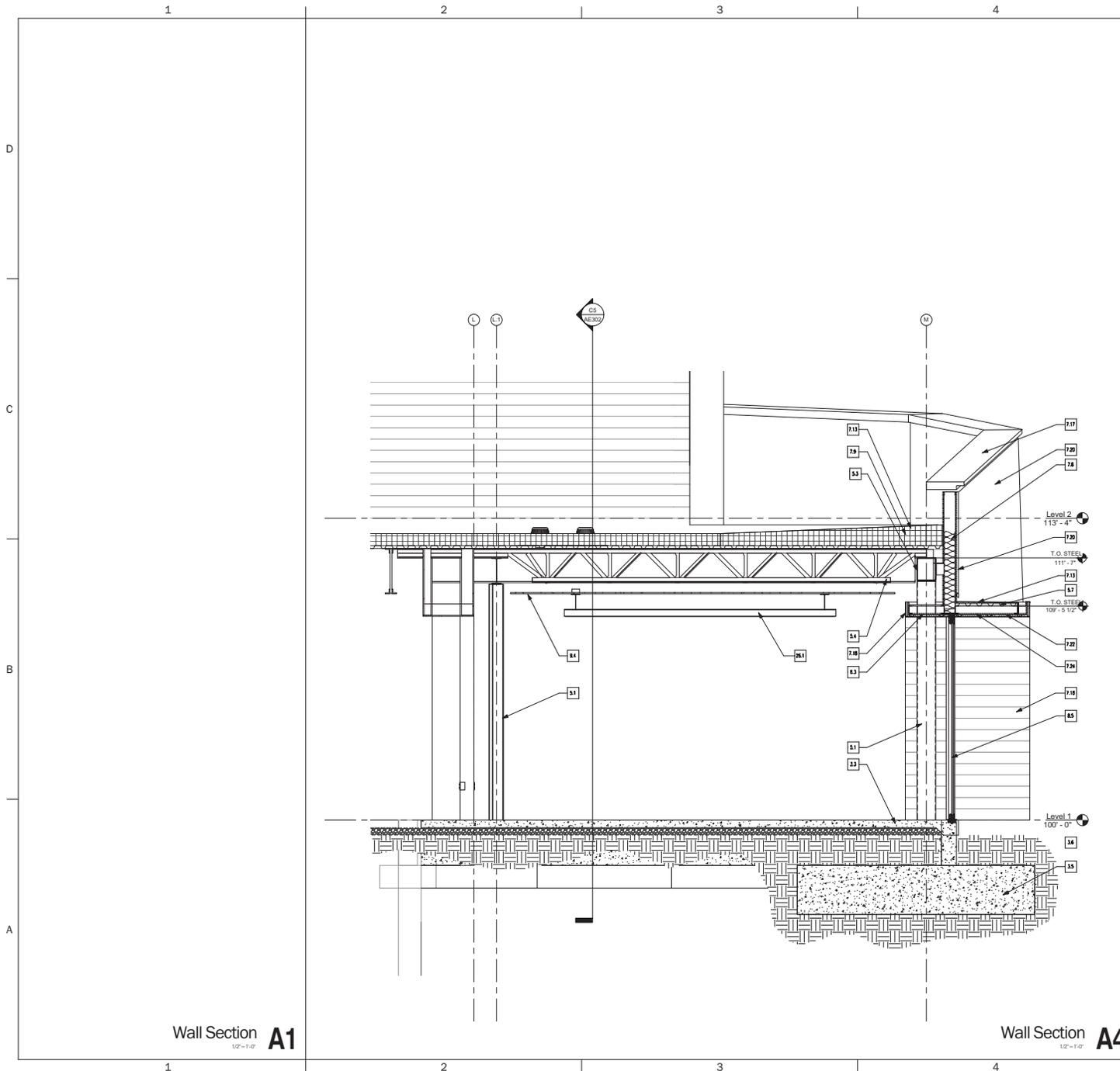
revisions

date: 01 April 2014
project no.: 130122
HDDR Submittal

**Park City Library and Carl Winters
School Building Remodel Project**

1255 Park Avenue, Park City, Utah

Building Sections
AE302



- KEYNOTES**
- 1.3 CONSTRUCTION LIMITS
 - 1.4 PROPERTY LINE
 - 2.1 EXISTING LIGHT POLE TO REMAIN
 - 2.2 EXISTING FIRE HYDRANT TO REMAIN
 - 2.3 EXISTING SIGN TO REMAIN
 - 2.4 EXISTING WALK (OR PORTION OF) TO REMAIN
 - 2.5 EXISTING STRIPING TO REMAIN, TYP.
 - 2.6 EXISTING BUS STOP STRUCTURE TO REMAIN
 - 2.7 EXISTING LIGHT BOLLARD TO REMAIN
 - 2.8 EXISTING VEGETATION TO REMAIN, TYP.
 - 2.9 EXISTING WALL TO REMAIN, TYP.
 - 2.10 EXISTING COLUMN TO REMAIN
 - 2.12 EXISTING TUNNEL TO REMAIN, TYP.
 - 2.14 EXISTING STAIRS TO REMAIN
 - 2.15 EXISTING SKYLIGHT TO REMAIN
 - 2.16 EXISTING ROOF DRAIN TO REMAIN
 - 2.17 EXISTING PARAPET SUPPORTS TO REMAIN, TYP. OTHER PARAPET SUPPORTS EXIST THAT ARE NOT SHOWN. ALL ARE TO REMAIN.
 - 2.18 EXISTING PARAPET CAP TO REMAIN, TYP.
 - 2.19 EXISTING AIR HANDLER TO REMAIN
 - 2.20 EXISTING CONCRETE SLAB TO REMAIN
 - 2.40 RELOCATE CUBBIES/LOCKERS TO 3RD FLOOR - SEE NEW CONSTRUCTION FLOOR PLAN
 - 2.50 REMOVE PORTION OF BUILDING (SEE DEMO FLOOR PLANS)
 - 2.51 REMOVE WALL (OR PORTION OF), TYP.
 - 2.52 REMOVE DOOR AND FRAME, TYP.
 - 2.53 REMOVE GLAZING
 - 2.54 REMOVE PLUMBING FIXTURE, TYP. (SEE ALSO MECHANICAL DRAWINGS)
 - 2.55 REMOVE BENCH AND CONCRETE PAD
 - 2.56 REMOVE ARCHWAY AND SUPPORTING BASE/COLUMNS
 - 2.57 REMOVE BIKE RACKS
 - 2.58 REMOVE TRANSFORMER (SEE ALSO ELECTRICAL DRAWINGS)
 - 2.59 REMOVE VEGETATION, TYP.
 - 2.60 REMOVE CURB/CUTTER (SEE ALSO CIVIL DRAWINGS)
 - 2.61 REMOVE ASPHALT PAVING (SEE ALSO CIVIL DRAWINGS)
 - 2.63 REMOVE STRIPING, TYP.
 - 2.64 REMOVE BUILT-IN CABINETRY/MILLWORK
 - 2.65 REMOVE FLOOR FINISHES, PREP CONCRETE SUBFLOOR FOR NEW FINISHES.
 - 2.66 REMOVE CONCRETE SLAB (OR PORTION OF)
 - 2.67 REMOVE CONCRETE/METAL DECK, CONCRETE FLOOR AND SUPPORTING JOISTS (SEE ALSO STRUCTURAL DRAWINGS)
 - 2.70 REMOVE ELEVATORS AND ASSOCIATED EQUIPMENT
 - 2.76 REMOVE TOILET PARTITIONS, TYP.
 - 2.77 REMOVE STAIRS
 - 2.78 REMOVE CONCRETE WALK (OR PAD)
 - 2.79 REMOVE LIGHT BOLLARD
 - 2.80 REMOVE SIGN - SALVAGE TO OWNER
 - 2.81 REMOVE TURF/GROUND COVER
 - 2.82 REMOVE EXISTING ROOFING MEMBRANE LAYERS TO SUBSTRATE
 - 2.83 REMOVE EXISTING FIN TUBE RADIANT HEATERS AND SALVAGE/STORE FOR REINSTALLATION. INVENTORY FOR REINSTALLATION IN THE SAME LOCATIONS REMOVED FROM. NOTE: EXISTING HOT WATER MAINS FEEDING THE HEATERS ARE TO REMAIN.
 - 2.84 REMOVE PLUMBING - CAP AT NEAREST MAIN
 - 2.85 REMOVE GYP SHEATHING DOWN TO FRAMING, TYP. REMOVE FRAMING AS REQ'D
 - 2.86 SAWCUT/REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ACCOMMODATE NEW SPOT FOOTINGS, REF. STRUCTURAL
 - 3.1 4" CONCRETE SIDEWALK ON 4" AGGREGATE BASE COURSE
 - 3.3 4" CONCRETE SLAB OVER 4" COMPACTED GRAVEL FILL
 - 3.10 CONCRETE FOOTING, REF. STRUCTURAL
 - 3.6 CONCRETE FOUNDATION WALL - REF. STRUCTURAL
 - 3.10 CONCRETE SLAB OVER METAL DECK - REF. STRUCTURAL
 - 3.11 CONCRETE SITE WALL/PLANTER (ADD ALTERNATE #1 - SEE ALTERNATES SPECIFICATION)
 - 3.13 HATCHED AREA INDICATES EXTENT NEW CARBON FIBER REINFORCEMENT UNDER NEW EPDM ROOFING. REF. STRUCTURAL FOR REQUIREMENTS.
 - 5.1 STEEL COLUMN - REF. STRUCTURAL
 - 5.3 STEEL BEAM - REF. STRUCTURAL
 - 5.4 STEEL JOIST - REF. STRUCTURAL
 - 5.7 METAL ROOF DECK - REF. STRUCTURAL
 - 6.3 8" P PAINTED PLYWOOD SHEATHING - REF. STRUCTURAL
 - 7.8 BATT INSULATION, MINERAL-FIBER BLANKET INSULATION - REF. WALL TYPES
 - 7.9 4" MIN. RIGID POLYISO INSULATION, R-20 MIN.
 - 7.13 SINGLE PLY ROOF MEMBRANE
 - 7.17 PRE-FINISHED METAL PARAPET CAP
 - 7.18 WOOD VENEERED COMPOSITE PANEL SYSTEM WITH EXPOSED FASTENERS
 - 7.20 ZINC METAL WALL PANEL
 - 7.22 BLACK, UV RESISTANT WEATHER BARRIER
 - 7.23 NEW EPDM ROOFING OVER ENTIRE AREA INDICATED, TYP. REF. SPECIFICATIONS. WRAP MEMBRANE AROUND BOTTOM PARAPET SUPPORTS (SOME NOT SHOWN) AS REQUIRED TO CREATE A COMPLETELY SEALED MEMBRANE SYSTEM. WRAP UP TO EXISTING PARAPET WALLS TO UNDERSIDE OF PARAPET CAP AND EMBED INTO TERMINATION BARS RUNNING DIRECTLY UNDER EXISTING PARAPET CAP. CALK BETWEEN PARAPET CAP AND TERMINATION BAR.
 - 7.24 EXTERIOR SHEATHING
 - 8.2 CURTAINWALL WINDOW
 - 8.5 THERMALLY BROKEN ALUMINUM FRAMED FOLDING PANEL SYSTEM
 - 8.6 TEMPERED GLASS INFILL PANELS
 - 9.4 ACOUSTICAL PANEL CEILING/CLOUD
 - 14.1 PASSENGER ELEVATOR
 - 26.1 ELECTRIC LIGHT FIXTURE - REF. ELECTRICAL
 - 26.4 TRANSFORMER - REF. ELECTRICAL
 - 26.5 ELECTRIC LIGHT BOLLARD, TYP. - REF. ELECTRICAL
 - 32.1 ASPHALTIC CONCRETE PAVING - REF. CIVIL
 - 32.4 BIKE RACKS
 - 32.6 TREES/SHRUBS - REF. LANDSCAPE
 - 32.7 TRASH/RECYCLE BIN ENCLOSURE
 - 32.8 METAL CLAD SITE WALL (ADD ALTERNATE #2 - SEE ALTERNATES SPECIFICATION)
 - 32.9 PARKING STRIPING
 - 32.10 VAN ACCESSIBLE ADA PARKING STALL
 - 32.11 CURB AND GUTTER - REF. CIVIL
 - 32.12 LIBRARY SIGNAGE
 - 32.13 PEDESTRIAN CIRCULATION STRIPING

and **blalock**
PARTNERS
architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock and Partners, LLC.

stamp

revisions

date: 01 April 2014
project no.: 130122
HDDR Submittal

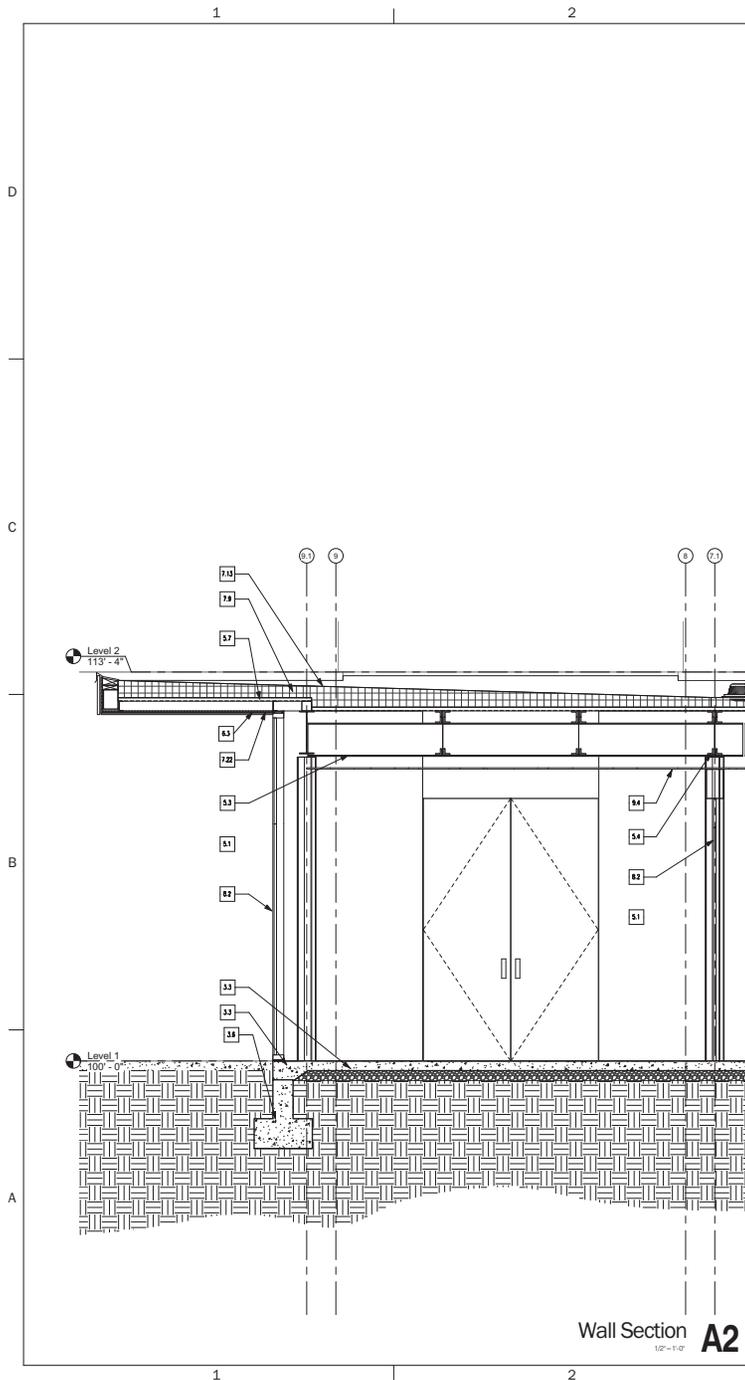
Park City Library and Carl Winters School Building Remodel Project

1.255 Park Avenue, Park City, Utah

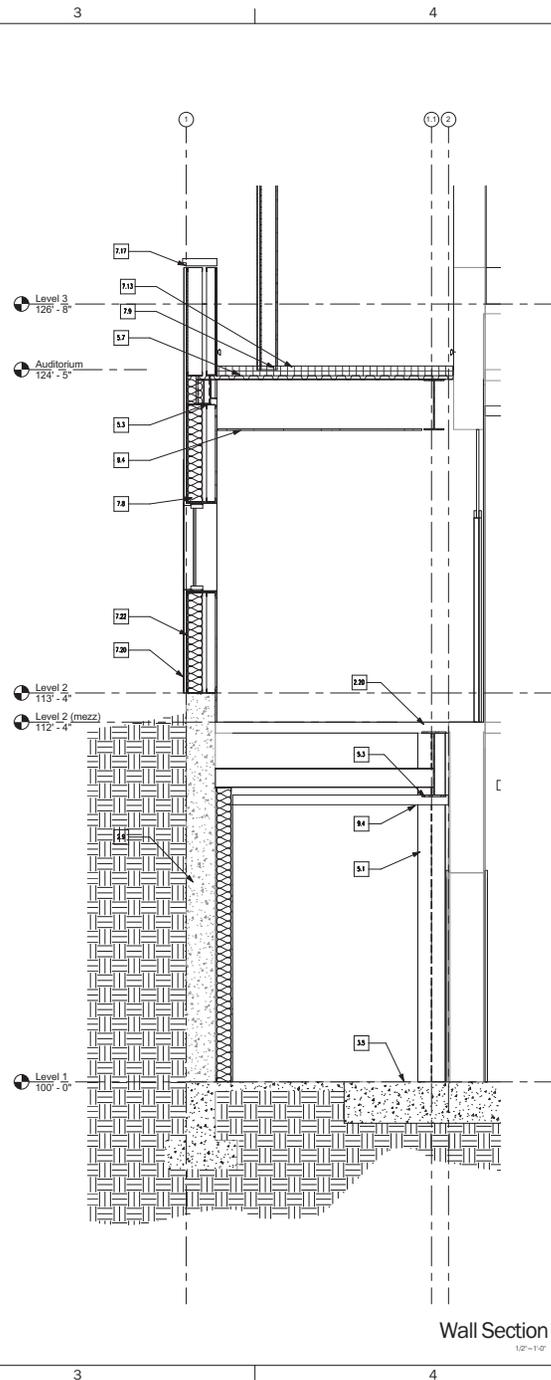
Wall Sections
AE312

Wall Section **A1**
1/2" = 1'-0"

Wall Section **A4**
1/2" = 1'-0"



Wall Section A2
1/2" = 1'-0"



Wall Section A4
1/2" = 1'-0"

- KEYNOTES**
- 1.3 CONSTRUCTION LIMITS
 - 1.4 PROPERTY LINE
 - 2.1 EXISTING LIGHT POLE TO REMAIN
 - 2.2 EXISTING FIRE HYDRANT TO REMAIN
 - 2.3 EXISTING SIGN TO REMAIN
 - 2.4 EXISTING WALK (OR PORTION OF) TO REMAIN
 - 2.5 EXISTING STRIPING TO REMAIN, TYP.
 - 2.6 EXISTING BUS STOP STRUCTURE TO REMAIN
 - 2.7 EXISTING LIGHT POLLARD TO REMAIN
 - 2.8 EXISTING VEGETATION TO REMAIN, TYP.
 - 2.9 EXISTING WALL TO REMAIN, TYP.
 - 2.10 EXISTING COLUMN TO REMAIN
 - 2.12 EXISTING TUNNEL TO REMAIN, TYP.
 - 2.14 EXISTING STAIRS TO REMAIN
 - 2.15 EXISTING SKLOUGHT TO REMAIN
 - 2.16 EXISTING ROOF DRAIN TO REMAIN
 - 2.17 EXISTING PARAPET SUPPORTS TO REMAIN, TYP. OTHER PARAPET SUPPORTS EXIST THAT ARE NOT SHOWN. ALL RISERS TO REMAIN.
 - 2.18 EXISTING PARAPET CAP TO REMAIN, TYP.
 - 2.19 EXISTING AIR HANDLER TO REMAIN
 - 2.20 EXISTING CONCRETE SLAB TO REMAIN
 - 2.40 RELOCATE CUBBIELOCKERS TO 3RD FLOOR - SEE NEW CONSTRUCTION FLOOR PLAN
 - 2.50 REMOVE PORTION OF BUILDING (SEE DEMO FLOOR PLANS)
 - 2.51 REMOVE WALL (OR PORTION OF), TYP.
 - 2.52 REMOVE DOOR AND FRAME, TYP.
 - 2.53 REMOVE GLAZING
 - 2.54 REMOVE PLUMBING FIXTURE, TYP. (SEE ALSO MECHANICAL DRAWINGS)
 - 2.55 REMOVE BENCH AND CONCRETE PAD
 - 2.56 REMOVE ARCHWAY AND SUPPORTING BASE/COLUMNS
 - 2.57 REMOVE BIKE RACKS
 - 2.58 REMOVE TRANSFORMER (SEE ALSO ELECTRICAL DRAWINGS)
 - 2.59 REMOVE VEGETATION, TYP.
 - 2.60 REMOVE CURB/CUTTER (SEE ALSO CIVIL DRAWINGS)
 - 2.61 REMOVE ASPHALT PAVING (SEE ALSO CIVIL DRAWINGS)
 - 2.63 REMOVE STRIPING, TYP.
 - 2.64 REMOVE BUILT-IN CABINETRY/MILLWORK
 - 2.65 REMOVE FLOOR FINISHES. PREP CONCRETE SUBFLOOR FOR NEW FINISHES.
 - 2.66 REMOVE CONCRETE SLAB (OR PORTION OF)
 - 2.67 REMOVE CONCRETE/METAL DECK, CONCRETE FLOOR AND SLIP SUPPORTING JOISTS (SEE ALSO STRUCTURAL DRAWINGS)
 - 2.70 REMOVE ELEVATORS AND ASSOCIATED EQUIPMENT
 - 2.76 REMOVE TOILET PARTITIONS, TYP.
 - 2.77 REMOVE STAIRS
 - 2.78 REMOVE CONCRETE WALK (OR PAD)
 - 2.79 REMOVE LIGHT POLLARD
 - 2.80 REMOVE SIGN - SALVAGE TO OWNER
 - 2.81 REMOVE TURF/GROUND COVER
 - 2.82 REMOVE EXISTING ROOFING MEMBRANE LAYERS TO SUBSTRATE
 - 2.83 REMOVE EXISTING FIN TUBE RADIANT HEATERS AND SALVAGE/STORE FOR REINSTALLATION. INVENTORY FOR REINSTALLATION IN THE SAME LOCATIONS REMOVED FROM. NOTE: EXISTING HOT WATER MAINS FEEDING THE HEATERS ARE TO REMAIN.
 - 2.84 REMOVE PLUMBING - CAP AT NEAREST MAIN
 - 2.85 REMOVE GYP SHEATHING DOWN TO FRAMING, TYP. REMOVE FRAMING AS REQ'D
 - 2.86 SAWCUT/REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ACCOMMODATE NEW SPOT FOOTINGS. REF. STRUCTURAL
 - 3.1 4" CONCRETE SIDEWALK ON 4" AGGREGATE BASE COURSE
 - 3.3 4" CONCRETE SLAB OVER 4" COMPACTED GRAVEL FILL
 - 3.5 CONCRETE FOOTING. REF. STRUCTURAL
 - 3.6 CONCRETE FOUNDATION WALL - REF. STRUCTURAL
 - 3.10 CONCRETE SLAB OVER METAL DECK - REF. STRUCTURAL
 - 3.11 CONCRETE SITE WALL/PLANTER (ADD ALTERNATE #1 - SEE ALTERNATES SPECIFICATION)
 - 3.13 HATCHED AREA INDICATES EXTENT NEW CARBON FIBER REINFORCEMENT UNDER NEW EPDM ROOFING. REF. STRUCTURAL FOR REQUIREMENTS.
 - 5.1 STEEL COLUMN - REF. STRUCTURAL
 - 5.3 STEEL BEAM - REF. STRUCTURAL
 - 5.4 STEEL JOIST - REF. STRUCTURAL
 - 5.7 METAL ROOF DECK - REF. STRUCTURAL
 - 6.3 SIP PAINTED PLYWOOD SHEATHING - REF. STRUCTURAL
 - 7.8 BATT INSULATION, MINERAL-FIBER BLANKET INSULATION - REF. WALL TYPES
 - 7.9 4" MIN. RIGID POLY-ISO INSULATION, R-20 MIN.
 - 7.13 SINGLE PLY ROOF MEMBRANE
 - 7.17 PRE-FINISHED METAL PARAPET CAP
 - 7.18 WOOD VENEERED COMPOSITE PANEL SYSTEM WITH EXPOSED FASTENERS
 - 7.20 ZINC METAL WALL PANEL
 - 7.22 BLACK, UV RESISTANT WEATHER BARRIER
 - 7.23 NEW EPDM ROOFING OVER ENTIRE AREA INDICATED. TYP. REF. SPECIFICATIONS. WRAP MEMBRANE AROUND BOTTOM PARAPET SUPPORTS (SOME NOT SHOWN) AS REQUIRED TO CREATE A COMPLETELY SEALED MEMBRANE SYSTEM. WRAP UP TO EXISTING PARAPET WALLS TO UNDERSIDE OF PARAPET CAP AND EMBED INTO TERMINATION BARS RUNNING DIRECTLY UNDER EXISTING PARAPET CAP. CALK BETWEEN PARAPET CAP AND TERMINATION BAR.
 - 7.24 EXTERIOR SHEATHING
 - 8.2 CURTAINWALL WINDOW
 - 8.5 THERMALLY BROKEN ALUMINUM FRAMED FOLDING PANEL SYSTEM
 - 8.6 TEMPERED GLASS INFILL PANELS
 - 9.4 ACoustICAL PANEL CEILING/CLOUD
 - 14.1 PASSENGER ELEVATOR
 - 26.1 ELECTRIC LIGHT FIXTURE - REF. ELECTRICAL
 - 26.4 TRANSFORMER - REF. ELECTRICAL
 - 26.5 ELECTRIC LIGHT POLLARD, TYP. - REF. ELECTRICAL
 - 32.1 ASPHALTIC CONCRETE PAVING - REF. CIVIL
 - 32.4 BIKE RACKS
 - 32.6 TREES/SHRUBS - REF. LANDSCAPE
 - 32.7 TRASH/RECYCLE BIN ENCLOSURE
 - 32.8 METAL CLAD SITE WALL (ADD ALTERNATE #2 - SEE ALTERNATES SPECIFICATION)
 - 32.9 PARKING STRIPING
 - 32.10 VAN ACCESSIBLE ADA PARKING STALL
 - 32.11 CURB AND GUTTER - REF. CIVIL
 - 32.12 LIBRARY SIGNAGE
 - 32.13 PEDESTRIAN CIRCULATION STRIPING

and
blalock
PARTNERS
architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part, without the sole and express written permission from Blalock & Partners, LLC.



Future View **C5**
Scale: N.T.S.

revisions

date: 01 April 2014
project no.: 130122
HDDR Application



Existing View **A5**
Scale: N.T.S.

**Park City Library and Carl Winters
School Building Remodel Project**
1255 Park Avenue, Park City, Utah

Exterior Views
AR301



METAL CLAD SITE WALL TO MATCH BUILDING CLADDING. NOTE: SITE WALLS SHOWN ARE CONCEPTUAL ONLY. SITE WALLS ARE TO BE FURTHER DESIGNED AND DEVELOPED.

EXISTING HISTORIC STRUCTURE TO REMAIN

SELECTIVE DEMOLITION OF EXISTING NON-HISTORIC STRUCTURE

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

Future View **C5**
Scale: N.T.S.

revisions

date: 01 April 2014
project no.: 130122
HDDR Application

**Park City Library and Carl Winters
School Building Remodel Project**

1255 Park Avenue, Park City, Utah

Existing View **A5**
Scale: N.T.S.

Exterior Views
AR302



Future View **C5**
Scale: N.T.S.



EXISTING HISTORIC STRUCTURE TO REMAIN

SELECTIVE DEMOLITION OF EXISTING NON-HISTORIC STRUCTURE

Existing View **A5**
Scale: N.T.S.

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
project no.: 130122
HDDR Application

**Park City Library and Carl Winters
School Building Remodel Project**

1255 Park Avenue, Park City, Utah

Exterior Views
AR303



Future View **C5**
Scale: N.T.S.



EXISTING HISTORIC STRUCTURE TO REMAIN

SELECTIVE DEMOLITION OF EXISTING NON-HISTORIC STRUCTURE

Existing View **A5**
Scale: N.T.S.

blalock
and
PARTNERS

architectural design studio

307 West 200 South, Suite 4003
Salt Lake City, UT 84101
801.532.4940

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
project no.: 130122
HDDR Application

Park City Library and Carl Winters School Building Remodel Project
1255 Park Avenue, Park City, Utah

Exterior Views
AR304

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

revisions

date: 01 April 2014
project no.: 130122
HDDR Application

**Park City Library and Carl Winters
School Building Remodel Project**

1255 Park Avenue, Park City, Utah

Exterior Views
AR305



Future View C3
Scale: N.T.S.



Future View C5
Scale: N.T.S.



FUTURE VIEW A3
Scale: N.T.S.



FUTURE VIEW A5
Scale: N.T.S.

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.



Future View C5
Scale: N.T.S.

revisions

date: 01 April 2014
project no.: 130122
HDDR Application

**Park City Library and Carl Winters
School Building Remodel Project**

1255 Park Avenue, Park City, Utah



FUTURE VIEW A3
Scale: N.T.S.



FUTURE VIEW A5
Scale: N.T.S.

Exterior Views
AR306

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Blalock & Partners, LLC.

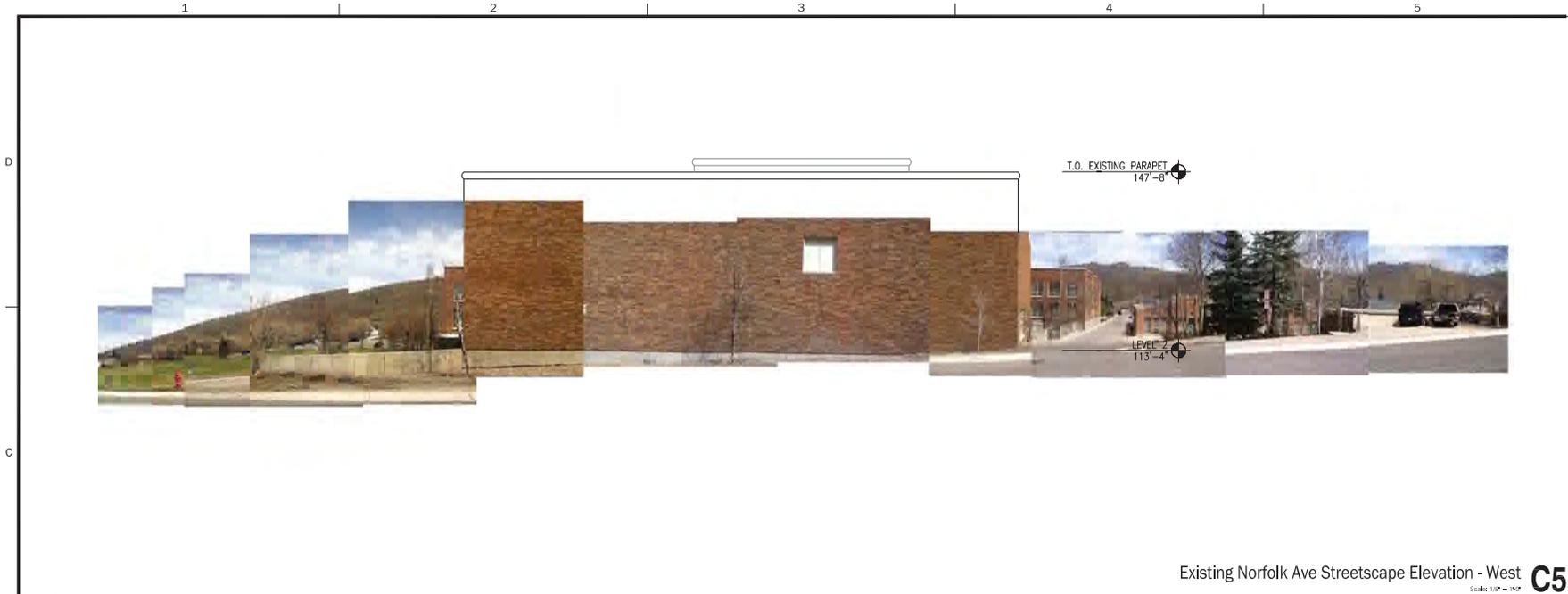
revisions

date: 01 April 2014
project no.: 130122
HDDR Application

**Park City Library and Carl Winters
School Building Remodel Project**

1255 Park Avenue, Park City, Utah

Streetscape Elevations
AR201



Existing Norfolk Ave Streetscape Elevation - West **C5**
Scale: 1/8" = 1'-0"

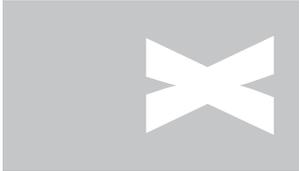


Future Norfolk Ave Streetscape Elevation - West **A5**
Scale: 3/32" = 1'-0"

| | |
|----------------|--|
| date | April 01, 2014 |
| project | Park City Library and Carl Winters School Building Remodel Project |
| | HDDR Application – Exterior Materials |

Exterior Materials:

| item # | component | description |
|---------------|------------------|---|
| 1 | Walls | Wood Veneered Composite Panel System with Exposed Fasteners <ul style="list-style-type: none"> Basis of Design: Mfr. – Prodema, Model: Prodex, Color: Deep Brown |
| 2 | Walls | Zinc Metal Wall Panel System <ul style="list-style-type: none"> Basis of Design: Mfr. – Rheinzink, Model: Reveal Panel, Color: Gray |
| 3 | Doors | Folding Panel Doors <ul style="list-style-type: none"> Basis of Design: Mfr. – Nana Wall, Model: SL70, Color: Clear/Gray |
| 4 | Doors/Windows | Storefront Doors and Windows <ul style="list-style-type: none"> Basis of Design: Mfr. – Kawneer, Model: Trifab 400, Color: Clear Anodized Thermally Broken |
| 5 | Windows | Windows to match existing windows installed in 1992 <ul style="list-style-type: none"> Thermally broken aluminum frames Insulated Double Pane Low-E Glazing Divided lights to match existing sizes/patterns Color to match existing |



COMPOSITE PANELS
WITH NATURAL WOOD VENEER

Prodema

Prodema®
Made to last wooden Products

Prodema®
Made to last wooden Products

exteriors by Prodema®



Warm, Beautiful, Elegant...

These are just some of the words that spring to people's minds when they think of wood as a material for construction and decoration.

Wood, as a material that is widely available in nature, has been worked by man for thousands of years, and its applications have gradually been mastered over time.

At **Prodema** we have absorbed and concentrated all that age-old experience, we have updated it, adding a large dose of state-of-the-art technology, to create an original and avant-garde range of natural wood products for the world of architecture and decoration, which had been inconceivable up until recent years, for their appearance, quality, range and, above all, durability.



THERE ARE PLACES WHERE WE SHOULD
NEVER BUILD

However, when it is necessary, it should be done with materials which best adapt to nature; the very products of nature such as those made by **Prodema: natural wood composites** entirely committed to the most **sustainable architecture**.



Quality



What's left to say about quality? However, at **Prodema** we are particularly sensitive to this concept, as we are aware of how demanding our clients are and, above all, how demanding our clients' clients are. For that reason we make twice the effort. We understand quality to be an intrinsic part of the product as well as the service we offer.

Prodema has a management system certified with the ISO 9001 standard.

CERTIFICATES AND WARRANTIES

Prodema, as part of its philosophy of constant improvement, relies on internationally renowned external companies to certify its products and processes.

Prodema is registered with the following standards:

- ISO 9001 on Quality Management.
- ISO 14001 on the Environment.
- Chain of Custody of forest products according to the PEFC on request for **ProdEX** panels.
- ISO 14006 in ECoDesign. Product life cycle analysis (LCA) applied to all stages from the extraction of raw materials to the end of the life cycle.



ProdEX meets the requirements of standard EN 438 and has the following product / construction system certificates:

- AVIS TECHNIQUE from the CSTB (France).
- ZULASSUNG from the DITB (Germany).
- DIT Plus (Spain).
- NFPA 285 of INTERTEK US (United States).
- CAN S134 of INTERTEK C (Canada).

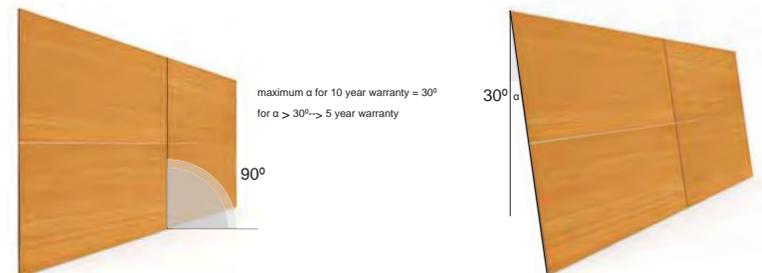
ProdEX's excellent features have been tested in prestigious laboratories, the following stand out:

- Reaction to fire: EN-13501
- Graffiti resistance: ASTM D 6578

Prodema carries out a comprehensive quality control on **ProdEX** material and offers a 10-year warranty* for this product.

* The general warranty conditions may be changed without prior notice.

For those panels that are not installed vertically, the warranty will be reduced to 5 years, due to the fact that the surface may age faster as a consequence of the greater angle of incidence of the solar radiation and due to the fact that rainwater may remain on the surface.



Corporate Social Responsibility



At **Prodema** we love wood, because it is our life and livelihood. This is why, apart from strictly meeting all international standards, we have also launched a plan that we have called "Friends with nature" in which we will heighten our support for all matters related to sustainable forest management.

This is why **Prodema's** products are manufactured in accordance with the most rigorous environmental requirements of the UNE-EN ISO 14.001 and UNE-EN ISO 14.006 standards for ECOdesign management, which means continuous improvement throughout the product life cycle to reduce environmental impact.

In addition, upon request, **ProdEX** panels can be requested with PEFC certificates which guarantee that the wood and other products of wood origin used to manufacture the **ProdEX** panels are from forests that are managed in an environmentally sustainable fashion.

Healthy architecture

Prodema.
New warm
and comfortable areas
that improve the life quality
of its inhabitants.



The impact of buildings on our physical and mental well being has been proven. The greater the sum of an area's sensorial and extra-sensorial well being the healthier the area.

At **Prodema**, as leaders in wood products for both indoor and outdoor, we develop solutions for a kind of architecture that is healthier in every way:

- Allowing for **better air circulation** by applying a ventilated façade based solution.
- Creating environments that are free of aggressive agents as we are dealing with a **100% natural product**.

- Allowing for improved **sound insulation**.

- Favouring the environment thanks to our policy of **total sustainability**.

- Making new colours such as **wint** available to architects; for the design of buildings with a greener and more natural image, to achieve the greatest possible integration of the building into its environment and to evoke areas which are less urban, wilder and more idyllic.

And above all, creating warm and comfortable areas that improve the life quality of its inhabitants.



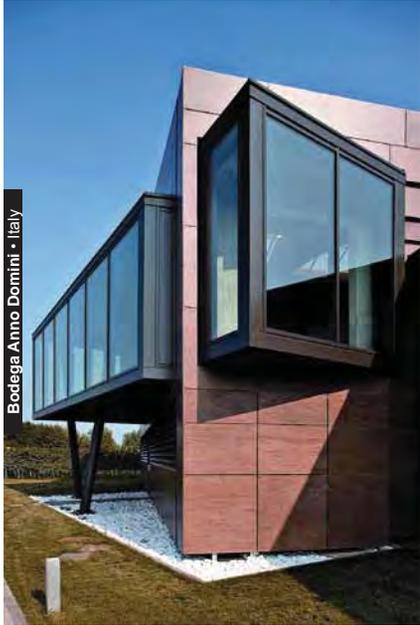
Shenwood Park Nottingham • UK



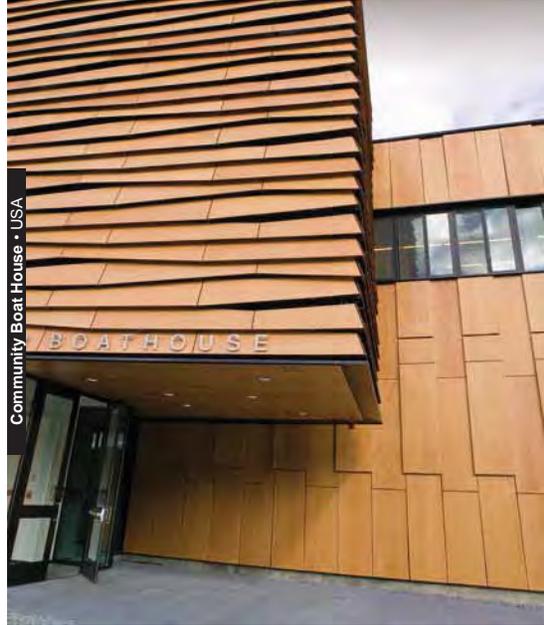
Aragano • Chile

Playgolf East Kilbride • UK

Hill Side Zürich • Switzerland



Bodega Anno Domini • Italy



Community Boat House • USA



Hill Side Zürich • Switzerland



Aragano • Chile

Playgolf East Kilbride • UK

Hill Side Zürich • Switzerland

1. ProdEX material

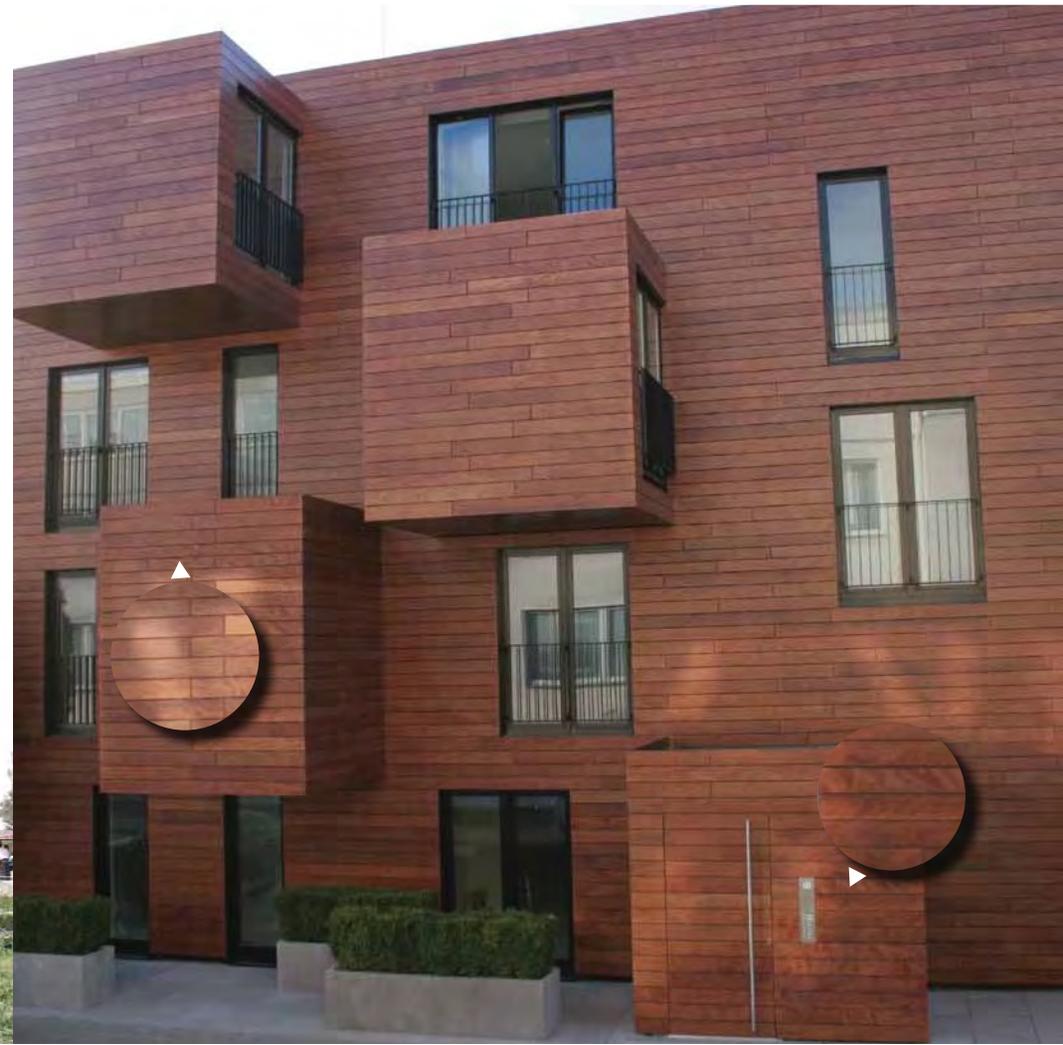
1.1. Characteristics of natural wood

ProdEX belongs to a new generation of products, and **Prodema**, is one of the only companies on the market manufacturing exterior façade panels with wood veneer. **ProdEX** panels may show certain characteristics that are inherent of natural wood itself, such as those indicated in the following examples:



► Transversal mirror images in the wood.

Hamburg Bogenallee
Blauraum Architekten Hamburg (Germany)



► Variation in colour, shade and shine of different panels made of the same type of wood.



Villa Saade
Dori Hiti (Lebanon)

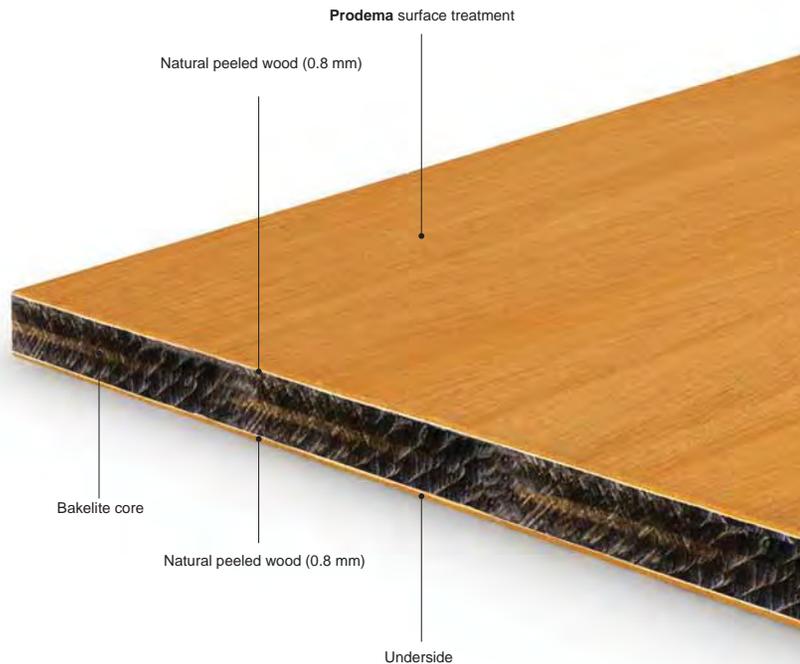
► Knots or holes in the wood coming from the trees themselves.



Hindleap Warren Outdoor Education Centre
Architekt RDJW Architects - London (UK)

1.2. Composition of panels

ProdEX is a composite panel faced with a natural wood veneer and coated with a proprietary coating, based on synthetic resins and PVDF, which protect the panel from the effects of sunlight, chemical attack (anti-graffiti) and the damage caused by atmospheric agents.



1.3. Main features

The different layers of material give the panel its unique characteristics:

Appearance

- Attractive aesthetic qualities due to the nature of the product – natural wood.
- Solid colour according to EN 438-2 standard, Sect. 28 and 29.

Resistance and durability

- **Density** $\geq 1.35 \text{ gr/cm}^3$.
- **High mechanical resistance.** Flexural strength $> 80 \text{ MPa}$ and modulus of elasticity $> 9000 \text{ MPa}$.
- **High resistance to weather.** In the artificial ageing tests, **ProdEX** obtains a colour stability of ≥ 3 after 9.000 hours of exposure to xenon radiation compared with the 3.000 hours required by the EN 438-2 standard: 2005 Sect. 29.
- **Long-lasting against wood-eating pests (termites):** with a Grade 0 result (no sign of infestation) according to test EN 350-1: 1994.
- **High resistance to sharp changes in temperature and moisture** (-20°C to 80°C) without loss of mechanical properties or changes in appearance, according to EN 438- 2: 1995 Sect. 19.
- **Excellent dimensional stability.** See chapter 2.2.2. (pg. 48).
- **High impact resistance against hard objects** with a small or large diameter.



Cleaning

- Easy to clean and maintain.
- The boards do not attract dust.



Graffiti resistance

- The exterior non-stick chemical sheet that impregnates the **ProdEX** panels prevents aerosol paint from sticking permanently to the board.



Fire-proof product (ProdEX IGN)

- All **ProdEX** boards can be supplied in a fire-proof format, according to EN 13.501-1 standard.
- This European standard provides the reaction to fire classification for all construction products.
- Construction combustible products can range from Class B to Class F, where Class B is the strictest of all classifications.
- Furthermore, the product may also hold an additional classification:
 - For smoke production: this can range from s1 to s3, where s1 is the strictest of the classifications.
 - For flaming droplets/particles: this can range from d0 to d2, where d0 is the strictest of the classifications.



1.4. Sizes and weight

The sizes and weight of the product are listed as follows:

Board size:

Length x Width

2.440 mm x 1.220 mm

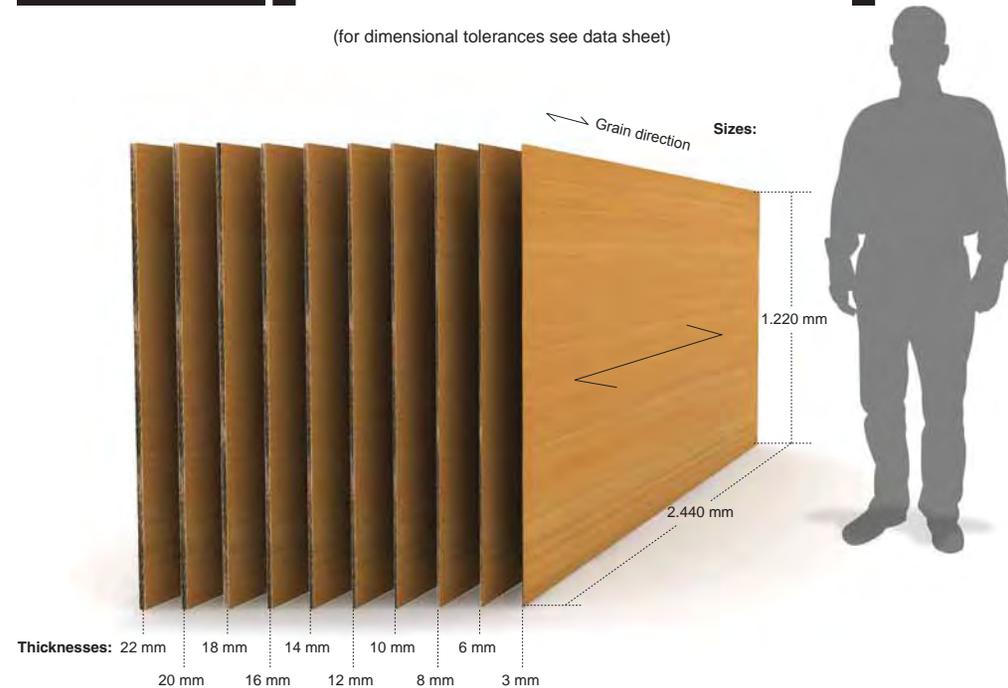
Thicknesses

3, 6, 8, 10, 12, 14, 16, 18, 20, 22 mm

Board weight:

| Board thickness | 3 | 6 | 8 | 10 | 12 | 14 | 16 | 18 | 20 | 22 | (mm) |
|-----------------------|------|------|-------|-------|-------|-------|-------|-------|-------|-------|------------------------|
| Weight / surface unit | 4,05 | 8,10 | 10,80 | 13,50 | 16,20 | 18,90 | 21,60 | 24,30 | 27,00 | 29,70 | (kg / m ²) |

(for dimensional tolerances see data sheet)



1.5. Colours

Each **Prodema** natural wood panel is unique and will exhibit differences in grain and colour within the same supply. **Prodema** carefully selects the wood veneers in an endeavour to ensure that the colour within a batch will be as homogeneous as possible.

As wood is a natural and dynamic product, the shade and grain may vary from those shown in the samples.

The shade of the edges can vary depending on the pressing process.



Dark brown



Rotary cut wood

Ayous Veneer



Okume Veneer



All **ProdEX** finishes are Smooth finish (smooth).

1.6. Technical characteristics

|  TECHNICAL DATA SHEET | | Doc.: FYPRODEX Rev.: 010 - Sep 2011 Page: 1/1 | | |
|---|--|--|-----------------------------------|--|
| MATERIAL: | | THICKNESS: | | |
| PRODEX | | 6 - 22 mm | | |
| TESTS | | SURFACE FINISH: | | |
| PRODEX | RESULTS | PROPERTY OR ATTRIBUTE | MEASURE UNIT | |
| 1. INSPECTION REQUIREMENTS | | | | |
| Color, grain and surface finish | Due to the fact that wood is a natural product, each veneer may be considered as unique. Color and structure differences are considered as normal. Imperfections such as knots and resin inclusions are not considered as defects, but as a part of the fiber. There are differences in light fastness performance depending on the wood species and the source of the wood. | | EN 438-2 Part 5.2.2.3 | |
| 2. DIMENSIONAL TOLERANCES | | | | |
| Thickness (D) | ± 0.40 ± 0.50 ± 0.60 ± 0.70 ± 0.80 | 0.0 ≤ t < 6.0 6.0 ≤ t < 12.0 12.0 ≤ t < 18.0 18.0 ≤ t < 20.0 20.0 ≤ t < 25.0 | mm | EN 438-2 Part 5 |
| Length and width | + 10/- 0 | --- | mm | EN 438-2 Part 6 |
| Edge straightness | 1.5 | --- | mm/m | EN 438-2 Part 7 |
| Edge squareness | 1.5 | --- | mm/m | EN 438-2 Part 8 |
| 3. PHYSICAL PROPERTIES | | | | |
| Dimensional stability at relevant temperature | 0.30 0.60 | Longrain Crossgrain | %-max. | EN 438-2 Part 17 |
| Resistance to impact (large diameter ball) | ≥ 1.800 | Maximal height for which no visible surface cracking or imprint greater than 10 mm (t < 5 mm) | mm | EN 438-2 Part 21 |
| Tensile strength | > 60 | Longrain Crossgrain | MPa | EN ISO 527-2 |
| Determination of galls resistance | Level 4 Level 4 Level 1 Level 2 | Permanant glue material Spray red paint Wax black (optional) Water based alk. Glue (optional) | Clarity level | ASTM D 5876-2000 |
| 4. WEATHER RESISTANCE REQUIREMENTS | | | | |
| Resistance to UV light | ≥ 3 ≥ 4 | Corrosion Achof | Grey scale rating Rating | EN 438-2 Part 26 Rating according to EN 20175 - 402 |
| Resistance to artificial weathering (including light fastness) | ≥ 3 ≥ 4 | Corrosion Achof | Grey scale rating Rating | EN 438-2 Part 29 Rating according to EN 20175 - 402 |
| 5. CE SAFETY REQUIREMENTS | | | | |
| Resistance to fire | C-s2,d0 | Emittance (t < 5 mm) | Classification | EN 13501-1 |
| Thermal resistance/conductivity | 0,261 | Thermal conductivity (t) | W/m K | EN 12964 |
| Water vapour permeability | 110 250 | WV (t) method Dry cup method | μ | EN 438-2 Part 4.2 |
| Resistance to fixings | > 2.000 ≥ 3.000 ≥ 4.000 | Screw holding values for t = 8 mm Screw holding values for t = 6 mm Screw holding values for t ≥ 10 mm | N | EN 438-2 Part 4.5 |
| Fluore strength | ≥ 80 ≥ 80 | Longrain Crossgrain | MPa | EN ISO 178 |
| Flexural Modulus | ≥ 8.000 ≥ 8.000 | Longrain Crossgrain | MPa | EN ISO 178 |
| Resistance to climatic shock | ≥ 4 ≥ 0,88 ≥ 0,95 | Appearance Flexural strength Elastic modulus | Rating Index Index Index | EN 438-2 Part 19 |
| Density | ≥ 1,38 | Density | g/cm³ | EN ISO 1482 |
| Resistance to wet conditions | ≥ 5 ≥ 6 | Moisture absorption Appearance | % Rating | EN 438-2 Part 15 |

ProdEX Fire reaction

NON Fireproof material (ProdEX)

Thickness ≥ 6 mm | Clas.: C-s2, d0 (according to EN 13.501-1)

Fireproof material (ProdEX IGN)

Thickness ≥ 6 mm | Clas.: B-s2, d0 (according to EN 13.501-1)

2. Mounting systems

2.1. Ventilated façade

It is essential to use a ventilated façade when mounting **ProdEX** panels. In order for this type of panel to perform correctly, it is very important that the differences in moisture and temperature between both sides of the panel are kept to a minimum. A ventilated façade has several advantages over a conventional façade:

- A ventilated façade provides us with waterproofing against rain and prevents water from penetrating into the air chamber.
- It evenly spreads the water vapour from the building's interior to the exterior.
- A ventilated façade generates constant air ventilation and prevents moisture from getting trapped and dampening the insulation.



- It reduces movements of the building's structure due to the fact that, as it ventilates the façade, temperature changes are reduced.
- It reduces heat bridges to a minimum.
- It achieves an energy saving of between 5 and 10%, as it absorbs less heat in summer and disperses less heat in winter.
- Easy to mount and dismantle, and it is a good solution for restorations.
- It improves sound insulation.

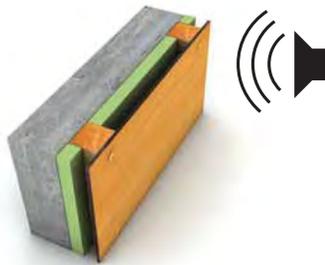
WATERPROOF AGAINST RAIN



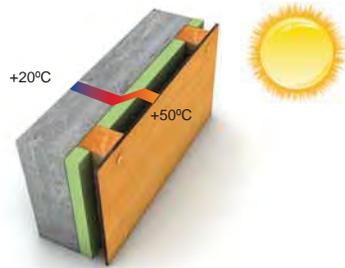
IMPROVES REACTION AGAINST FIRE



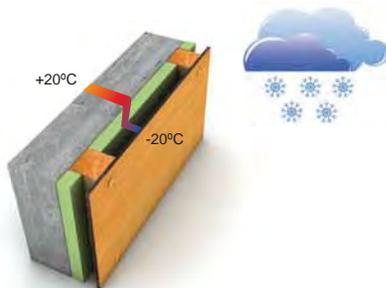
IMPROVES SOUND INSULATION



THERMAL - HEAT INSULATION

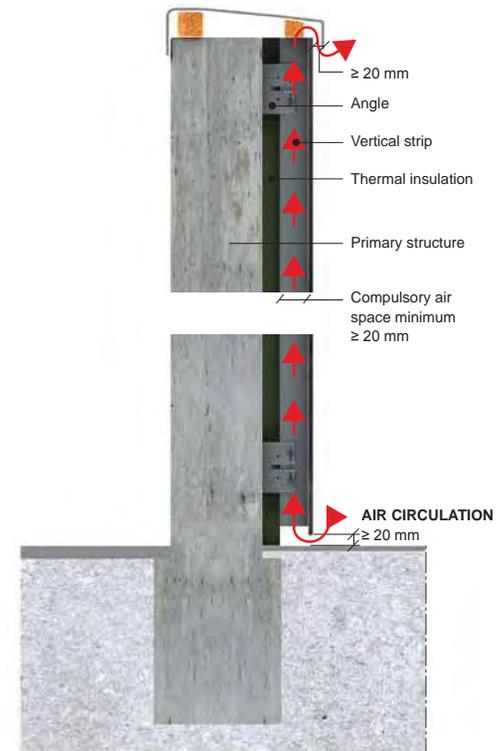


THERMAL - COLD INSULATION



In order for the **ProdEX** ventilated façade to function correctly, both sides of the board must be exposed to the air. To do so, it is important to bear in mind these main points:

- The air space between the panels and the insulation or closure must be at least 20 mm, and all national or local legislation indications must also be observed. For example, the Technical Building Code (CTE) in Spain indicates a space of 30 mm to 100 mm.
- Leave an opening of at least 20 mm in the lower and upper part of the façade, as well as in the doors and windows, so that air can circulate vertically.
- We recommend you use only vertical strips, as they do not interfere with air circulation. Should you use horizontal strips that make vertical ventilation difficult, there must be perforations in said strips to allow 20 cm²/m of ventilation for coverings on façades with a height of up to 1 metre, and 50 cm²/m for coverings on façades with a height of over 1 metre.



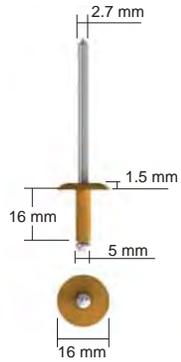
4.3. Screws and rivets

4.3.1 Fixing the board to the metal strip:

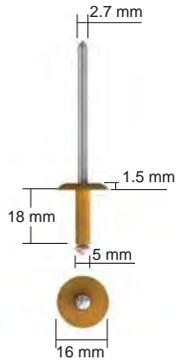


Ref: Self-drilling screw SFS-SX3-L12-5.5 x 32
Clamping length: ≤ 17 mm.
Size: \varnothing head: 12 mm.
 \varnothing screw: 5.5 mm.
L: 32 mm.
Material: Austenitic stainless steel 1.4567.
Finishes: Lacquered (pg. 76) or not lacquered.

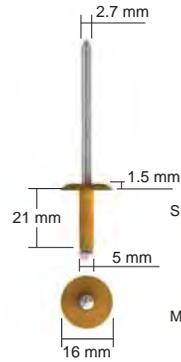
Use a special screwdriver: SFS-E 420 Federversion to correctly install the self-drilling screws. (See page 77).



Ref: Rivet.
SFS-AP-16-50160.
Clamping length: 8.0-12.0 mm.



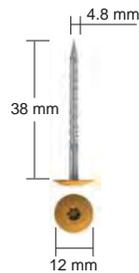
Ref: Rivet.
SFS-AP-16-50180.
Clamping length: 9.5-13.5 mm.



Ref: Rivet.
SFS-AP-16-50210.
Clamping length: 12.5-16.5 mm.

Sizes:
 \varnothing head: 16 mm.
 \varnothing rivet: 5 mm.
 \varnothing head thickness: 1.5 mm.
 \varnothing shaft thickness: 2.7 mm.
L: 16, 18 y 21 mm.
Materials:
Body: AlMg5.
Stem: Stainless steel 1.4541.
Finishes: Lacquered (pg. 76)
or not lacquered.

4.3.2 Fixing the board to the wooden strip:



Ref: Screw SFS - TW - S - D12 - 4.8 x 38.
Size: \varnothing head: 12 mm.
 \varnothing screw: 4.8 mm.
L: 38 mm.
Material: Austenitic stainless steel 1.4567.
Finishes: Lacquered (pg. 76) or not lacquered.

To select the colour of these screws see the following page.

For installation utilities, please contact **Prodema's** Technical Department.

Self-threading screws SFS-SX3-L-12



Rivets SFS-AP-16-50XXX

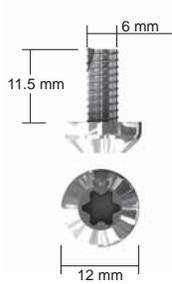


Screws SFS-TW-S-D12-4.8 x 38



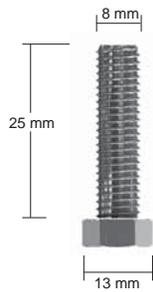
See the screw colour chart on pg. 33.

4.3.3 Fixing the board to the hanging hook:



Ref: Screw Panel TB-A2 TX 30.
 Size: \varnothing head: 12 mm.
 \varnothing screw: 6 mm.
 L: 11.5 mm.
 Material: Stainless steel.
 Finishes: Stainless steel.

4.3.4 Levelling pin:



Ref: T.H Pin. / INX A2.
 Size: \varnothing head: 13 mm.
 \varnothing screw: 8 mm.
 L: 25 mm.
 Material: A2 Stainless steel.
 Finishes: Stainless steel.

4.4. Auxiliary elements

4.4.1 Screwdriver: special tool for the Irius ® head (L12) of the self-drilling screws SX3.



Ref: SFS-E 420-Federversion screwdriver.

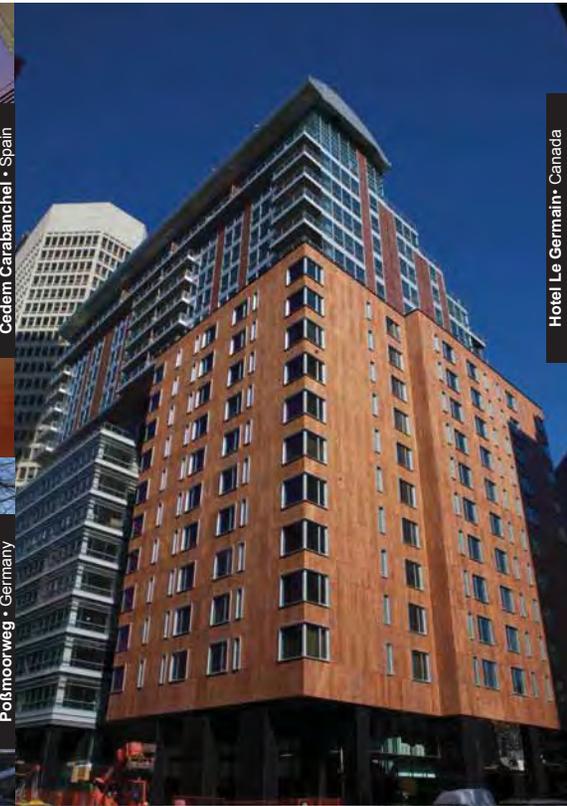
For further information on accessories or installation utilities, please contact **Prodema's** technical department.



Cedem Carabanchel - Spain



Potsmoorweg - Germany



Hotel Le Germain - Canada



Surry Hills Library and Community Centre - Australia



Bochum EFH - Germany

Prodema EXE

exteriors by Prodema®

Prodema®
Made to last wooden Products



FAÇADE CLADDING

System Solutions for Walls

Foreword

This brochure provides a summary of wall panel applications made with the RHEINZINK titanium zinc alloy. This overview will serve as a guide for design and planning in accordance with current building practices.

RHEINZINK is an architectural grade zinc with trace elements of titanium and copper. It is easily formed into panels for use on both traditional and modern architecture for a timeless aesthetic. A natural metal, it has a low embodied energy and is infinitely recyclable. A long life material, requiring little to no maintenance, makes it a great value over the life of the building.

Though very versatile, RHEINZINK may not be suitable for all buildings. The design drawings illustrated in this brochure pertain to standard applications only.

Information herein is only a baseline for system design and installation. Modification to meet project requirements is the responsibility of the designer and architect. RHEINZINK America staff are available to assist the designer and architect in this process. RHEINZINK America makes no representations and warranties other than those expressed herein.

RHEINZINK reserves the right to make changes or adjustments based on research and development. For questions pertaining to any system, please contact our Technical Department.

Woburn, January 2013



Zinkhaus, Copenhagen, Denmark



Perth Convention & Exhibition Centre,
Perth, Australia



Villa, Prague, Czech Republic

RHEINZINK-Standing Seam Panels

The RHEINZINK-Angled Standing Seam System, commonly used on facades, exhibits strong linear shadows produced by its angled seam configuration. The widespread availability of standing seam fabrication machines ensures consistent forming of panel edges as well as closing of the seams. Differing panel lengths and widths make it possible to achieve even the most complicated geometries. The angled standing seam system can be oriented horizontally, vertically and diagonally.

- Suitable for most building types
- Accommodates complicated geometries
- Can be installed horizontally, vertically or diagonally





Apotex Centre, Faculty of Pharmacy, University of Manitoba, Winnipeg, MB, Canada



Private Residence, Empel, Netherlands



MG AVU Galerie der modernen Kunst Akademie bildender Kunst, Prague, Czech Republic

RHEINZINK-Shiplap Panel

Due to its layered characteristics and shadow less joints, the shiplap panel is a unique cladding, reminiscent of wooden façades. When exposed to light and shade, sharp contours appear because of its profile geometry. Contrary to the horizontal and vertical reveal panels, this system does not have any reveals. Precision manufacturing (in accordance with detailed planning and pre-defined panel dimensions) guarantees efficient and optimum installation on site.

- Layered panel look
- Horizontal installation
- Scalloped design





University of Nottingham, Business School, Nottingham, Great Britain



Theater am Marienort (previously: Les Misérables), Duisburg, Germany



Tropical Islands, Briesen-Brand, Germany

RHEINZINK-Reveal Panels

Along with the horizontal reveal panels, the vertical reveal panels have a variable reveal width ranging from 0-1". With the flexibility of vertical and horizontal installation, the reveal panel offers the designer an exceptional amount of freedom in implementing their ideas. Solutions may be executed quickly when it comes to renovations or retrofitting installations. Installation of this system is done from top to bottom.

- Can be installed horizontally and vertically
- Face width to 13" for horizontal applications
- Face width to 16" for vertical applications





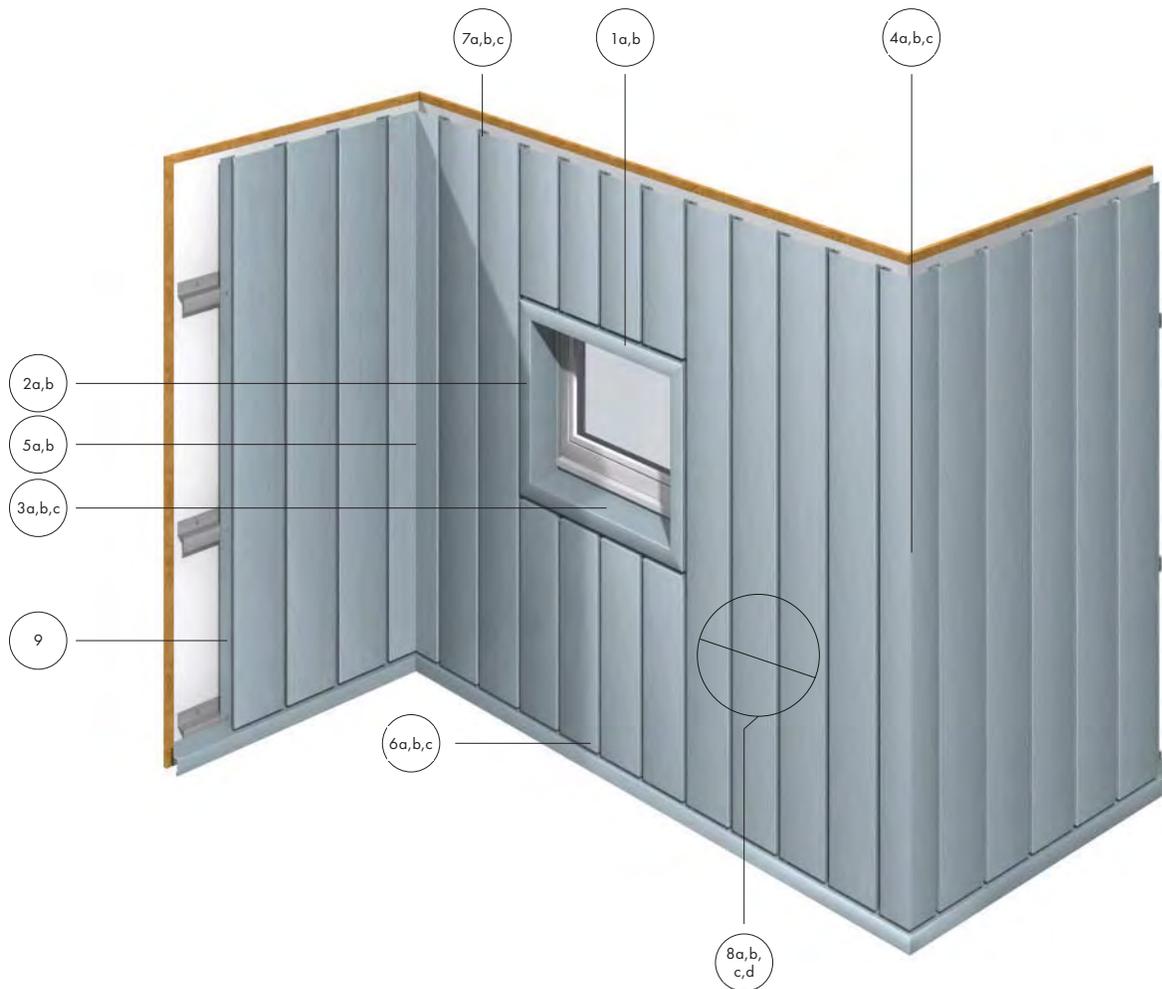
REVEAL PANEL

System Technology for Facades

DESIGN AND APPLICATION

REVEAL PANELS, DETAILS

VERTICAL



Reveal Panel Details - Vertical

RP-V-1b - Head Detail - Opt. 2

RP-V-1c - Head Detail - Opt. 3

RP-V-2a - Jamb Detail - Opt. 1

RP-V-2b - Jamb Detail - Opt. 2

RP-V-3a - Sill Detail - Opt. 1

RP-V-3b - Sill Detail - Opt. 2

RP-V-3c - Sill Detail - Opt. 3

RP-V-4a - Outside Corner Detail - Opt. 1

RP-V-4b - Outside Corner Detail - Opt. 2

RP-V-4c - Outside Corner Detail - Opt. 3

RP-V-5a - Inside Corner Detail - Opt. 1

RP-V-5b - Inside Corner Detail - Opt. 2

RP-V-6a - Base Term. Detail - Opt. 1

RP-V-6b - Base Term. Detail - Opt. 2

RP-V-6c - Base Term. Detail - Opt. 3

RP-V-7a - Parapet Detail - Opt. 1

RP-V-7b - Parapet Detail - Opt. 2

RP-V-7c - Parapet Detail - Opt. 3

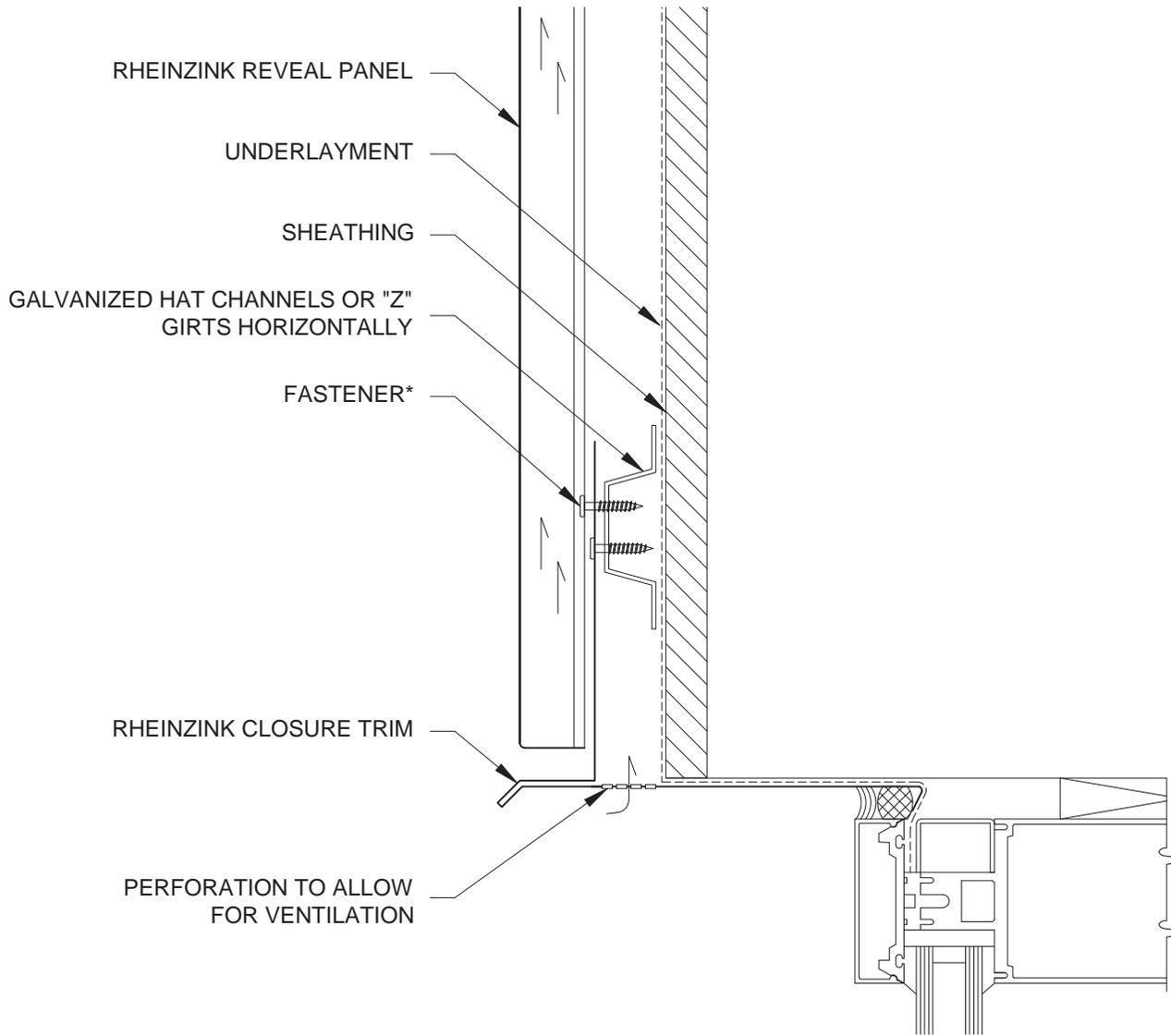
RP-V-8a - Cross Seam Detail - Opt. 1

RP-V-8b - Cross Seam Detail - Opt. 2

RP-V-8c - Cross Seam Detail - Opt. 3

RP-V-8d - Cross Seam Detail - Opt. 4

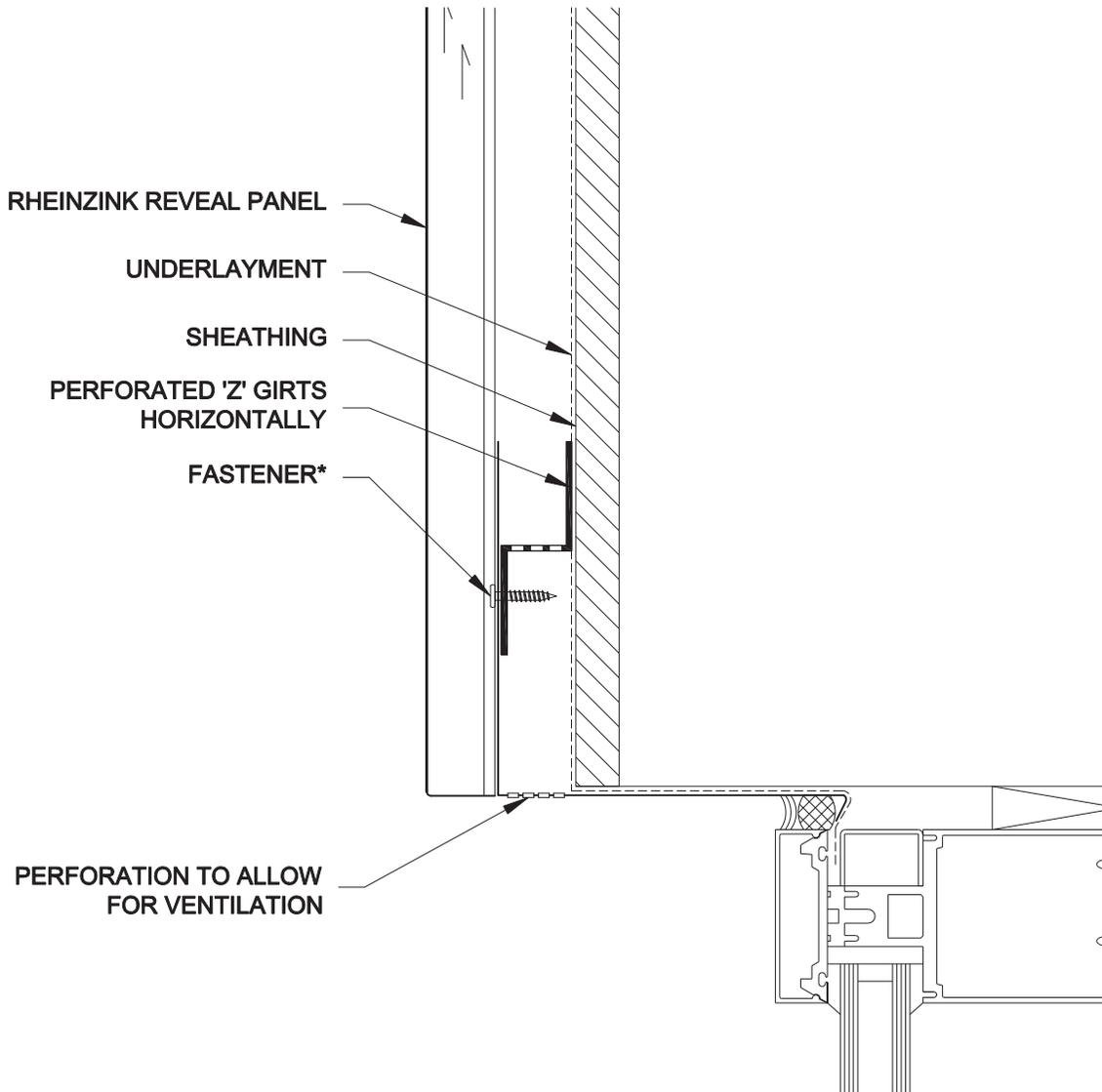
RP-V-9 - Panel Profile Detail



NOTES:

* RHEINZINK RECOMMENDS STAINLESS STEEL FASTENERS AND CLIPS.

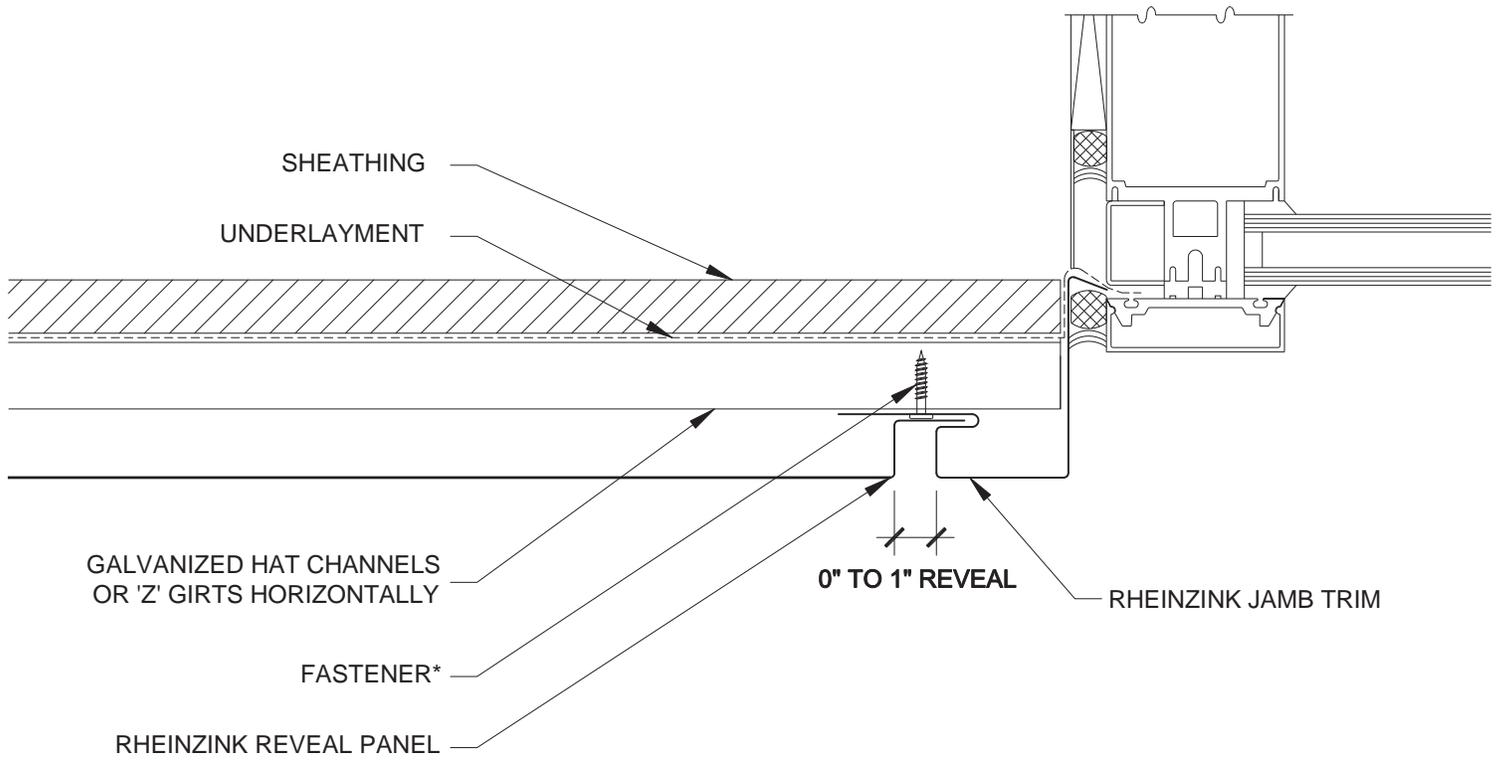
| | |
|--|------------------------------|
|  | |
| 96F Commerce Way Woburn, MA 01801 T: 781.729.0812 Website: www.rheinzink.com E-mail: info@rheinzink.com | |
| INFORMATION AND DETAILS HEREIN ARE ONLY A BASELINE FOR SYSTEM DESIGN AND INSTALLATION. MODIFICATION TO MEET PROJECT REQUIREMENTS IS THE RESPONSIBILITY OF THE DESIGNER AND ARCHITECT. RHEINZINK AMERICA STAFF ARE AVAILABLE TO ASSIST THE DESIGNER AND ARCHITECT IN THIS PROCESS. RHEINZINK AMERICA MAKES NO REPRESENTATIONS AND WARRANTIES OTHER THAN THOSE EXPRESSED HEREIN. | |
| PROJECT: REVEAL PANEL DETAILS - V | DATE: 08-2011 |
| DRAWING TITLE: HEAD DETAIL - OPTION 1 | SCALE: N.T.S. |
| COPYRIGHT RESERVED. THIS DRAWING REMAINS THE PROPERTY OF RHEINZINK. | SHEET: 169 of 208 RP-V-1a |



NOTES:

* RHEINZINK RECOMMENDS STAINLESS STEEL FASTENERS AND CLIPS.

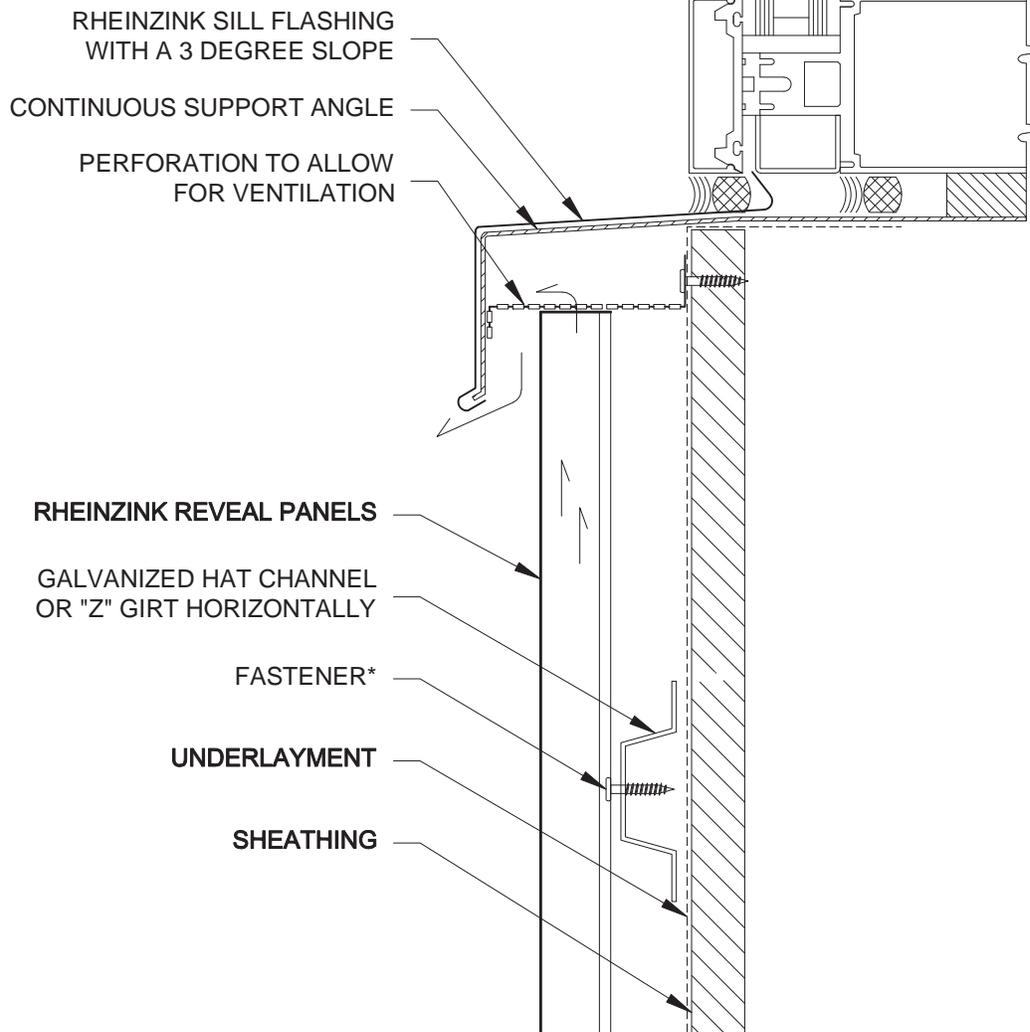
| | |
|--|------------------------------------|
|  96F Commerce Way Woburn, MA 01801 T: 781.729.0812 Website: www.rheinzink.com E-mail: info@rheinzink.com | |
| INFORMATION AND DETAILS HEREIN ARE ONLY A BASELINE FOR SYSTEM DESIGN AND INSTALLATION. MODIFICATION TO MEET PROJECT REQUIREMENTS IS THE RESPONSIBILITY OF THE DESIGNER AND ARCHITECT. RHEINZINK AMERICA STAFF ARE AVAILABLE TO ASSIST THE DESIGNER AND ARCHITECT IN THIS PROCESS. RHEINZINK AMERICA MAKES NO REPRESENTATIONS AND WARRANTIES OTHER THAN THOSE EXPRESSED HEREIN. | |
| PROJECT: | REVEAL PANEL DETAILS - V |
| DATE: | 08-2011 |
| DRAWING TITLE: | HEAD DETAIL - OPTION 2 |
| SCALE: | N.T.S. |
| COPYRIGHT RESERVED. THIS DRAWING REMAINS THE PROPERTY OF RHEINZINK. | Page 17 of 20 SUBSET RP-V-1b |



NOTES:

* RHEINZINK RECOMMENDS STAINLESS STEEL FASTENERS AND CLIPS.

| | |
|--|-----------------------------------|
|  | |
| 96F Commerce Way Woburn, MA 01801 T: 781.729.0812 Website: www.rheinzink.com E-mail: info@rheinzink.com | |
| INFORMATION AND DETAILS HEREIN ARE ONLY A BASELINE FOR SYSTEM DESIGN AND INSTALLATION. MODIFICATION TO MEET PROJECT REQUIREMENTS IS THE RESPONSIBILITY OF THE DESIGNER AND ARCHITECT. RHEINZINK AMERICA STAFF ARE AVAILABLE TO ASSIST THE DESIGNER AND ARCHITECT IN THIS PROCESS. RHEINZINK AMERICA MAKES NO REPRESENTATIONS AND WARRANTIES OTHER THAN THOSE EXPRESSED HEREIN. | |
| PROJECT: | REVEAL PANEL DETAILS - V |
| DATE: | 08-2011 |
| DRAWING TITLE: | JAMB DETAIL - OPTION 2 |
| SCALE: | N.T.S. |
| COPYRIGHT RESERVED. THIS DRAWING REMAINS THE PROPERTY OF RHEINZINK. | Page 171 of 208 SHEET: RP-V-2b |



NOTES:

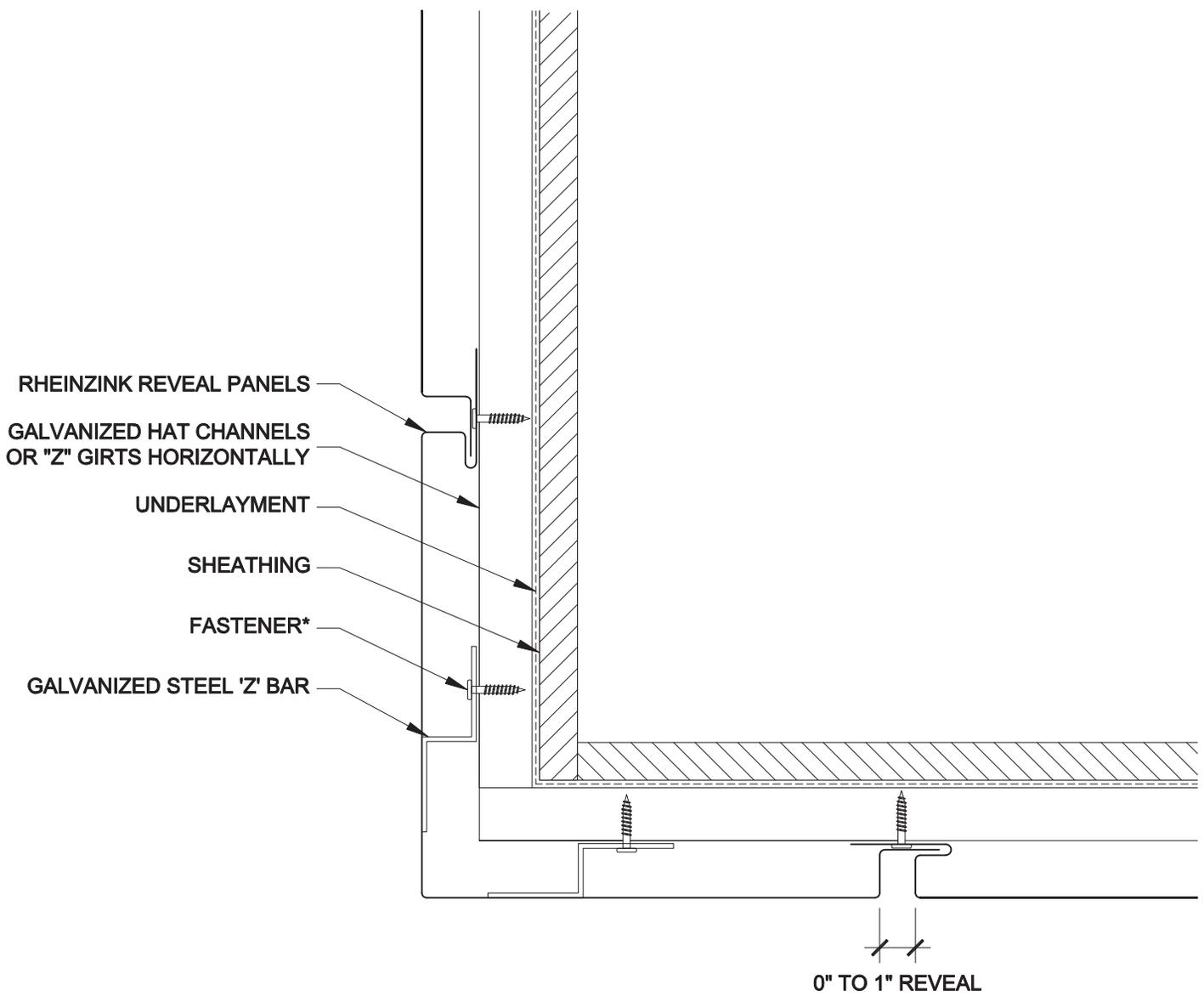
- * RHEINZINK RECOMMENDS STAINLESS STEEL FASTENERS AND CLIPS.



96F Commerce Way Woburn, MA 01801 T: 781.729.0812
 Website: www.rheinzink.com E-mail: info@rheinzink.com

INFORMATION AND DETAILS HEREIN ARE ONLY A BASELINE FOR SYSTEM DESIGN AND INSTALLATION. MODIFICATION TO MEET PROJECT REQUIREMENTS IS THE RESPONSIBILITY OF THE DESIGNER AND ARCHITECT. RHEINZINK AMERICA STAFF ARE AVAILABLE TO ASSIST THE DESIGNER AND ARCHITECT IN THIS PROCESS. RHEINZINK AMERICA MAKES NO REPRESENTATIONS AND WARRANTIES OTHER THAN THOSE EXPRESSED HEREIN.

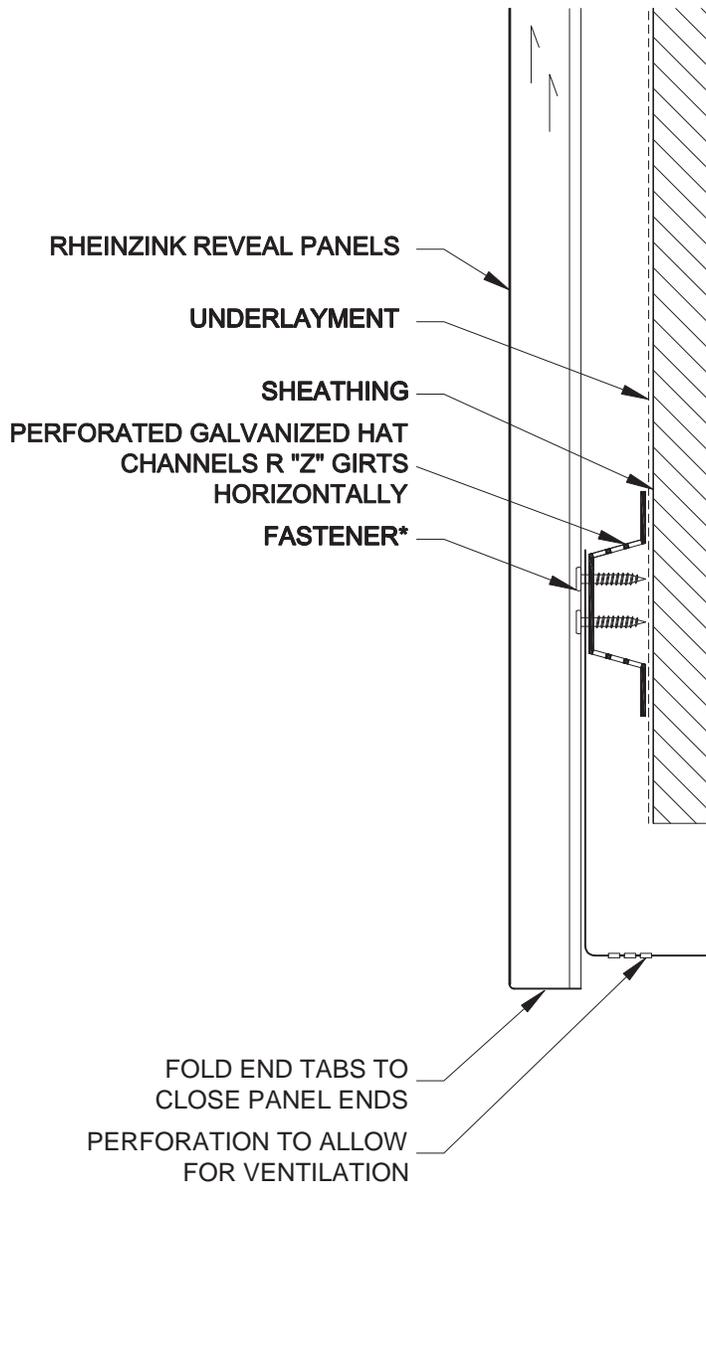
| | | | |
|---|--------------------------|-----------------|---------|
| PROJECT: | REVEAL PANEL DETAILS - V | DATE: | 08-2011 |
| DRAWING TITLE: | SILL DETAIL - OPTION 1 | SCALE: | N.T.S. |
| COPYRIGHT RESERVED. THIS DRAWING REMAINS THE PROPERTY OF RHEINZINK. | | Page 172 of 208 | RP-V-3a |



NOTES:

* RHEINZINK RECOMMENDS STAINLESS STEEL FASTENERS AND CLIPS.

| | |
|--|----------------|
|  | |
| 96F Commerce Way Woburn, MA 01801 T: 781.729.0812 Website: www.rheinzink.com E-mail: info@rheinzink.com | |
| INFORMATION AND DETAILS HEREIN ARE ONLY A BASELINE FOR SYSTEM DESIGN AND INSTALLATION. MODIFICATION TO MEET PROJECT REQUIREMENTS IS THE RESPONSIBILITY OF THE DESIGNER AND ARCHITECT. RHEINZINK AMERICA STAFF ARE AVAILABLE TO ASSIST THE DESIGNER AND ARCHITECT IN THIS PROCESS. RHEINZINK AMERICA MAKES NO REPRESENTATIONS AND WARRANTIES OTHER THAN THOSE EXPRESSED HEREIN. | |
| PROJECT: REVEAL PANEL DETAILS - V | DATE: 08-2011 |
| DRAWING TITLE: OUTSIDE CORNER - OPTION 3 | SCALE: N.T.S. |
| COPYRIGHT RESERVED. THIS DRAWING REMAINS THE PROPERTY OF RHEINZINK. | SHEET: RP-V-4c |



NOTES:

- * RHEINZINK RECOMMENDS STAINLESS STEEL FASTENERS AND CLIPS.

| | |
|--|------------------------------|
|  | |
| 96F Commerce Way Woburn, MA 01801 T: 781.729.0812 Website: www.rheinzink.com E-mail: info@rheinzink.com | |
| INFORMATION AND DETAILS HEREIN ARE ONLY A BASELINE FOR SYSTEM DESIGN AND INSTALLATION. MODIFICATION TO MEET PROJECT REQUIREMENTS IS THE RESPONSIBILITY OF THE DESIGNER AND ARCHITECT. RHEINZINK AMERICA STAFF ARE AVAILABLE TO ASSIST THE DESIGNER AND ARCHITECT IN THIS PROCESS. RHEINZINK AMERICA MAKES NO REPRESENTATIONS AND WARRANTIES OTHER THAN THOSE EXPRESSED HEREIN. | |
| PROJECT: | REVEAL PANEL DETAILS - V |
| DATE: | 10-2011 |
| DRAWING TITLE: | BASE TERM. DETAIL - OPTION 3 |
| SCALE: | N.T.S. |
| COPYRIGHT RESERVED. THIS DRAWING REMAINS THE PROPERTY OF RHEINZINK. | |
| Page 174 of 208 SHEET: RP-V-6c | |

RHEINZINK PARAPET CAP AND 3 DEGREE
MIN. SLOPE

AIR-Z, ENKAMAT (7008/7010) OR
PROROOFLING

CONTINUOUS SUPPORT ANGLE

PERFORATION TO ALLOW
FOR VENTILATION

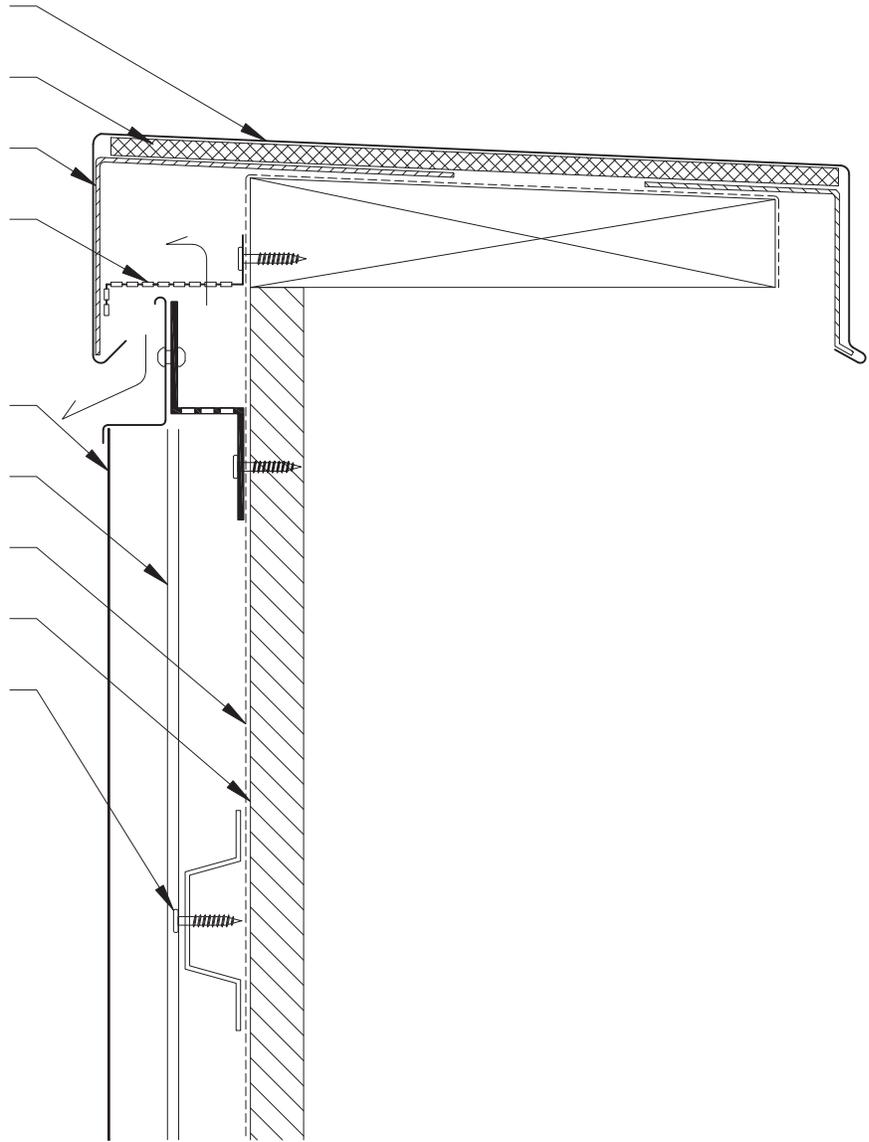
RHEINZINK REVEAL PANEL

GALVANIZED HAT CHANNELS OR "Z"
GIRTS HORIZONTALLY

UNDERLAYMENT

SHEATHING

FASTENER*



NOTES:

* RHEINZINK RECOMMENDS STAINLESS STEEL
FASTENERS AND CLIPS.



96F Commerce Way Woburn, MA 01801 T: 781.729.0812
Website: www.rheinzink.com E-mail: info@rheinzink.com

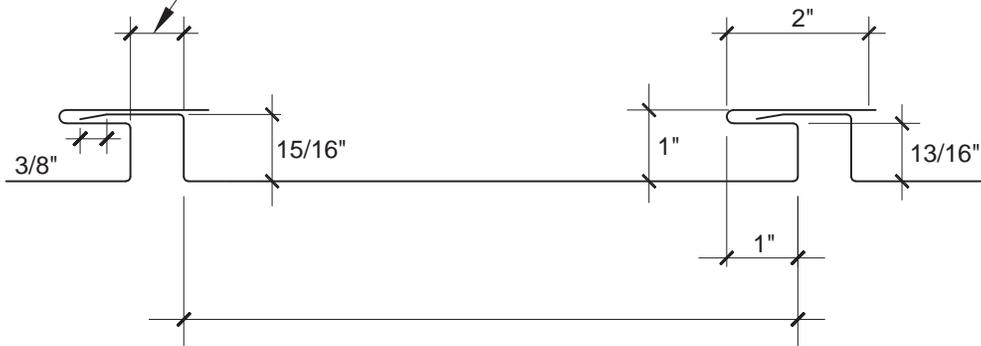
INFORMATION AND DETAILS HEREIN ARE ONLY A BASELINE FOR SYSTEM DESIGN AND
INSTALLATION. MODIFICATION TO MEET PROJECT REQUIREMENTS IS THE RESPONSIBILITY OF THE
DESIGNER AND ARCHITECT. RHEINZINK AMERICA STAFF ARE AVAILABLE TO ASSIST THE
DESIGNER AND ARCHITECT IN THIS PROCESS. RHEINZINK AMERICA MAKES NO REPRESENTATIONS
AND WARRANTIES OTHER THAN THOSE EXPRESSED HEREIN.

| | | | |
|----------|--------------------------|-------|---------|
| PROJECT: | REVEAL PANEL DETAILS - V | DATE: | 11-2011 |
|----------|--------------------------|-------|---------|

| | | | |
|----------------|---------------------------|--------|--------|
| DRAWING TITLE: | PARAPET DETAIL - OPTION 2 | SCALE: | N.T.S. |
|----------------|---------------------------|--------|--------|

| | | | |
|---|-----------------|--------|---------|
| COPYRIGHT RESERVED. THIS DRAWING REMAINS THE PROPERTY OF RHEINZINK. | Page 175 of 208 | SHEET: | RP-V-7b |
|---|-----------------|--------|---------|

REVEAL WIDTHS CAN VARY FROM 0" TO 1". THIS IS ACCOMPLISHED BY THE APPROPRIATE SCALING OF THE "TONGUE"



PANELS CAN BE MADE IN BAY WIDTHS BETWEEN **7" AND 13"**
 MATERIAL THICKNESSES: 0.8mm, 1.0mm and 1.2mm

NOTES:

- * RHEINZINK RECOMMENDS STAINLESS STEEL FASTENERS AND CLIPS.

| | |
|--|----------------------|
|  96F Commerce Way Woburn, MA 01801 T: 781.729.0812 Website: www.rheinzink.com E-mail: info@rheinzink.com | |
| INFORMATION AND DETAILS HEREIN ARE ONLY A BASELINE FOR SYSTEM DESIGN AND INSTALLATION. MODIFICATION TO MEET PROJECT REQUIREMENTS IS THE RESPONSIBILITY OF THE DESIGNER AND ARCHITECT. RHEINZINK AMERICA STAFF ARE AVAILABLE TO ASSIST THE DESIGNER AND ARCHITECT IN THIS PROCESS. RHEINZINK AMERICA MAKES NO REPRESENTATIONS AND WARRANTIES OTHER THAN THOSE EXPRESSED HEREIN. | |
| PROJECT: PANEL PROFILE | DATE: 08-2011 |
| DRAWING TITLE: HEAD DETAIL - OPTION 1 | SCALE: N.T.S. |
| COPYRIGHT RESERVED. THIS DRAWING REMAINS THE PROPERTY OF RHEINZINK. | SHEET: RP-V-9 |







Product Drawing

| | | |
|---|-----------------------|--|
| Nana Wall Systems | Unit Type : | SL70 |
| Quote No.: 238042 | Unit Configuration: | o2L2R |
| Order No.: | Outside Unit Width : | 14' [4267] |
| Position : 1 | Outside Unit Height : | 9'-2" [2794] |
| Number of Units : 3 | Glazing Type: | * Double Glazed Low E Insulated Tempered air Filled |
| Date : 1/3/2014 | Sill Type: | Low Profile Saddle Sill |
| Project : Park City Libr Sean Baron | Door Handle Height : | 3'-5 3/8" [1051] |
| Blalock and Partners | Panel Options : | |

(Panel Options not shown on drawings)

GENERAL NOTES:

The attached drawing show essential information of the above position of the referenced NanaWall Quote/Order that includes outside unit dimensions, configuration, direction of opening, head, sill, jamb details, and handle height, for careful review by the Buyer. Not all information such as other cross-section details is included, but available from NanaWall on specific request.

Nana Wall Systems, Inc. is only a material supplier of certain folding/sliding panel systems as shown in these drawings. It does not provide installation and does not design or engineer any surrounding conditions around the openings to which NanaWall systems are to be installed.

As regulation governing the use of glazed windows, doors, storefronts and/or partitions vary widely, it is the sole responsibility of the Buyer, the architect, building owner, contractor and/or consumer (hereinafter referred to as "customer") to insure that the products and options selected conform to all applicable codes and regulations, including federal, state, and local.

Proper installation, operation and maintenance of the products are essential for proper performance. Written installation, operation and maintenance instructions are available and provided to all customers. It is essential that these instructions be read and followed. It is highly recommended that an experienced installer of NanaWall products be used for relevant aspects of the installation. Installation to be provided by others, including but not limited to method of attachment, fastener selection and completion of appropriate waterproofing, flashing and applying sealant or caulk around the perimeter of the opening, is the sole responsibility of the customer.

The structural integrity of the Header and/or overhead support for the opening and any stacking areas, to be provided and installed by others, is critical for proper performance and operation. Among other factors, the deflection under full live and dead loads should be the lesser of L/720 of the span and 1/4". The header, surrounding walls and floor must also be able to support any lateral loads.

Water resistance is relative. Certain NanaWall systems with certain configurations and sills have been tested with varying degrees of performance results. Not all systems or possibilities have been tested. Certain sills such as the raised sill, if available for a system, perform better. Other sills need to be site modified by others with weep holes and proper drainage for better performance. Water and other performance ratings of non-standard units such as segmented, cornerless, etc. will be less than a standard unit. See information available in NanaWall literature and website. It is the sole responsibility of the customer to determine the level of performance needed, including project design wind load requirements, for his specific location and site conditions and choose the appropriate NanaWall system, size, and sill for it.

All Drawings are accurate in metric dimensions. English dimensions shown are rounded to the nearest 1/8". Drawings shown are subject to change without notice.

| |
|-----------------------|
| 1/3/2014 |
| Quote No. 238042 |
| Order No. |
| Position 1 Unit No. 3 |
| Page 1.1 |

Nana Wall

100 MEADOWCREEK DR.#250
CORTE MADERA, CA 94925

SIGNATURE: _____

1800-873-5673 or 415-383-3148

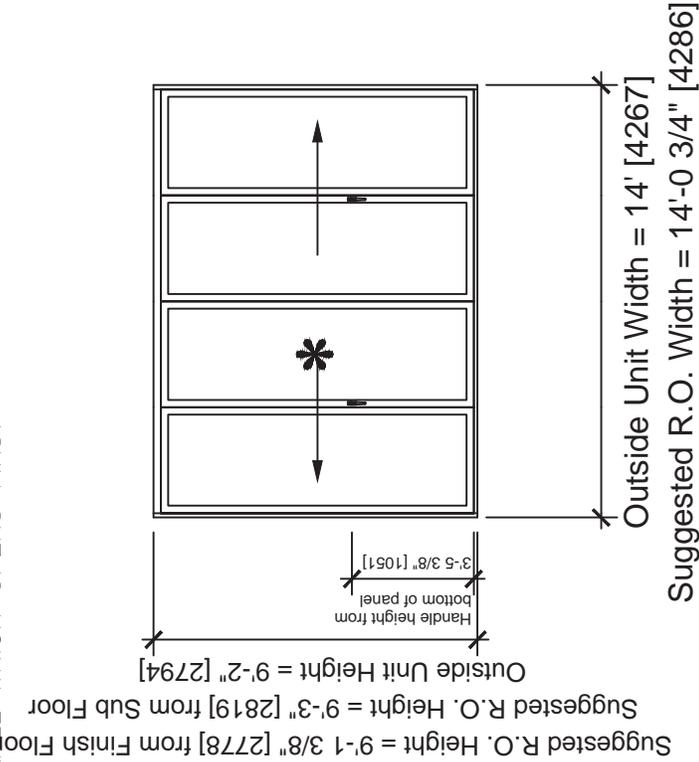
FAX: 415-383-0312

www.nanawall.com

NOTE: The elevation illustrated below is for schematic purposes only. It is not to scale nor is it in proportion in terms of height and width. Horizontal cross-sections between panels are different and vary with each configuration. Do not rely on this drawing for lining up transoms as the centerlines are not necessarily equal. Either see actual cross section details OR request NANAWALL for actual centerline dimensions.

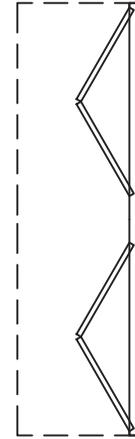
ASTERISK INDICATES PANEL WHICH OPENS FIRST

ELEVATION SEEN FROM INSIDE



DASHED LINE INDICATES LIMITS OF FINISHED FLOORING THAT MUST BE CLEAR AND LEVEL FOR PROPER OPERABLE FUNCTIONALITY.

OUTSIDE



INSIDE

| |
|-----------------------|
| 1/3/2014 |
| Quote No. 238042 |
| Order No. |
| Position 1 Unit No. 3 |
| Page 1.2 |

Nana Wall

100 MEADOWCREEK DR.#250
CORTE MADERA, CA 94925

SIGNATURE: _____

1800-873-5673 or 415-383-3148

FAX: 415-383-0312

www.nanawall.com

Suggested R.O. Width = 14'-0 3/4" [4286]

Outside Unit Width = 14' [4267]



Right Side Jamb

N.T.S.

Left Side Jamb

N.T.S.

| |
|-----------------------|
| 1/3/2014 |
| Quote No. 238042 |
| Order No. |
| Position 1 Unit No. 3 |
| Page 1.3 |

Nana Wall

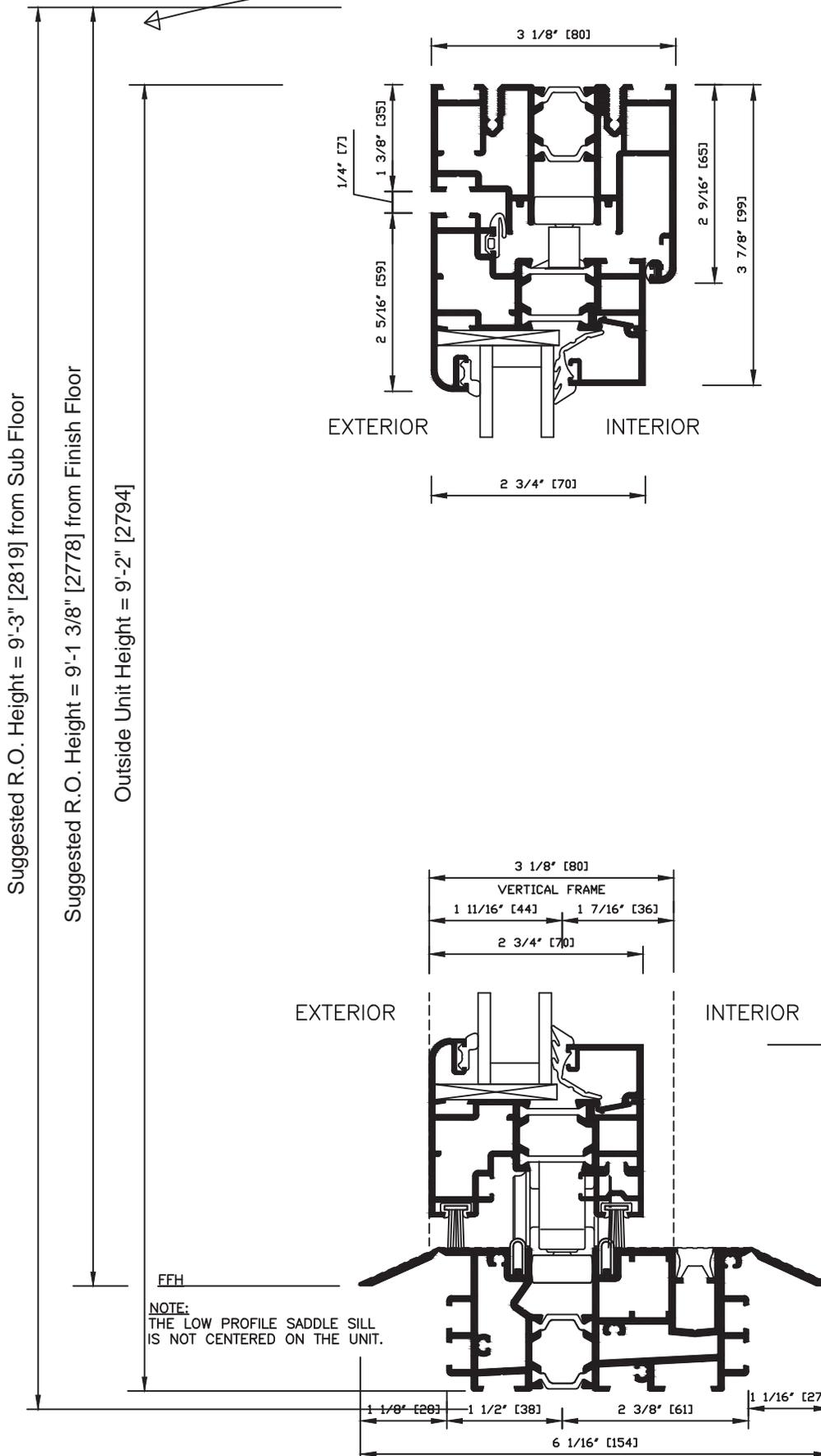
100 MEADOWCREEK DR. #250
CORTE MADERA, CA 94925

SIGNATURE: _____

1800-873-5673 or 415-383-3148

FAX: 415-383-0312

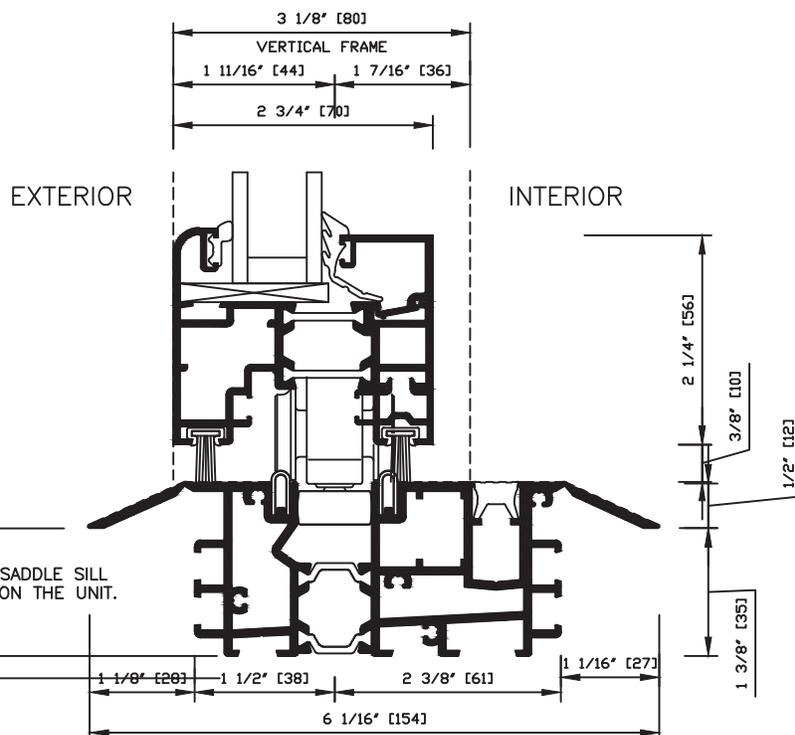
www.nanawall.com



shim space shown is 3/4"
for higher windload area's
(DP>20psf) reduce shimspace
to max 3/8"
Adjust RO accordingly

Head

N.T.S.



Sill

N.T.S.

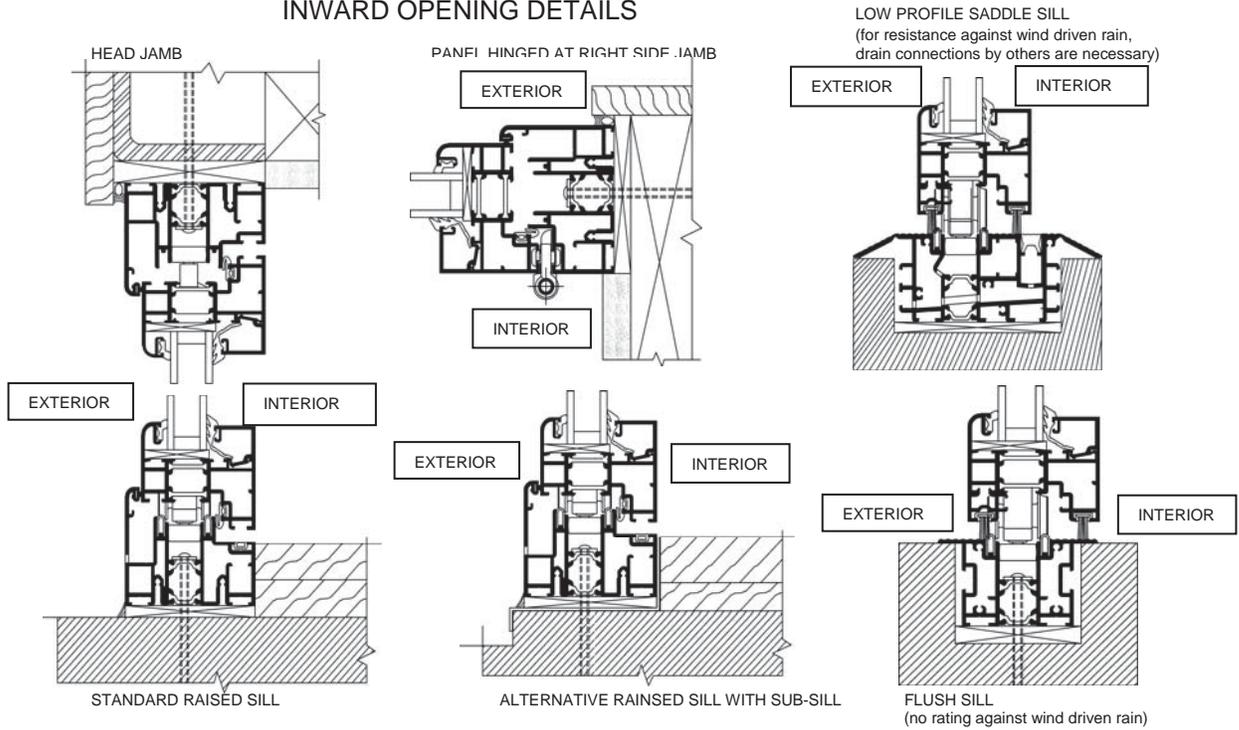
NOTE:
THE LOW PROFILE SADDLE SILL
IS NOT CENTERED ON THE UNIT.

| |
|-----------------------|
| 1/3/2014 |
| Quote No. 238042 |
| Order No. |
| Position 1 Unit No. 3 |
| Page 1.4 |

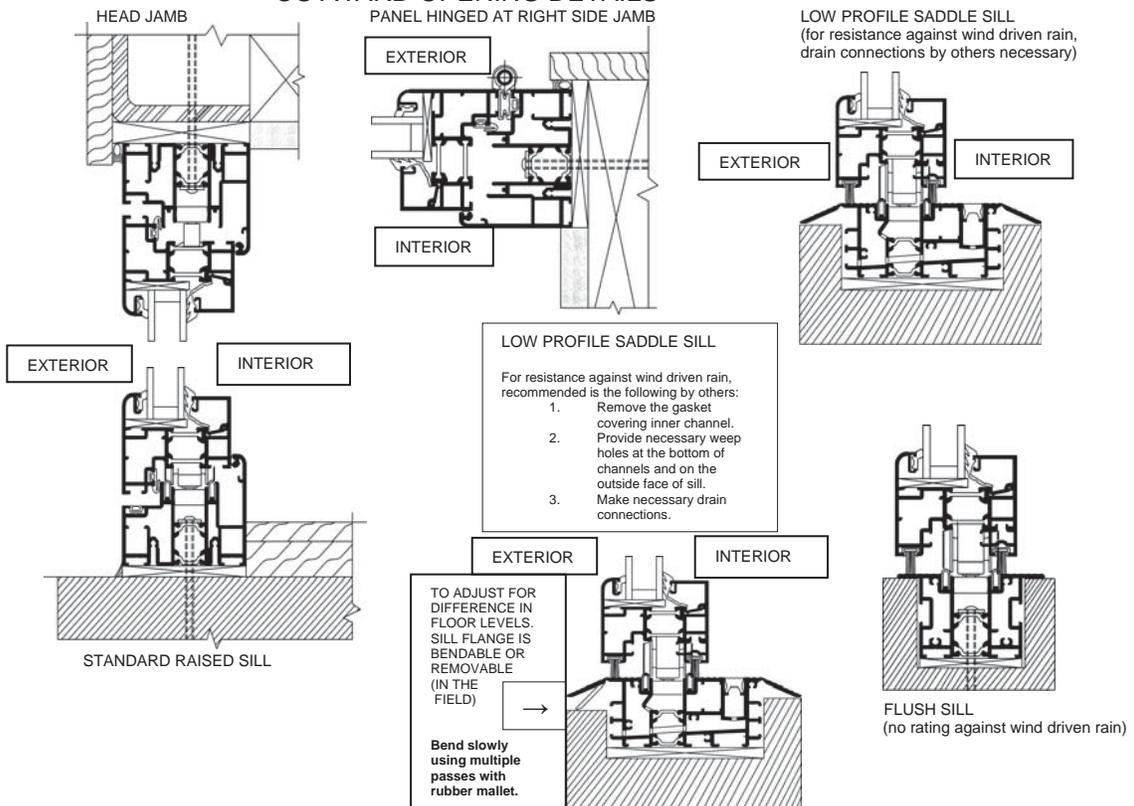
Suggested Typical Installation drawings shown are very general and may not be suitable for any particular installation. Product placement, fasteners, flashing, waterproofing, sealant, trim and other details for specific surrounding conditions must be properly

diagram 1: SL70 Suggested Typical Installation

INWARD OPENING DETAILS



OUTWARD OPENING DETAILS



Drawings not to scale.

Details shown are subject to change without notice.



Nana Wall Systems, Inc.
100 Meadowcreek Drive
Suite 250
Corte Madera, CA 94925
800 873 5673
415 383 3148
Fax 415 383 0312
info@nanawall.com
nanawall.com

Warranty Registration

must be filled out and returned to the address printed on the other side within 30 days from date of purchase of the NanaWall in order for the limited warranty to become effective.

Nana Order # _____ Project Name _____
Date of Purchase _____ Purchaser Name _____

PROJECT OWNER

Name _____
Address _____
Telephone _____ e-mail _____
Project Address _____
(if different from above)

INSTALLATION

Installer Name _____
Address _____
Street, City _____
Telephone _____ e-mail _____

Type of project (please check)
[] new residential [] restaurant [] shopping mall
[] residential remodel [] office building [] other _____

Name + Address of Architect _____

1. Is the installation complete? [] yes If yes, date completed. _____
[] no If no, date scheduled. _____

2. Have you been shown how to operate your new NanaWall?
[] yes If yes, is operation satisfying? [] yes [] no
[] no Why not? _____

signature _____
date _____



Nana Wall Systems, Inc.
100 Meadowcreek Drive
Suite 250
Corte Madera, CA 94925
800 873 5673
415 383 3148
Fax 415 383 0312
info@nanawall.com
nanawall.com

NanaWall Standard Warranty

Ten Years:

The insulated glass in NanaWall products is guaranteed for ten (10) years from the date of sale. If a permanent material obstruction of vision due to a premature failure of the glass or failure of the glass seal is brought to Nana's attention during this period, Nana will ship replacement glass to the original location the product was purchased.

The rollers in NanaWall products are guaranteed for ten (10) years from the date of sale. If a premature failure of the roller is brought to Nana's attention during this period, Nana will ship replacement rollers to the original location the product was purchased.

One Year:

Remaining components of NanaWall products not specifically covered by the above warranties are warranted against defects in materials and workmanship for a period of one (1) year from date of sale. This includes but is not limited to hinges, handles, locking mechanisms, tracks, weather-stripping or any other NanaWall supplied products.

If NanaWall product is installed by a Nana Certified installer, the one year warranty increases to two years.

GENERAL INFORMATION FOR NANAWALL WARRANTY

Nana's obligations under this warranty shall be limited, at its option to (1) repair any product or part of the product without charge (2) furnish any product or part of the product, shipped freight prepaid, in whatever stage of fitting and/or finishing it was in when originally supplied by Nana or (3) refund the price received by Nana for any product. Additionally, Nana reserves the right to determine whether or not a defect exists for which it is responsible under this warranty.

Written notice of any claim under this warranty must be given to Nana Wall Systems, Inc., 100 Meadowcreek Drive Suite 250, Corte Madera, CA 94925 promptly when discovered. You will waive your rights under this warranty if you fail to notify within 30 days of receipt of the product a defect which an ordinary inspection would reveal, or if you fail to make a claim within a reasonable time during the warranty period after a hidden defect is discovered.

The warranty does not cover labor costs to install the product or replaced part nor does it cover delays or construction costs or late or damaged delivery. This warranty does not cover loss of time, inconvenience, or loss of use of the product or any parts.

The warranties detailed in this document are the only statements of the legal responsibility of NanaWall and any seller of Nana products with respect to covered Nana products manufactured on or after July 31, 2004, sold by Nana and installed in the United States or Canada. No one is authorized to make any different or additional warranties. In no event shall the liability of NanaWall or any seller of Nana

products arising out of a product defect exceed the price paid for the product. NOTHING IN THIS DOCUMENT SHALL GIVE RISE TO OR EXTEND THE PERIOD OF ANY WARRANTIES IMPLIED UNDER STATE OR PROVINCIAL LAW, AND NO IMPLIED WARRANTY SHALL EXTEND BEYOND THE PERIODS COVERED BY THIS WRITTEN WARRANTY. Some states do not allow limitations on how long an implied warranty lasts, so the above limitation may not apply to you.

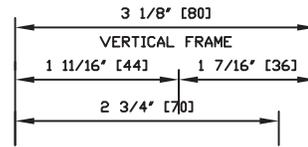
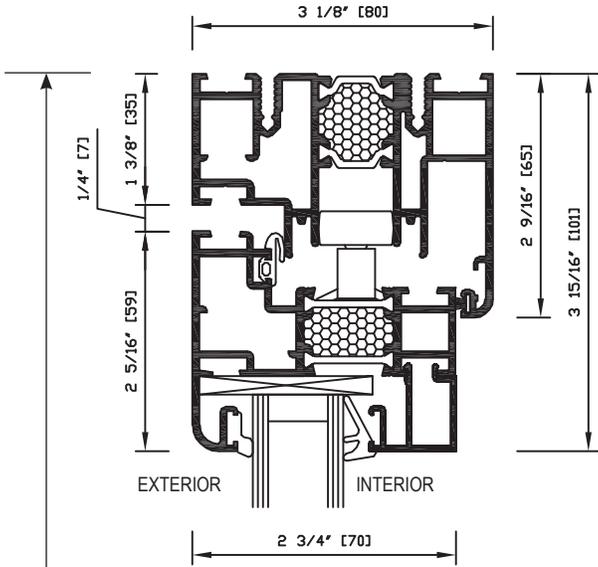
WARRANTY LIMITATIONS

This warranty does not cover: non-NanaWall products; products that have not been paid for in full; problems caused by improper storage, handling, installation, waterproofing, finishing (including, but not limited to, not finishing all sides of wood products in a timely manner or finishing wood in dark colors), use, locking, modification, or maintenance; use of glass not supplied by Nana that is heavier than 6 lbs/sq ft; products specifically excluded from warranty such as products with larger sizes or special configurations; Acts of God; accidents, including accidental glass breakage; products subjected to conditions outside their design limitations; products installed in structures that do not allow for proper management/drainage of moisture; minor imperfections in glass that do not affect the product's structural integrity or obscure vision; minor variations in glass color; any interior wood finish; normal wear or discoloration of finish; finish problems caused by mechanical damage or abrasion; damage caused by acid rain, salt spray or other corrosive elements; tarnish or corrosion to hardware finishes; problems caused by high humidity (condensation and frost); variations in wood grain or color; allowable warp tolerance for wood panels as defined by ANSI/WDMA I.S. 6-A-01 industry standard: minor resin bleeding from wood panels: discoloration of non-visible parts; wood rot due to improper maintenance or installation; or problems due to water leakage that is not the fault of the Nana product or wrong choice of system or sill. All glass warranties are void if any film is applied to the glass surface. Labor connected with glass replacement (including replacement of sash or door panels), or labor in any other case where Nana elects replacement, is not covered by the warranty and is the responsibility of the owner. In no case does this warranty cover the costs of finishing any repaired or replacement product or component or any trim or other carpentry work that may be required. Replacement products will be the closest equivalent current product and may not exactly match the original. The warranty on any replacement product will extend for the balance of the original warranty period. NanaWall will not be responsible for problems or damages caused by deficiencies in building design, construction, and maintenance, failure to install NanaWall products in accordance with approved methods, or the use of NanaWall products in systems that do not allow for the proper management of moisture within the wall system.

NEITHER NANAWALL NOR ANY SELLER OF NANA PRODUCTS WILL BE RESPONSIBLE FOR INCIDENTAL OR CONSEQUENTIAL DAMAGES (WHETHER UNDER THEORIES OF TORT, STRICT LIABILITY, CONTRACT, WARRANTY OR OTHERWISE) THAT MAY RESULT FROM A PRODUCT DEFECT OR MALFUNCTION. SOME STATES DO NOT ALLOW THE EXCLUSION OR LIMITATION OF INCIDENTAL OR CONSEQUENTIAL DAMAGES, SO THE ABOVE LIMITATION OR EXCLUSION MAY NOT APPLY TO YOU.

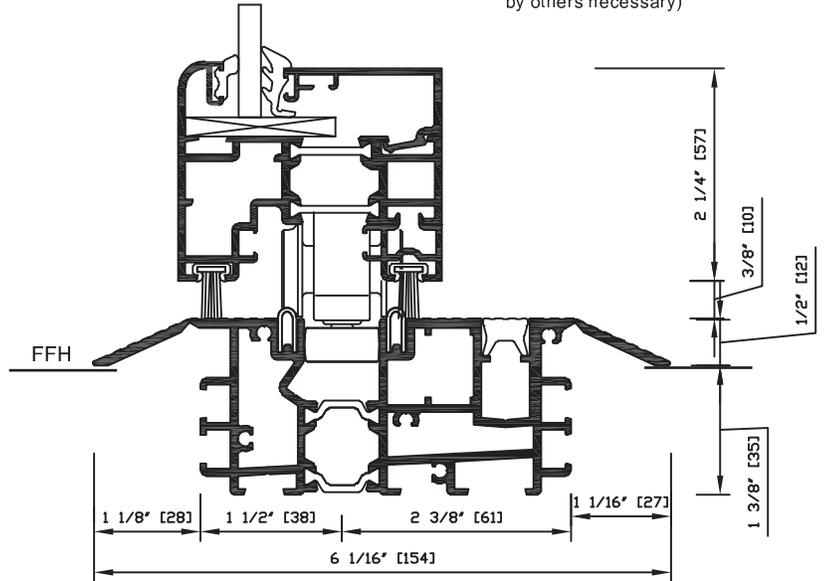
This warranty gives you specific legal rights, and you may have additional rights that vary from state to state.

Detail 1.1 Head Jamb

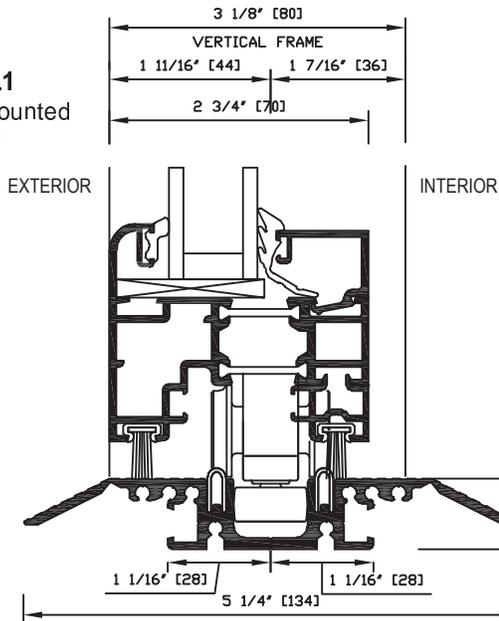


Detail 22.1

Low Profile Saddle Sill
 (For resistance against wind driven rain, drain connections by others necessary)

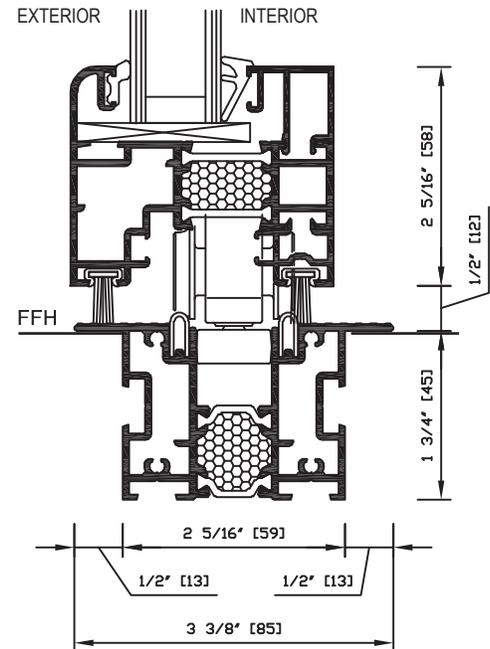
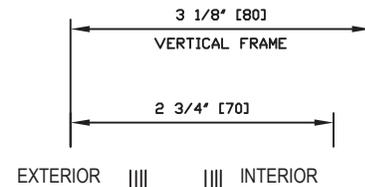


Detail 23.1
 Surface Mounted Interior Sill

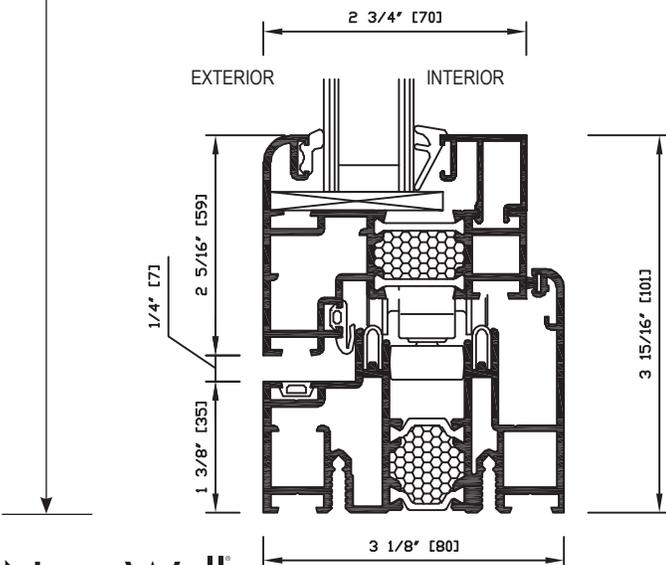


Detail 26.1 Flush sill.

(No rating against wind driven rain.)

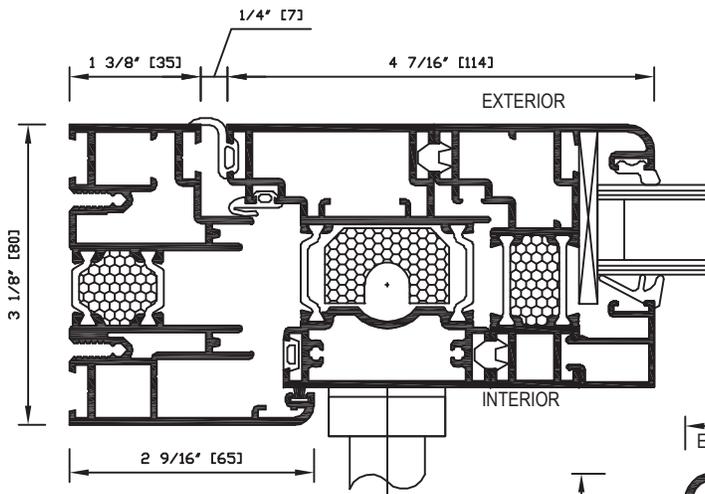


Detail 2.1 Raised Sill (higher weather performance sill)



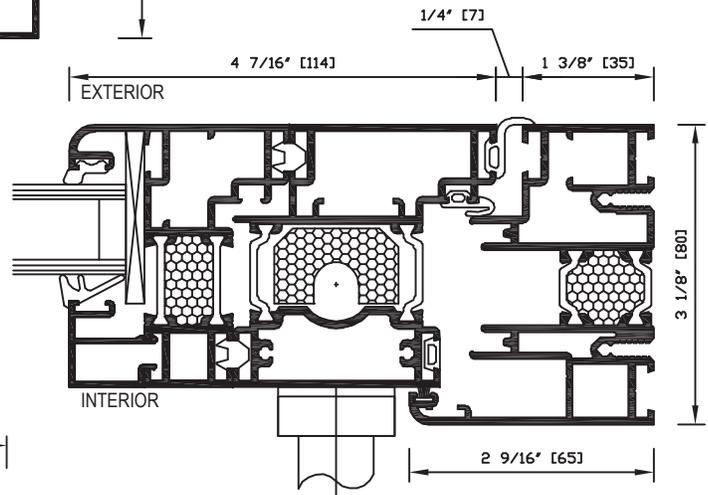
Detail 4.1

Swing panel with locking at left side jamb



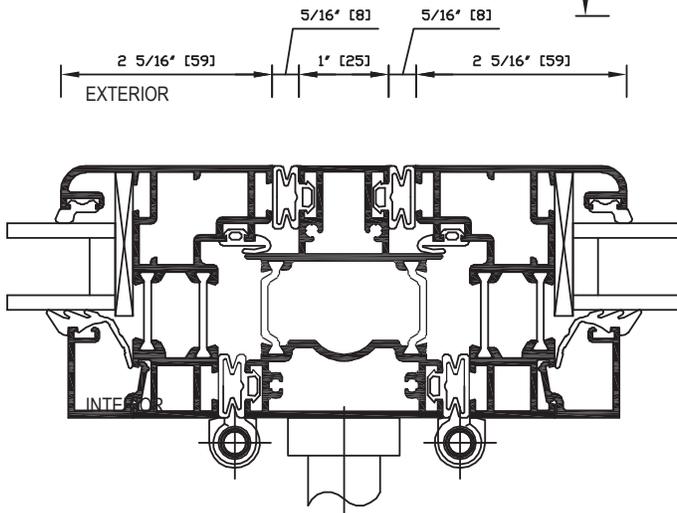
Detail 4R.1

Swing panel with locking at right side jamb



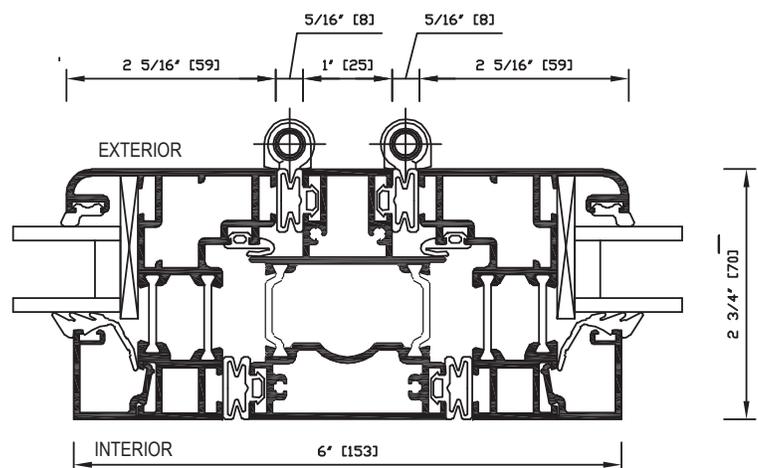
Detail 7.1 & 7R.1

Folding panels with locking

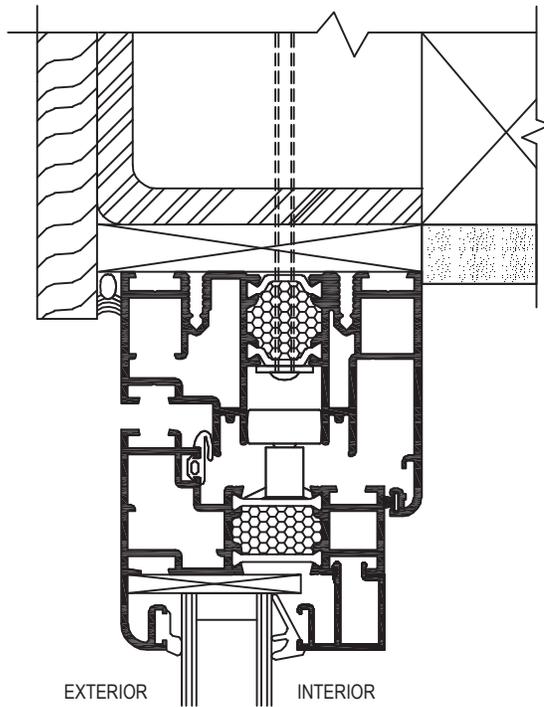


Detail 7C.1 and 7RC.1

Folding panels with running carriage set



Head Jamb



INSTALLATION NOTES

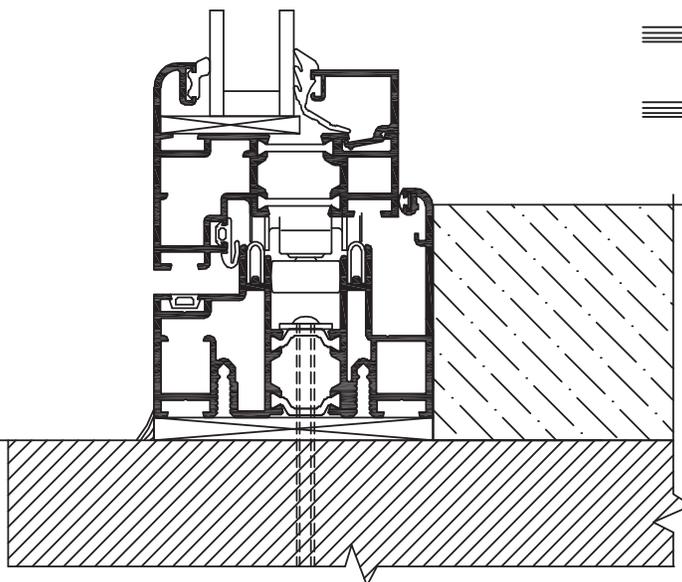
Suggested Typical Installation drawings shown are very general and may not be suitable for any particular installation. Product placement, fasteners, flashing, waterproofing, sealant, trim and other details for specific surrounding conditions must be properly designed and provided by others.

Installation Considerations

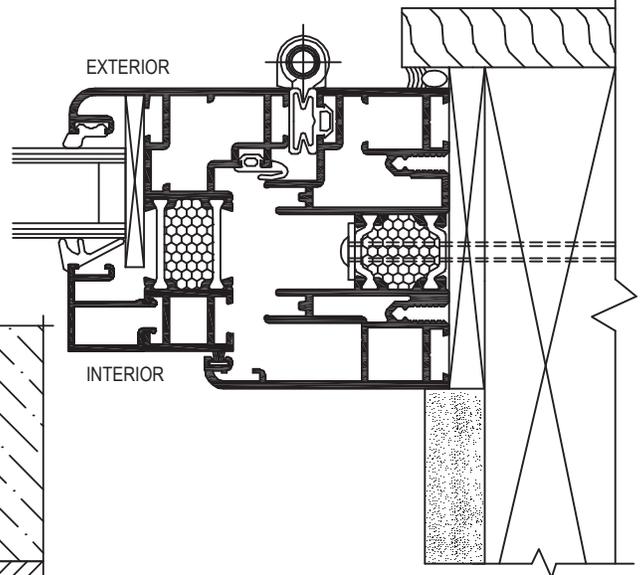
The approximate weight of a panel with double-glazing is 5.5 lbs/ft², and with triple glazing is 6 lbs/ft². The vertical structural deflection of the header should be the lesser of L/720 of the span and 1/4" under full loads. Although for floor mounted systems, there is no vertical load on the header from the panels, structural support for lateral loads (both windload and when the panels are stacked open) must be provided. See "Pre-Installation Preparation and Installation Guidelines" in the General Introduction. An owner's manual with installation instructions is available upon request.

It is recommended that all building dead loads be applied to the header prior to installing the NanaWall. If so and if a reasonable amount of time has been allowed for the effect of this dead load on the header, then only the building's live load can be used to meet the above requirements of L/720 or 1/4". If not, both the dead and live loads need to be considered. Because the SL70 is floor mounted, please note that there is no vertical load on the header.

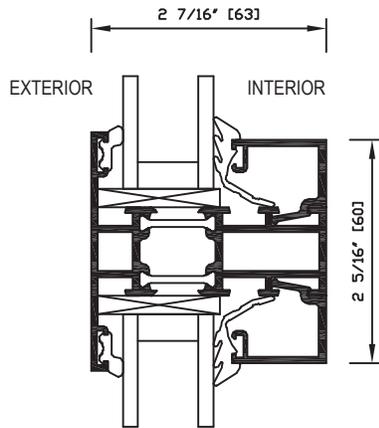
Standard Raised Sill (higher weather performance sill) Installation



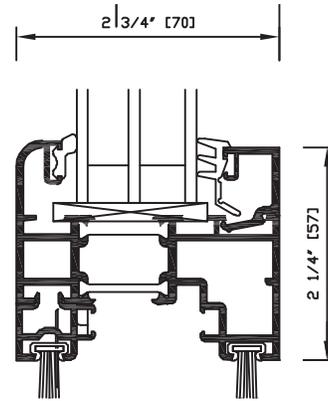
Panel Hinged At Right Side Jamb



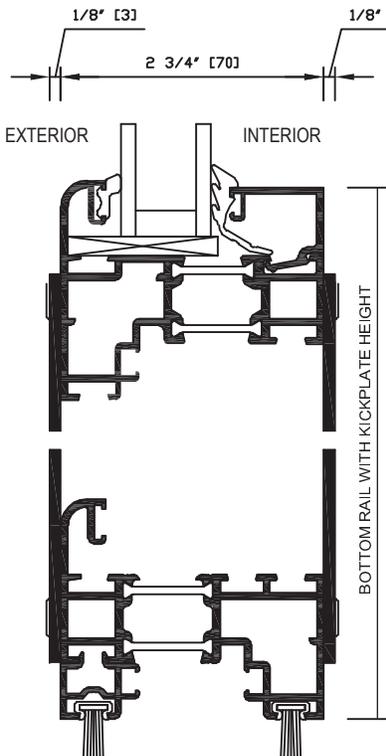
Typical Mullion Profile



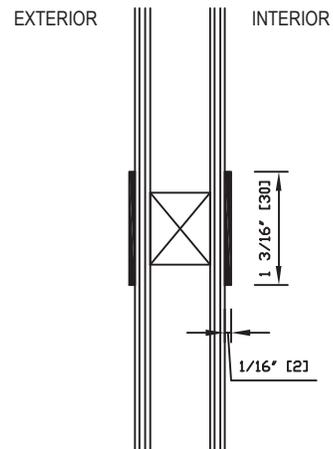
Typical Glass Stop Profile with Triple Glazing



Typical Kickplate



Typical Simulated Divided Lites Muntin with Spacer between insulated glass (SDL)



Features

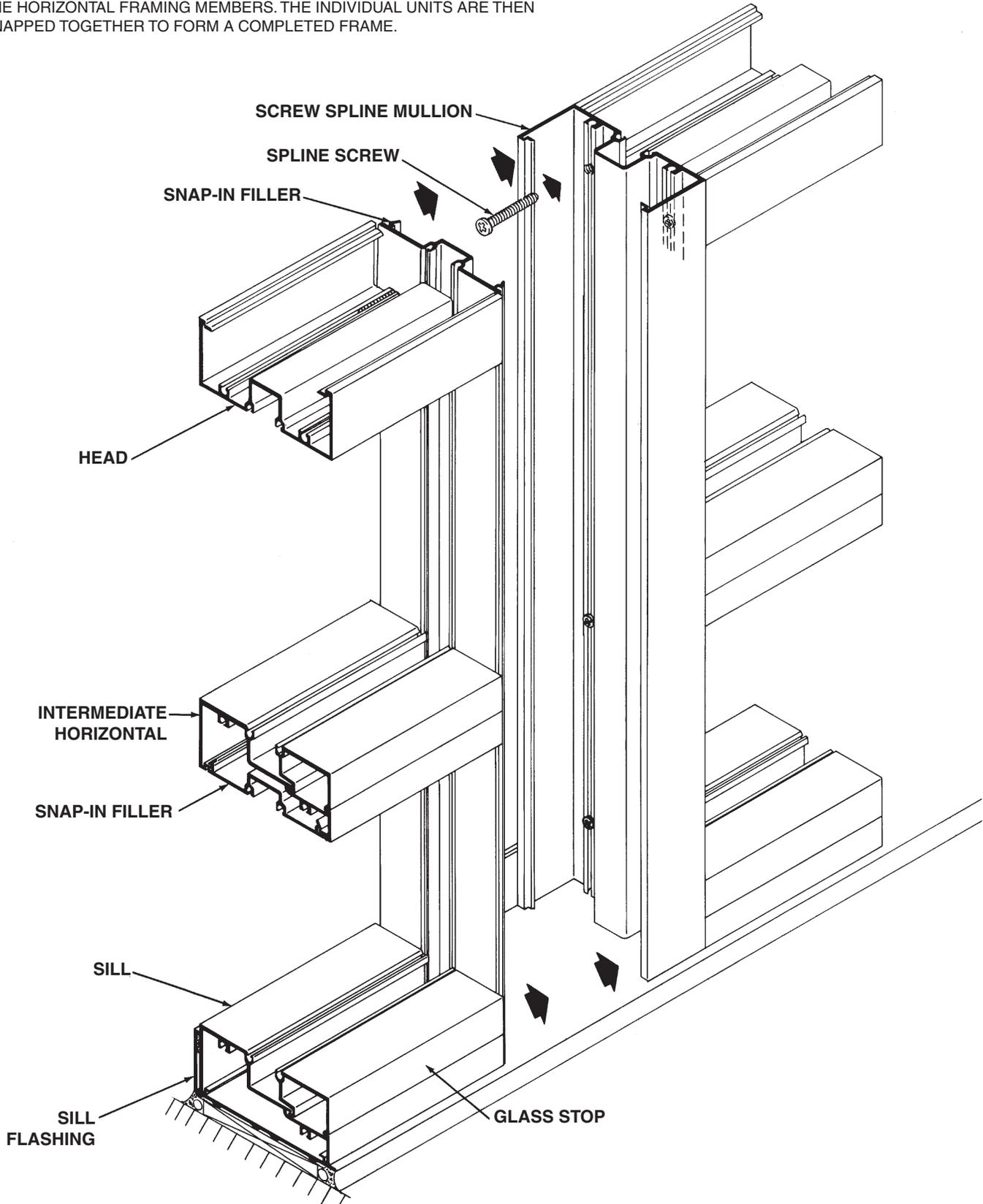
- Trifab® 400 is 4" deep with a 1-3/4" sightline
- Center plane glass applications
- Flush glazed from either the inside or outside
- Screw Spline, Shear Block or Stick fabrication
- 1/8", 1/4" or 3/8" infill options
- Permanodic® anodized finishes in 7 choices
- Painted finishes in standard and custom choices

Product Applications

- Storefront, Ribbon Window or Punched Openings
- Single-span
- Integrated entrance framing allowing Kawneer standard entrances or other specialty entrances to be incorporated
- GLASSvent™ is easily incorporated

For specific product applications,
Consult your Kawneer representative.

THE SPLIT VERTICAL IN THE SCREW SPLINE SYSTEM ALLOWS A FRAME TO BE INSTALLED FROM UNITIZED ASSEMBLIES. SCREWS ARE DRIVEN THROUGH THE BACK OF THE VERTICALS INTO SPLINES EXTRUDED IN THE HORIZONTAL FRAMING MEMBERS. THE INDIVIDUAL UNITS ARE THEN SNAPPED TOGETHER TO FORM A COMPLETED FRAME.

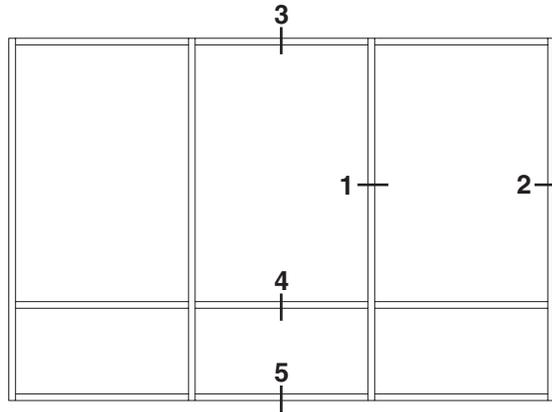


Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

© Kawneer Company, Inc., 2010

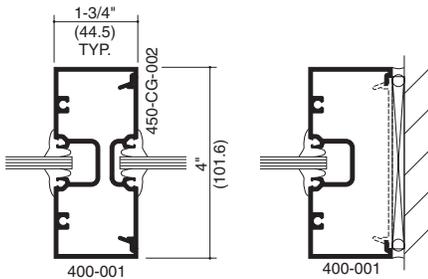
SCALE 3" = 1'-0"



ELEVATION IS NUMBER KEYED TO DETAILS

SCREW SPLINE SYSTEM

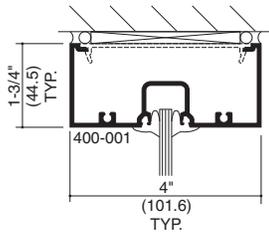
CAD DETAILS = Trifab_400_pg01.dwg



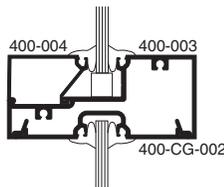
1 VERTICAL MULLION

2 JAMB

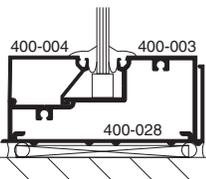
3 HEAD



4 INTERMEDIATE HORIZONTAL

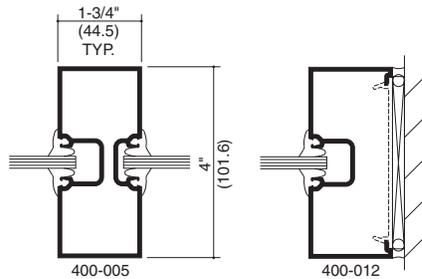


5 SILL



SHEAR BLOCK SYSTEM

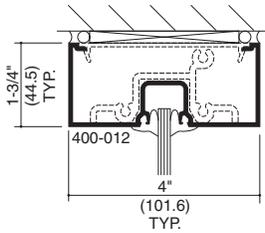
CAD DETAILS = Trifab_400_pg02.dwg



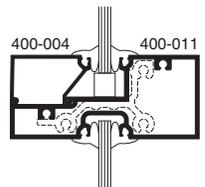
1 VERTICAL MULLION

2 JAMB

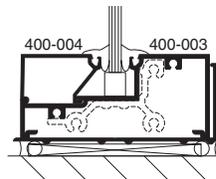
3 HEAD



4 INTERMEDIATE HORIZONTAL

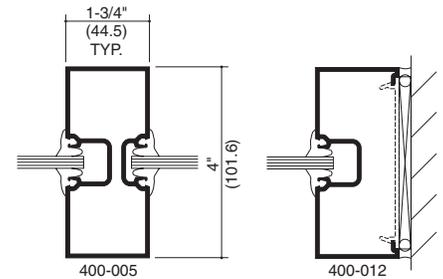


5 SILL



STICK SYSTEM

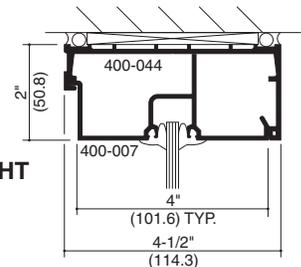
CAD DETAILS = Trifab_400_pg03.dwg



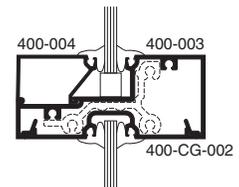
1 VERTICAL MULLION

2 JAMB

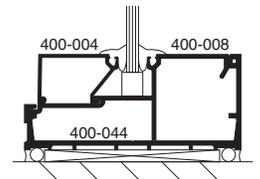
3 LIGHTWEIGHT HEAD



4 INTERMEDIATE HORIZONTAL



5 LIGHTWEIGHT SILL



Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

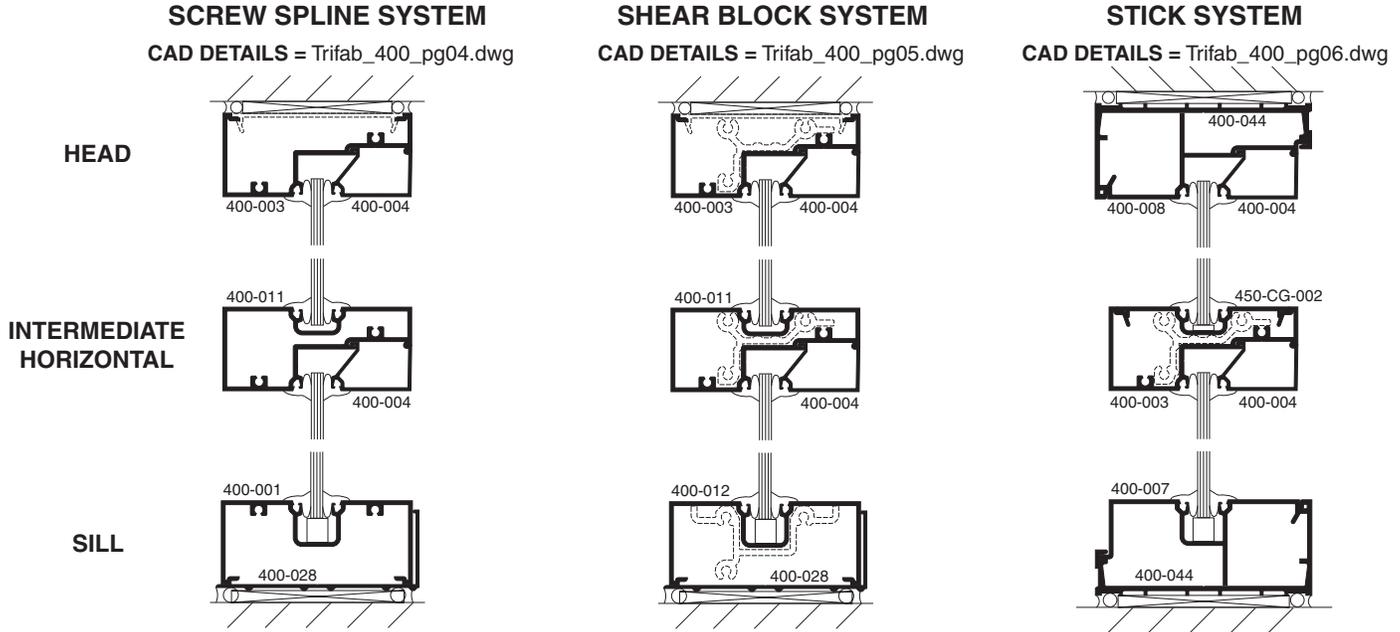
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

© Kawneer Company, Inc., 2010

SCALE 3" = 1'-0"

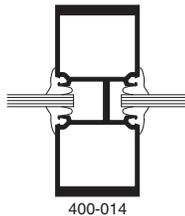
INSIDE GLAZING MEMBERS

TRIFAB 400 CAN BE INSTALLED FOR INSIDE GLAZING SIMPLY BY REVERSING THE SYSTEM SUCH THAT THE REMOVABLE GLASS STOPS ARE LOCATED AT THE HEAD AND ON THE INTERIOR SIDE.

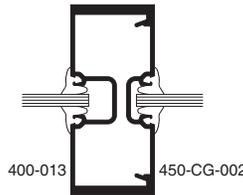


ALTERNATE MULLION & SIDELITE BASE MEMBERS

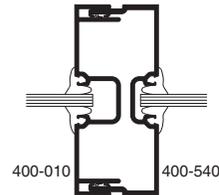
CAD DETAILS = Trifab_400_pg01.dwg THRU pg06.



HEAVY TUBE MULLION



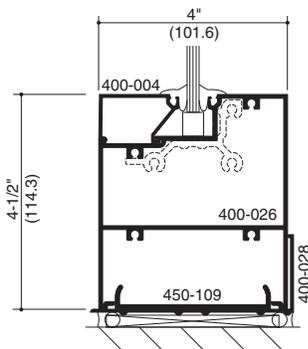
HEAVY SCREW SPLINE MULLION



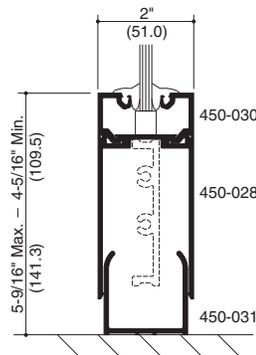
EXPANSION TUBE MULLION

* SIDELITE BASES SHOWN FOR USE WITH SCREW SPLINE & SHEAR BLOCK SYSTEMS ONLY.

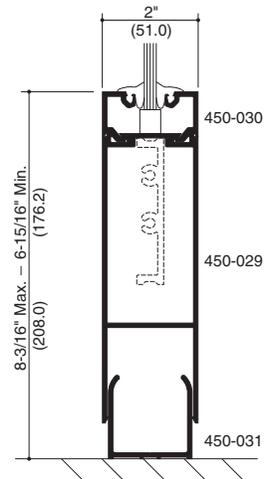
CAD DETAILS = Trifab_400_pg09.dwg



*SIDELITE BASE



*SIDELITE BASE



*SIDELITE BASE

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2010

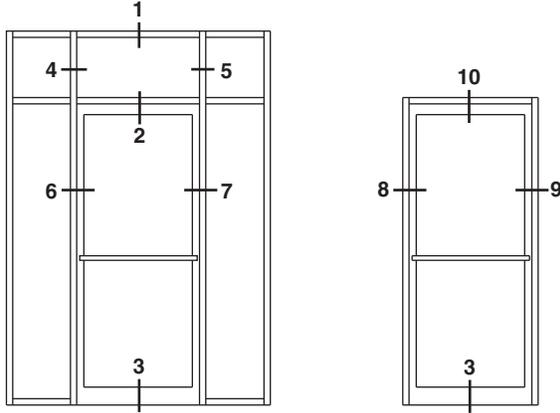
SCALE 3" = 1'-0"

CAD DETAILS = Trifab_400_pg10.dwg (Offset Pivot/Butt Hung)

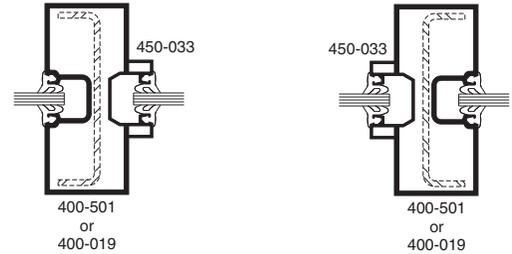
CAD DETAILS = Trifab_400_pg11.dwg (Center Hung)

TRIFAB® 400 FRAMING INCORPORATING KAWNEER "190" DOORS.

NOTE: OTHER TYPES OF KAWNEER DOORS MAY BE USED WITH THIS FRAMING SYSTEM. SEE ENTRANCE DETAILS FOR ADDITIONAL INFORMATION.

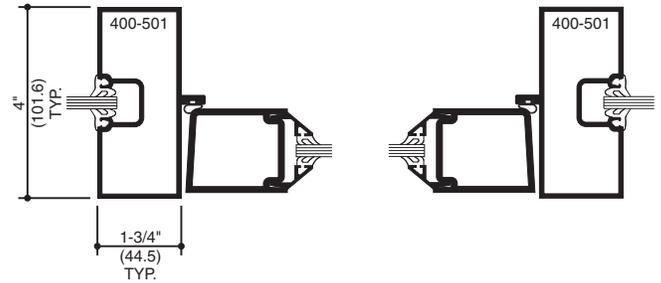
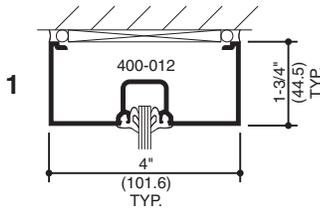


ELEVATIONS ARE NUMBER KEYED TO DETAILS

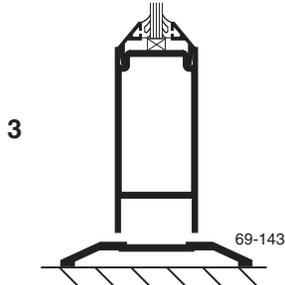
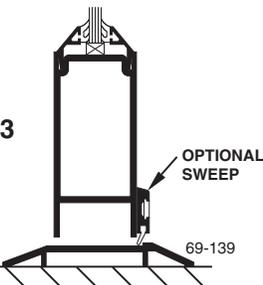
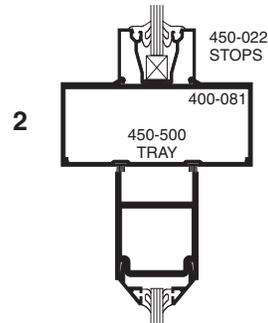
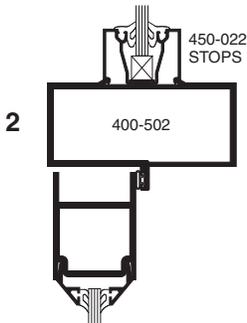


4 TRANSOM AREA 5

Transom area for both double and single acting doors with glass surround. Jambs above transom bar are routed out to accept glass holding Insert 450-033 with or without steel reinforcing. (400-110 Steel Reinforcing shown dashed)

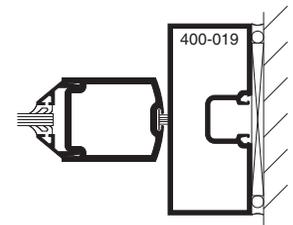
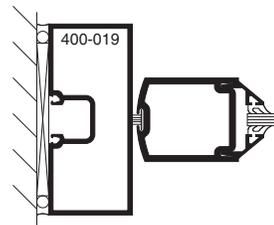


6 SINGLE ACTING DOOR 7

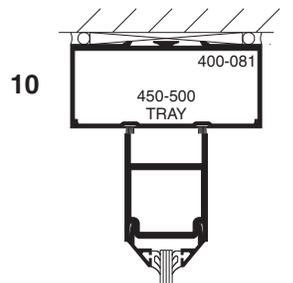
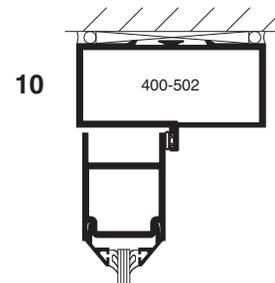


SINGLE ACTING DOOR WITH TRANSOM

DOUBLE ACTING DOOR WITH TRANSOM



8 DOUBLE ACTING DOOR 9



SINGLE ACTING DOOR WITHOUT TRANSOM

DOUBLE ACTING DOOR WITHOUT TRANSOM

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

© Kawneer Company, Inc., 2010

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **Park City High School**

Address: 1255 PARK AVE

AKA:

City, County: Park City, Summit County, Utah

Tax Number: SA-72-X & SA-63-X

Current Owner Name: PARK CITY MUNICIPAL CORP

Parent Parcel(s):

Current Owner Address: PO BOX 1480, PARK CITY, UT 84060-1480

Legal Description (include acreage): LOTS 1 THRU 44 BLK 7 SNYDERS ADDITION TO PARK CITY CONT 1.89 AC; ALSO THAT PORTION OF VACATED WOODSIDE AVENUE BEG AT THE SE COR OF BLK 7 & RUN TH N'LY ALONG THE E LINE OF BLK 7 TO THE NE COROF LOT 8 BLK 7 A DISTANCE OF 200 FT; TH W ACROSS THE R/W TO THE NW COR OF LOT 37 OF BLK 6; TH S'LY ALONG THE W LINE OF BLK 6 TO THE SW COR OF LOT 44 OF BLK 6 A DISTANCE OF 200 FT M/L; TH W TO THE PT OF BEG CONT 0.23 AC BAL 2.12 AC and N 1/2 OF LOT 5 AND LOT 6, 7, AND 8 BLK 6SNYDERS ADDITION TO PARK CITY; 0.15 AC

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

Original Use: Educational
Current Use: Educational

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Belz, David. "Park City High School Mechanical Arts Building." National Register of Historic Places Inventory - Nomination Form. 1996.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

Notarianni, Philip F., "Park City Main Street Historic District." National Register of Historic Places Inventory - Nomination Form. 1979.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Horizontal school building

No. Stories: 3

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: November, 08

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Concrete.

Walls: Pressed brick

Roof: Flat roof form.

Windows: Multi-pane casement.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The three-story brick structure was design by Scott & Welch (prominent Utah architects) in 1926-27. In 1993, the structure was rehabilitated by the City for use as a library and educational center. The structure does not appear to have been altered significantly. The Architects' file at the Utah State Historical Society were not consulted for this report. The changes (rear addition) do not affect the site's original design integrity.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting has not bee significantly altered.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence of the period that defines this as an important educational building constructed during the Park City mining era is the pressed brick and decorative concrete coping, the use of large multi-pane fixed and awning windows, the symmetrical massing and projecting bays.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of the institutional/educational development in Park City in the early 1920s.

Association (Describe the link between the important historic era or person and the property.): The structure was built in 1926-27 and design by two of Utah's most prominent architects.

5 SIGNIFICANCE

Architect: Not Known Known: Scott & Welch
(source: National Register nomination for 1167 Woodside Avenue)

Date of Construction: 1926-27¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

¹ Belz, page 3.

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. The development of public educational buildings in Park City reflects the rise and decline of population during the mining era as the boom hit, matured into a thriving industry, and then fell into decline.

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect): Designed by Carl W. Scott and George W. Welch, prominent Utah architects.

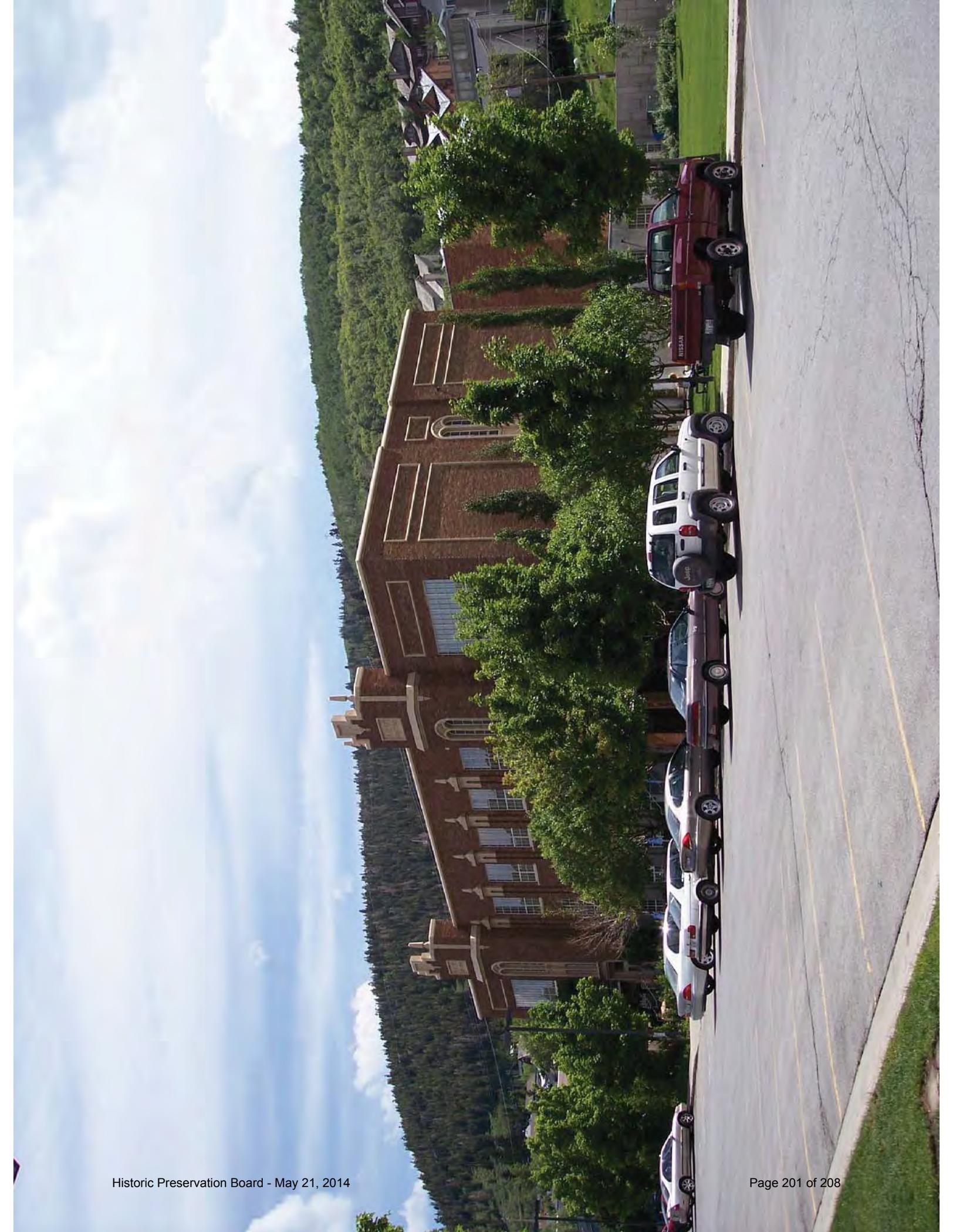
6 PHOTOS

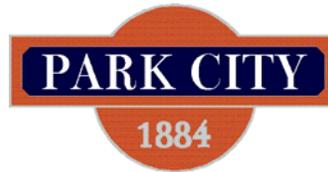
Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Northeast oblique. Camera facing southwest, 2006.

Photo No. 2: Northeast oblique. Camera facing southwest, 1995.







12 December 2013

Matt Twombly
Park City Municipal Corporation
PO Box 1480
Park City, UT 84060

NOTICE OF PLANNING COMMISSION ACTION

| | |
|-----------------------|---|
| <u>Application #</u> | PL-13-02085 |
| <u>Subject</u> | Park City Library and Education Center MPD |
| <u>Address</u> | 1255 Park Avenue |
| <u>Description</u> | Master Planned Development (MPD) Amendments |
| <u>Action Taken</u> | Approved |
| <u>Date of Action</u> | December 11, 2013 |

On December 11, 2013 the Planning Commission called a meeting to order, a quorum was established, a public meeting was held, and the Planning Commission found the approved MPD amendments to the Park City Library and Education Center (Carl Winter's School):

Finding of Fact

1. The application for the MPD was received on October 3, 2013. The application was deemed complete on October 22, 2013.
2. The Carl Winters building is a historic building designated as a "Landmark" on the Historic Sites Inventory (HSI).
3. The Park City Library and Education Center (Carl Winter's School Building) is located at 1255 Park Avenue. The property consists of the north half of Lot 5, all of Lots 6 through 12, the south half of Lot 13 and all of Lots 23 through 44 of Block 6 of the Snyders Addition as well as Lots 1 through 44 of Block 7 and the vacated Woodside Avenue. Upon recordation of the plat application submitted on June 14, 2013, the property will be known as the Carl Winters School Subdivision and is 3.56 acres in size.
4. City Council will consider vacation of the portion of Woodside contained on the Library property. Such vacation is required for the Plat Amendment.
5. The Planning Commission will hear the plat amendment for 1255 Park Avenue Carl Winters Subdivision on December 11, 2013 and forward a recommendation to City Council for their review and approval.
6. There is a Master Planned Development from 1992 for the property; however, the changes purposed to the concept and density justify review of the entire master

plan and development agreement by the Planning Commission. The library footprint will be expanded by approximately 2,400 square feet. A new terrace will also be created on the north elevation of the structure, adjacent to the park. In addition to these community gathering spaces, the library will temporarily house the Park City Senior Center.

7. The Park City Library contains approximately 48,721 square feet and was originally approved through two (2) MPDs in 1990 and 1992, as well as a Conditional Use Permit in 1992 to permit a Public and Quasi-Public Institution, the library.
8. Access is from Park Avenue, with a secondary entrance along 12th Street.
9. The proposed facility open space is 70% and includes a landscaped entry sequence from the Park Avenue bus stop to the Library entrance.
10. The total proposed building footprint is 19,519 square feet and gross square footage is 52,151.
11. The property is in the Recreation Commercial (RC) and Recreation Open Space (ROS) Districts—the structure is located in the RC District, whereas the open space to the north of the structure is in the ROS District.
12. This property is subject to the Carl Winters School Subdivision plat and any conditions of approval of that plat.
13. The existing Park City Library and Education Center contains 92 parking spaces.
14. The proposed parking is being reduced to 86 parking spaces.
15. Setbacks within the Recreation Commercial (RC) District are fifteen feet (15') in the front, fifteen feet (15') in the rear, and ten feet (10') on the sides. The MPD requires twenty-five (25') foot setbacks from all sides. The applicants have requested a setback reduction to ten feet (10') along the rear (west) yard.
16. A 315 SF interior Café is proposed. A Café is a Conditional Use in the RC District and is a support Use to the primary Development or Use, subject to provisions of LMC Chapter 15-6, Master Planned Development. Hours of the café will be limited to the hours in which the building is open.
17. The *Analysis* section of this staff report is incorporated herein.
18. This project is subject to a Historic District Design Review.
19. The Planning Commission reviewed the Park City Library and Education Center MPD as a Pre-MPD during Regular Session on September 25, 2013.
20. The Planning Commission also reviewed the MPD as a work session on September 25, 2013 and held a public hearing on November 20, 2013.

Conclusions of Law:

1. The MPD, as conditioned, complies with all the requirements of the Land Management Code.
2. The MPD, as conditioned, meets the minimum requirements of Section 15-6-5 of this Code.
3. The MPD, as conditioned, is consistent with the Park City General Plan.

4. The MPD, as conditioned, provides the highest value of open space, as determined by the Planning Commission.
5. The MPD, as conditioned, strengthens and enhances the resort character of Park City.
6. The MPD, as conditioned, compliments the natural features on the Site and preserves significant features or vegetation to the extent possible.
7. The MPD, as conditioned, is Compatible in Use, scale and mass with adjacent Properties, and promotes neighborhood Compatibility.
8. The MPD provides amenities to the community so that there is no net loss of community amenities.
9. The MPD is not subject to the Sensitive Lands requirements of the Land Management Code. The project has been designed to place Development on the most developable land and lease visually obtrusive portions of the Site.
10. The MPD, as conditioned, promotes the Use of non-vehicular forms of transportation through design and by providing trail connections by the location on a proposed bus route. Bicycle parking racks will be provided.
11. The MPD has been noticed and public hearing held in accordance with this Code.

Conditions of Approval:

1. All standard conditions of approval apply to this MPD and CUP.
2. All applicable conditions of approval of the Carl Winters School Subdivision shall apply to this MPD.
3. The Carl Winters School will be restored according to the Secretary of the Interior's Standards for Rehabilitation and the structure will be listed on the National Register of Historic Places. A Historic District Design Review and approval will be required prior to building permit submittal.
4. A final water efficient landscape and irrigation plan that indicates snow storage areas and native drought tolerant plant materials appropriate to this area, is required prior to building permit issuance.
5. All exterior lights must conform to the City lighting ordinance and included in the Historic District Design Review. Parking lot and security lighting shall be minimal and approved by Planning Staff prior to issuance of a certificate of occupancy.
6. All exterior signs require a separate sign permit. Application for a sign permit shall be made to the Planning Department prior to installation of any temporary or permanent signs.
7. The Site plan shall include adequate Areas for trash dumpsters and recycling containers, including an adequate circulation area for pick-up vehicles. Recycling facilities will accommodate materials generated by the tenants, users, operators, or owners of the project and shall include, but are not limited to glass, plastic, paper, cans, cardboard, or other household or commercially generated recyclable and scrap materials. These facilities shall be enclosed and shall be included on the site and landscape plans for the Project.

8. Pedestrian Access shall be provided to the refuse/recycling facilities from within the MPD for the convenience of residents and guests. Written approval of the proposed locations shall be obtained by the City Building and Planning Department.
9. Exterior building materials and colors and final design details must be in substantial compliance with the elevations, color and material details exhibits and photos reviewed by the Planning Commission on December 11, 2013, and shall be approved by staff at Historic District Design Review (HDDR) application. Materials shall not be reflective and colors shall be warm, earth tones that blend with the natural colors of the area.
10. The final building plans, parking lot details and landscaping, and construction details for the project shall meet substantial compliance with the drawings reviewed by the Planning Commission on December 11, 2013. The Historic District Design Review (HDDR) application will also be reflective of the drawings reviewed by this Planning Commission on December 11, 2013.
11. The City Engineer prior to Building Permit issuance must approve utility, storm water systems and grading plans, including all public improvements.
12. Staff must approve the Construction Mitigation Plan to issuance of any building permits and shall include appropriate contact information as required. Signs posted on site will indicate emergency contacts.
13. Lay down and staging will be restricted to existing parking lots and disturbed construction area. Applicant will minimize placement adjacent to housing units as much as possible.
14. The applicant will notify all affected property owners within 300 feet prior to construction commencing of conditioned work hours, contact information and general project description.
15. A limit of disturbance area will be identified during the building permit review.
16. The applicant shall submit a total employee count at time of building permit. Prior to Certificate of Occupancy the applicant shall provide verification that the employee count has not increased. Should there be an increase in the total employee count the applicant shall be subject to the terms and conditions of Housing Resolution 20-07; Section E Redevelopment.
17. An internal parking review will occur one year after Certificate of Occupancy (or the facility is fully operational) to analyze parking load and demand. The number of parking spaces will not be reduced less than 86 spaces.
18. The Mawhinney Parking Lot shall be used as overflow parking. At no time in the future shall this parking area be converted to affordable housing use or any other use without modifying this MPD.
19. The Café Conditional Use shall only operate in conjunction with hours the building is open, Film Series operation, or as approved under a Master Festival License or Special Event.

20. The proposed outdoor dining shall not extend beyond the 1,891 square foot terrace. Additionally, any proposed outdoor furniture will be reviewed and approved by the Planning Department prior to purchase and installation.
21. The hours the rooftop deck will be utilized will be in conjunction with the hours the building is open, and no later than 10pm.
22. An internal review will occur one (1) year after Certificate of Occupancy (or the facility is fully operational) to analyze trash generation and demand. If necessary, trash pick-up will be increased at that time.

Exhibits:

Exhibit A- Planning Commission Regular Session minutes, 11.20.13 (Minutes included in this packet.)

Exhibit B- Site Plan and Proposed Addition

Exhibit C- InterPlan Parking Study

Exhibit D- Carl Winters Area Parking

If you have questions regarding your project or the action taken please don't hesitate to contact me at 435-615-5067 or anya.grahn@parkcity.org.

Sincerely,



Anya Grahn
Historic Preservation Planner

January 24, 2014

To Whom It May Concern,

I am writing this letter to express my concerns about the proposed addition to the Carl Winters building. After reading the "Design Guidelines for Historic Sites In Park City" and studying the architectural drawings of the proposed addition, it appears that the addition should not be allowed. Since the library is a Landmark Site, the project must adhere to the strictest interpretation of the Guidelines. Based on the following sections of the Guidelines, the proposed addition is not compatible with the original building.

D.1.1 Additions to historic buildings should be considered only after it has been demonstrated by the owner/applicant that the new use cannot be accommodated by altering interior spaces.

- Since the Montessori school has moved out of the building, there should be adequate room for the new uses.

D.1.2 Additions should be visually subordinate to historic buildings when viewed from the primary public right-of-way.

- The proposed addition does not reinforce the visual dominance of the historic structure. The addition, because of its modern architectural style and materials becomes visually dominant.

D.1.4 Where the new addition abuts the historic building, a clear transitional element between the old and the new should be designed and constructed.

- There does not appear to be a transitional element.

D.1.5 Retain additions to structures that have achieved historic significance in their own right.

- The addition on the rear of the building is being removed.

D.2.1 Additions should complement the visual and physical qualities of the historic building.

- The gray cement and glass walls are radically different than the original orange brick building.

D.2.2 Building components and materials used on additions should be similar in scale and size to those found on the original building.

- The curved cement walls do not resemble any elements of the original building.

D.2.3 Window shapes, patterns, and proportions found on the historic building should be reflected in the new addition.

- The large glass window on the north side is a different shape and much larger than anything on the historic building.

Sincerely,
Jim Tedford



Exhibit F



February 7, 2014

VIA EMAIL

Park City Corp. Municipal Council
P.O. Box 1480
Park City, UT 84060

Dear Council Members:

I recently had the opportunity to review the proposed design for the addition to the historic Carl Winter High School that currently serves as the Park City Library. I appreciated having a thorough staff report that included several renderings and floor plans.

First, I offer compliments to those involved for several aspects of the plan including: the design of an addition that clearly differentiates itself from the historic building through a contemporary design, reversing the impacts of the 1990s addition at the rear by removing it and restoring several features including the original window openings, and seeking a solution that will continue to allow the Park City Library to operate and bring the public to one of the truly landmark structures in the city.

There is one area of concern with the plan that I'd like to bring to your attention. The proposed addition is shown to include a new exterior entry directly from the parking lot. I can certainly understand the desire and need to provide an ADA accessible entrance that is easy to locate and use. However, when an addition such as this includes a new entryway, it renders the historic entrance on the front of the building as a secondary entrance, effectively to be seldom used by the public. The city's proposal runs counter to accepted preservation philosophy which recommends that historic entrances continue to be used as the primary entrances, and that any entrances provided in new additions be clearly designed as secondary.

I believe this is worth further discussion by the city and its consultants, and encourage Park City's leadership to initiate a conversation to seek a solution that will focus the public's attention on using the historic entrance.

Sincerely,

A handwritten signature in black ink, appearing to read "Kirk Huffaker".

Kirk Huffaker
Executive Director

cc: Anya Grahn, Planning Division
Anne Oliver, SWCA Consultants

Established in 1966, Utah Heritage Foundation was the first statewide preservation organization in the western United States. The foundation's mission is to preserve, protect, and promote Utah's historic built environment through public awareness, advocacy, and active preservation.

Utah Heritage Foundation • P.O. Box 28, Salt Lake City, UT 84110-0028
www.utahheritagefoundation.org • (801) 533-0858