

**PARK CITY MUNICIPAL CORPORATION
SPECIAL MEETING FOR PLANNING COMMISSION**
CITY HALL, COUNCIL CHAMBERS
August 6, 2014



AGENDA

MEETING CALLED TO ORDER AT 5:30PM

ROLL CALL

PUBLIC COMMUNICATIONS – *Items not scheduled on the regular agenda*

STAFF/BOARD COMMUNICATIONS AND DISCLOSURES

REGULAR AGENDA – *Discussion, public hearing, and possible action as outlined below*

Bonanza Park and Form Based Code – Review of draft regulating plan and character zones.

Discussion, public hearing and further discussion at a later date.

PL-13-01903

*Planner
Alexander*

ADJOURN

Planning Commission Staff Report



Subject: Draft Form-Based Code for
Bonanza Park
Author: Christy Alexander, Planner II
Thomas Eddington, Planning Director
Date: August 6, 2014
Type of Item: Legislative LMC Amendments

Proposal

The purpose of the next few meetings is to ensure that the new Planning Commissioners are brought up to date regarding the draft Form-Based Code (FBC) amendments to the Land Management Code (LMC) for the Bonanza Park (BoPa) area and to confirm general policy direction before reviewing the amendments and forwarding a recommendation to the City Council.

Background

The FBC is an implementation tool for the BoPa Area Plan. The FBC will be the zoning ordinance regulating future development in the BoPa District. The BoPa-FBC will guide redevelopment projects to incorporate mixed-use, authentic building forms and materials, and a desirable public realm. The draft of the BoPa-FBC began in April 2012 and has been introduced during various Planning Commission work sessions since 2012. Specifically, the following meetings have been held:

- April 5, 2012 Kickoff Meeting
- May 22, 2012 Meeting with BOPA Neighbors
- October 24, 2012 Joint Council/Planning Commission Meeting
- May 8, 2013 Planning Commission Meeting
- May 22, 2103 Planning Commission Meeting
- June 12, 2013 Planning Commission Meeting
- May 13, 2014 Joint Council/Planning Commission Meeting

The BoPa-FBC will supersede the present General Commercial, Industrial, and Estate Zoning Districts within the BoPa District. The BoPa Area Plan proposed a new neighborhood grid system for the redevelopment area. The BoPa Regulating Plan (included in Appendix A of Exhibit A), if adopted, will be part of the official zoning map of Park City.

Subsequently, the Planning Commission and City Council held a Joint Work Session on May 13, 2014 (Exhibit B) confirming prior direction to move forward. Specifically, the City Council and Planning Commission discussed the issue of height/stories and rights-

of-way. The general consensus was that prior direction regarding building heights should be adhered to. There was discussion regarding the importance of view corridors and open plazas within the District. These, in addition to workforce housing, should be incentivized. Surface parking was discussed in detail; FBC is typically designed to support and foster walkable neighborhoods and locate limited surface parking behind buildings, in structures or underground. The City Council and Planning Commission ultimately agreed with this over-riding policy for parking and building location. The draft FBC that has been in the process since 2012 has recently been revised since the May 2014 joint meeting and is now about 95% complete (Exhibit A).

Analysis

Policy Clarifications

Staff would like to discuss with the Commission a few of the major sections within the draft FBC and clarify policy direction before finishing further revisions to the FBC. It will be best to read through the draft FBC and to go into further depth with the policy concerns at the meeting. Those topics include:

Regulating Plan - The Regulating Plan informs the form of an area by addressing 1) Building Form, which determines the best building envelope for the context, how to address the street and the variety of buildings which integrate seamlessly with the surrounding context, 2) Circulation, which evaluates existing streets and how they have been designed and provides parameters for designing future streets by relying on the context of the area, and 3) Parks and Public Spaces, which identifies the types of parks and public spaces that are appropriate for the vision of the community.

The Regulating Plan for BoPA identifies seven (7) distinctive character zones. The existing streets that form the boundary of BoPa and the creation of new internal streets are equally important to regulate the form of this area. The Regulating Plan has been established by examining the “fabric” or structure of the City to foster the healthy aspects of the community and identify a balanced street network that integrates a multi-use atmosphere. Street Types define designs that best suit the context in which the street will exist by regulating parameters for target speed, travel ways, lane dimensions which detail lane width for vehicles and bicycles, and the total right-of-way needed for the street type. The area commonly referred to as the sidewalk is an integral aspect of a form-based code as the connection of the public realm to the private realm. Activation within the sidewalk is a key to creating a more walkable community.

At the previous joint work session on May 13, 2014, staff brought forward a revised Regulating Plan taking into account that the RMP substation will remain in place and revising where the central park location may be in the future. Further revisions have been made to this document as Staff addresses changes to the FBC requirements. At this time the park is shown on City-owned property,

specifically where the Recycle Center is currently located. Discussions of diagonal pathways cutting through the grid were focused on at the last joint work session. The Planning Commission should consider whether a diagonal pattern for pedestrians and cyclists should be included now or be allowed to evolve as developments occur over the years..

Does the Planning Commission agree with the proposed Regulating Plan?
_____ Yes _____ No

Parking Requirements - Parking is regulated by an FBC in the same manner as it is by a conventional zoning ordinance. Minimum parking standards are established according to different land use types - as they are with conventional zoning. The primary difference in the approach to parking is the promotion of surface parking to the rear or side of buildings rather than between the building and the street. Because FBCs tend to promote more walkable, high-density mixed-use development coupled with on-street parking and transit, the parking standards are often lower than those associated with conventional zoning. Maximum parking standards may also be placed in the development standards and well as landscaping standards to mitigate large surface lots being seen from the street.

Staff has looked at the existing parking requirements within the Land Management Code and what may be appropriate for the BoPa area as development occurs and transit patterns change. With those in mind the parking ratios found Table 5.1 dictate minimum vehicular and bicycle parking required for the different character zones and by uses. It is also important to know that in a FBC district, uses may change over time while the building stays the same and how to incorporate shared parking and a higher amount of on-street parking into the calculations came into play as proper ratios were determined. The standards for placement of parking and landscaping buffers shall be per the Character Zone specific building form standards found in Section 5.2- 5.8

Does the Planning Commission agree with the proposed parking requirements?
_____ Yes _____ No

Administration - Form-Based Codes offer a streamlined administrative process. They put the emphasis on creating great and lasting places that attract and retain prosperity within a community. One of the major goals of form-based codes is to promote predictability in process and, in some cases, streamline the permitting process, a clearly defined application and project review process is included. The inclusion of wisely-developed architectural standards can help make administration of the form-based code more objective.

The BoPa FBC clearly identifies the Development Review Process in Section 3 and outlines what determines Administrative Review and/or Planning Commission Review. As noted at the last joint work session on May 13, 2014, the Planning Commission had stated they were anxious to review larger projects within the BoPa area. Taking that into consideration, all projects 25,000 square feet or larger will need to go through Planning Commission review as noted in the draft FBC. The Planning Director or designee will process smaller applications unless requiring a Conditional Use Permit (CUP), major modifications to the Code, appeals to the Planning Director's determination, or if City Council wants to grant additional flexibility for exceptional civic or environmental design.

Does the Planning Commission agree with the proposed administration requirements? Yes No

Incentive Standards - The purpose of this section is to implement the Enhanced Option recommendations of the Bonanza Park Area Plan street grid in a streamlined and predictable manner in conjunction with the City's Affordable Housing, Transfer of Development Rights (TDR), and View Shed & Open Space policies.

At the May 13, 2014 joint work session, concern for allowed height was discussed at length. The Council members and Commissioners had varying views as to what to allow for maximum heights. The current General Commercial zoning in the area allows for three stories and a 35 feet height standard. Table 7.3 within the draft FBC spells out the general standards and incentive options for receiving additional height above the three (3) stories and 35 feet height standard. The three options available are to provide workforce or affordable housing, providing dedication of required or recommended open/civic space and/or view sheds, and receiving TDR credits.. To be eligible for Tier 1 or 2 Enhanced Options, applicants have to meet the Applicability requirements as listed in Section 7.2 in the draft FBC. For utilization of alone or both of the enhanced options, maximum building height shall not exceed 5 floors or 55 feet. On the 4th floor the building area shall be limited to 75% of the ground floor building area (footprint) and on the 5th floor the building area shall be limited to 25% of the ground floor building area (footprint) unless otherwise specified in the draft FBC. The Bonus Tier option, adding TDR density to Tier 1 or 2 sites, would allow the 4th and 5th floor to be developed up to 100% of the ground floor area of the building.

Does the Planning Commission agree with the proposed incentive standards?
 Yes No

Appendices & Other Sections within the FBC

Time permitting; staff is prepared to discuss the Appendices – Street Cross Sections and Open Space Types should the Planning Commission have any questions regarding any of the content found in this section or any other sections within the draft FBC.

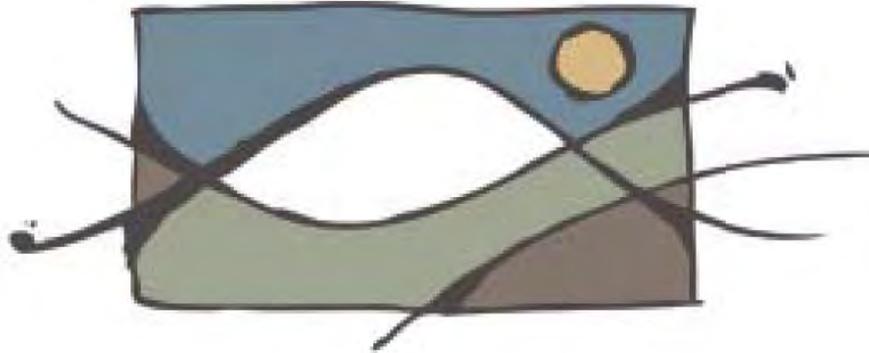
Next Steps

The Planning Commission will continue to meet to discuss/revise the draft FBC prior to a joint meeting with the City Council and ultimately forwarding a recommendation to the City Council.

Exhibits

Exhibit A – Draft FBC with Appendices

Exhibit B – Minutes from May 13, 2014 Joint Work Session



**Bonanza Park
Form-Based Code**

DRAFT

July 31, 2014

Developed for



By

GATEWAYPLANNING
A V I A L T A G R O U P P A R T N E R

Title 15, Chapter 2.25 Bonanza Park Form-Based Code (BoPa-FBC)

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Appendix A: Regulating Plan

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Appendix C: Street Design Standards

Appendix D: Parks and Open Space Palette

Introduction

This document provides the implementation tools that address the rules for new development and redevelopment consistent with the Bonanza Park Area Plan (included as Appendix B) supplement to the General Plan. Excerpts from the Area Plan are used throughout the document to provide guidance to property owners, applicants, and developers on the vision for the area.

1.1 Purpose and Intent

The purpose of the Bonanza Park Form-Based Code (BP-FBC) is to implement the vision of improved connectivity through a pedestrian-oriented, mixed-use neighborhood in which local residents live, work, and play, by:

- (a) Providing increased attainable housing opportunities;
- (b) Incentivizing community benefits;
- (c) Creating authenticity through placemaking, human scale, and individualized contemporary design; and
- (d) Promoting economic development.
- (e) Promoting environmental stewardship
- (f) Maintaining the connections to the Natural Setting by preserving view corridors and integrating open space

Therefore, the goals of the Bonanza Park FBC are to provide a more functional and dense community through the use of recognized principles of urban design and allow property owners flexibility in land use, while prescribing a higher level of detail in building design, form, and the public realm.

1.2 Relationship to Adopted Plans

The Bonanza Park FBC implements the following planning principles for the Bonanza Park District, as follows:

- (a) Reconnect to the history of this locale.
- (b) Take a collaborative partnership approach to redevelopment between the City, property owners, local residents, and business owners within the district.
- (c) Actively promote inward migration into the redevelopment area rather than passively allowing outward migration and sprawl.
- (d) Protect view corridors and the connection to the mountains.
- (e) Improve internal circulation and enhance connectivity to the surrounding mobility systems.
- (f) Redevelop utilizing future-oriented, environmentally-conscious development practices.
- (g) Maintain the area as a commercial district with special emphasis on fostering economic development within the local resident population and existing businesses.
- (h) Establish the Bonanza Park District as a neighborhood where locals to live, work, and play.
- (i) Address the housing and social needs of the neighborhood's diverse population.
- (j) Create an authentic and lively district through design and attention to the public realm.

2.0 Components of the Code

2.1 **Regulating Plan:** The Bonanza Park District Regulating Plan (Appendix A) is hereby adopted as the official zoning map for the District. Within any area subject to the approved Regulating Plan, this BOPA-FBC becomes the exclusive and mandatory regulation.

- (a) **Establishment of Character Zones**

The Regulating Plan (Appendix A) establishes the following Character Zones.

- i. **Mixed Use Center** – The Mixed Use Center zone is intended to accommodate a variety of higher intensity uses related to entertainment, resort services, employment offices, education, neighborhood-serving commercial, and urban residential. The goal of the zone is to create an area that sustains itself both on and off peak tourist times and establishes itself as a true center of Bonanza Park. Development may include both larger scale projects that redevelop complete blocks and small scale, lot-by-lot, incremental redevelopment. Buildings in this Zone shall be characterized by development that represents the next generation Park City, which takes cues from Park City’s past with appropriate scale, but begins a new paradigm of designing with contemporary, eco-conscious materials, solar orientation, and environmental best practices.
- ii. **Resort Gateway** – The Resort Gateway zone is intended to be the location for resort services and boutique resort hotels along the major entrance corridors into Bonanza Park. As the gateway to Park City when entering town, or going to mountain facilities, the resort gateway zone identifies the preferred location within the Bonanza Park District to stay, dine and shop. The goal for this zone is to be an appropriate entryway to the City and the Bonanza Park area by expressing a primarily resort character. Future architectural style and design in this area should relate to the mountain resort character.
- iii. **Iron Horse** – The Iron Horse zone is intended to foster a range of light industrial arts, services, and associated design elements, while continually transitioning into a local arts neighborhood with urban living in an eclectic lifestyle that is reflective of the industrial roots of this area of Bonanza Park. The goal is to create an urban residential neighborhood and maintain a place within the city limits for light industrial professional services. The dominant architectural style is guided by the existing buildings along Iron Horse Drive that have a simple form. Materials are dominated by concrete block, metal siding, and metal roofs. The future design should be evolutionary, taking hints from the simple form with the introduction of new materials in adaptive reuse, additions, and new structures. Overall design should tie to the industrial past of the area and the railroad.
- iv. **BoPa Residential** – The BoPa Residential zone is intended to preserve existing residential or provide for long-term redevelopment into a range of higher density residential (live-work, townhomes, garden apartments, etc.) within the heart of the neighborhood within walking distance of the Mixed Use Center. Development standards in this character zone emphasize higher density urban residential uses and various residential building types.
- v. **Civic Use Center** – The Civic Use Center zone is intended to accommodate a range of City facilities such as the Public Works and Transportation building, bus barn with workforce housing, future transit hub, possible gondola connector to Park City Mountain Resort, etc. Development may include larger projects with a mix of uses and standards in this zone should emphasize a robust, sustainable network of partnerships along building fronts to create a vibrant, cohesive district that engages surrounding public spaces. The goal of this zone is to create a civic hub near the center of the neighborhood where public utility services, transportation, and other public buildings and facilities are grouped and may be accessed on a community level. Services should be within walking distance (a quarter mile) and transportation options should facilitate in bringing residents in and out of the neighborhood from not only the surrounding communities, but also on a regional level. This zone should showcase the strength of the community, and becomes a source of community pride with the feeling that it belongs to everyone.

- vi. Hillside Residential - The Hillside Residential zone is also intended to preserve the existing range of affordable higher density residential located along the Iron Horse Loop Road set against the Hillside. Development standards in this character zone emphasize the preservation of the higher density urban residential uses with some possible infill or redevelopment within the existing context.
- vii. Utility Services – In light of the decision of Rocky Mountain Power (RMP) not to move the utility substation located within Bonanza Park, it is recommended that the property that substation sits on to be classified as its own character zone – Utility Services. This area would be characterized by only allowing the substation with specific screening, buffering, and fencing standards along its frontages to the neighborhood.

(b) **Street Designations** – The Streets within Bonanza Park shall be classified in three major ways. First, the *Street Cross Sections* shall address vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards (streetscape standards). These standards are laid out in Section 10 and Appendix C of this code. Second, *Street Type* designations shall classify the streets by their appropriate development context by denoting them on the Regulating Plan as Type “A” or Type “B” Streets. Lastly, *Street Priority* shall establish the phasing significance (primary and secondary) of different street segments within Bonanza Park. Refer to Section 8.0 Street Design Standards for the detailed regulations.

(c) **Open Space/Civic Space Designations** – Open Space and Civic Space within Bonanza Park shall be categorized as Required Open/Civic Space and Recommended Open/Civic Space. The detailed Open Space and Civic Space Standards for different open space types are included in Section 9.0 and Appendix C of this Code. These standards include general character, typical size, frontage requirements, and typical uses.

(d) **Special Frontage Standards** – The Special Frontage Standards establish exceptions and special conditions for all buildings along designated frontages. Special Frontage Standards shall be applicable in addition to the underlying Character Zone standards.

2.2 **Development Standards:** The BOPA-FBC text portion of this Appendix enumerates the development standards with text and graphics for Character Zones, Frontage Types, building form, landscape, signage, and lighting.

2.3 **Using This Document**

The following basic steps should be followed to determine the uses and development standards applicable on property within the Bonanza Park District:

- i. Review the Table 3.1 to evaluate the applicability of the BOPA-FBC based on the scope of the proposed development.
- ii. Locate the subject property on the Bonanza Park Regulating Plan (Appendix A).
- iii. Identify:
 - i. The Character Zone in which the property is located;
 - ii. All Street Designation along all its street frontages;
 - iii. Any open space/civic space designations applicable to the property (required and recommended); and
 - iv. Any Special Frontage Requirements or special requirements that may be applicable to the subject property.

- iv. Review the Schedule of Uses by Character Zone as listed in Table 4.1 to determine allowed uses.
- v. Examine the corresponding zone standards in the Building Form and Development Standards in Section 5 to determine the applicable Base Development Standards and any Special Frontage standards.
- vi. Refer to Section 6 for Building Design Standards based on the building type and Character Zone of the proposed development.
- vii. Refer to Section 7 for Incentive Standards for development entitlement greater than established by Section 5
- viii. Refer to Section 8 for Street Design Standards
- ix. Refer to Section 9 for Open Space/Civic Space Standards.
- x. Refer to Section 10 for Streetscape and Landscape Standards

The information listed in the aforementioned steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it. For more specific dimensions and standards applicable to a particular property, consult with City Staff.

3.0 Administration

3.1 Applicability

- (a) The uses and buildings on all properties within the Bonanza Park Form-Based zoning classification shall conform exclusively to this Code unless specifically referenced otherwise in this Code. Table 3.1 shall determine the extent to which sections of the Form-Based Code apply to any proposed development based on the type and scope of the proposed development.
- (b) Provisions of this BOPA-FBC are activated by “shall” when required; “should” when recommended and/or “may” when optional.
- (c) Terms used throughout this Code are defined in *Section 12. Definitions*. For those terms not defined in *Section 12. Definitions*, Definitions in various sections of the Title 15 of the Park City Municipal Corporation Land Management Code shall apply. For terms not defined in either section, they shall be accorded commonly accepted meanings. In the event of conflict, the definitions of this Code shall take precedence.
- (d) Where in conflict, numerical metrics shall take precedence over graphic metrics.

3.2 Relationship to other city ordinances

- (a) For all property zoned as BOPA-FBC, the standards in this document shall supersede standards under:
 - i. Off-Street Parking under Title 15 Chapter 3 of the Land Management Code, as amended, except as specifically referenced herein.
 - ii. Supplemental Regulations under Title 15 Chapter 4 of the Land Management Code, as amended, except as specifically referenced herein.
 - iii. Standards under Title 15, Chapter 6, Master Planned Development, except as referenced herein.
 - iv. Subdivision Provisions and Procedures under Title 15 Chapter 7 of the Land Management Code, as amended, except as specifically referenced herein.
 - v. Non-Conforming Uses and Non-Conforming Structures under Title 15 Chapter 9 of the Land Management Code, as amended, except as specifically referenced herein.
- (b) Development standards not addressed in this ordinance shall be governed by the Park City Municipal Corporation Land Management Code to the extent they are not in conflict with the intent or text of the BOPA-FBC Code.

3.3 Development Review Process

- (a) Administrative Review -: Projects that clearly comply with all standards of this Code and projects that require Minor Modifications shall be processed administratively by the Planning Director or designee unless requiring a Conditional Use Permit (CUP) per Section 4 of this code. The Planning Director shall be responsible for the following:
 - i. Reviewing site plan applications for compliance with the requirements of BOPA-FBC Code.
 - ii. Approving site plan applications that are in compliance with the requirements of the BOPA-FBC Code.
 - iii. Approving revisions to previously approved site plans that comply with this Code and all applicable city ordinances.
 - iv. Approving any minor modifications to the approved Regulating Plan and Code per Section 3.3 (b) and Table 3.2.

- v. Forwarding any appeals to the decision of the Planning Director and/or major modifications to the Planning Commission.

Table 3.1 Applicability Matrix

Code Section	Section 4: Schedule of Uses	Section 5: Build-to zones and	Section 5: Height	Section 5: Parking and Street Screen	Section 6: Building Design Standards	Section 8: Street Design Standards	Section 9: Civic/Open	Section 10: Landscape and Streetscape	Section 11: Sustainability Standards
Type of Development									
Commercial (retail, office, restaurant), lodging, mixed use building, apartment/multi-family building (3 or more units per lot), and live-work buildings									
New Construction	X	X	X	X	X	X	X	X	X
Change of Use/Expansion of Use (without expansion of building and regardless of change in value)	X			X				X	
Repair, Maintenance, Alteration, and Enlargement of Building Area of Non-Complying Structures:									
<ul style="list-style-type: none"> Any Non-Complying Structure may be repaired, maintained, altered, or enlarged, provided that such repair, maintenance, alteration, or enlargement shall neither create any new non-compliance nor shall increase the degree of the existing non-compliance of all or any part of such Structure. Standards in the BoPa FBC shall apply to the expansions only. 		X	X	X		X	X	X	X
Expansion of parking area only (not in conjunction with a building or use expansion)									
Up to 10 spaces				X					
11 or more additional spaces				X		X		X	X
Facade changes to existing buildings (regardless of value of improvements proposed)									
Addition of non-air conditioned space such as patios, porches, arcades, canopies, and outdoor seating areas (subject to Minor Modifications in Section 3.3 (b) and Table 3.2)		X	X						
Residential Buildings (single family attached and detached buildings)									
New construction	X	X	X	X	X	X	X	X	X
Change of Use (without expansion of building)	X			X					
Addition of non-air conditioned space such as patios, porches, arcades, canopies, private open space, recreational amenities and courtyards/forecourts (subject to Minor Modifications in Section 3.3 (b) and Table 3.2)		X	X		X				
Expansion of use/structure (new accessory building/structure on the lot)	X	X	X	X	X			X	

X- denotes required compliance with that section of the code

- (b) Minor Modifications to the BOPA-FBC: The Planning Director shall have the authority to approve a request for minor modifications to BOPA-FBC that:
 - i. Does not materially change the circulation and building location on the site;
 - ii. Does not increase the building area permitted under this Code;
 - iii. Does not change the relationship between the buildings and the street;
 - iv. Does not allow greater height of any building as established in this Code; or
 - v. Change any required element of the Regulating Plan and the Code beyond the thresholds established in Table 3.2 below
 - vi. Any appeals to the decisions of the Planning Director on minor modifications shall be heard by the Planning Commission.

- (c) Exceptional Civic Design and Major Modifications. The Planning Commission may recommend and City Council may allow additional flexibility for projects of exceptional civic or environmental design. Additional flexibility to the standards in this Code (beyond the Minor Modifications permitted in Section 3.3(b) and Table 3.2) shall be considered as Major Modifications. . In evaluating Exceptional Civic Design and Major Modification requests, the Planning Commission and City Council shall use the following criteria:
 - i. The extent to which the application meets the vision for a vibrant mixed use neighborhood geared toward primary residents consistent with the Bonanza Park Plan;
 - ii. The extent to the application considers not only traffic circulation, but also considers multiple modes of transportation and implements the overall street network to support walkable mixed use;
 - iii. The extent to which the application creates or maintains the continuity of walkable streets with active uses, attractive streetscape, range of residential uses, and timeless architecture;
 - iv. The extent to which the application proposes a unique design solution with building design and architectural materials that can create a special destination within Bonanza Park;
 - v. Whether the application implements Bonanza Park’s vision for incremental evolution of lots and blocks into higher density while taking advantage of existing improvements; and
 - vi. The extent to which the application integrates usable and high quality civic and open space that adds value and becomes a focal point for the development.
 - vii. The extent to which the application integrates high efficiency of natural resources and contributes to Park City’s goals of decreasing greenhouse gas (GHG) emissions.

- (d) Conditional Use Permit Review: The Conditional Use Permit review process outlined in LMC section 15-1-10 will be applied for all projects requiring Conditional Use Permit approval, unless a subsequent provision of the LMC specifically sets forth an administrative approval process for a specific Conditional Use, in which case that section shall control. Noticing requirements outlined within LMC 15-1-10 apply.

- (e) Variances to Zoning Requirements: Any wavier of basic dimensional development standards related to building heights or setbacks shall require a variance considered by the Board of Adjustment per Title 15 Chapter 10 of the Land Management Code.

- (f) Appeals: Any decision by either the Planning Director or Planning Staff regarding the Application of the FBC to a Property may be appealed to the Planning Commission. Any decision by the Planning Commission regarding the application of the FBC to a Property may be appealed to the Board of Adjustment. Final Action by the Planning Commission on Conditional Use Permits involving City Development may be appealed to the Board of Adjustment at the City Council's request. All other Final Action by the Planning Commission concerning Conditional Use permits may be appealed to the City Council. Process and Scope of Appeals is outlined within LMC 15-1-18.

Table 3.2 Minor Modification Criteria

Standard	Minor Modification Allowed	Criteria
Regulating Plan Components		
Area/Boundary of Individual Character Zones	No more than a 15% change (increase or decrease) in the total area of any individual Character Zone	<ul style="list-style-type: none"> • Shall not eliminate any Character Zone • Shall not change the overall boundary of the BOPA-FBC Zoning Boundary in the Regulating Plan • 15% measurement shall be based on the total area of that specific Character Zone within the entire BOPA-FBC Zoning District
Location of any Primary Street	Location may be shifted no more than 100' in any direction	<ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan
Location of any trails/pedestrian paseo	Location may be shifted within the block.	<ul style="list-style-type: none"> • Shall maintain the mid-block pedestrian connectivity and view corridors intended by the Regulating Plan
Area of any Required Civic/Open Space	May be reduced by no more than 10%	<ul style="list-style-type: none"> • Shall maintain the frontages required by the Regulating Plan • Area may be adjusted to accommodate any shifting of any Primary Streets only
Building Form and Development Standards		
<ul style="list-style-type: none"> • Build to zones/setbacks 	No more than a 20% change in the maximum or minimum setback.	<ul style="list-style-type: none"> • Changes to the build to zones and setbacks may only be due to: <ol style="list-style-type: none"> any changes to the street cross sections or changes in the width of a sidewalk or the need to accommodate existing buildings and structures on the lot that meet the overall intent and vision for redevelopment in Bonanza Park; or the need to accommodate snow storage beyond the area within the minimum setback; or the need to accommodate other required modes of transportation (transit, bike, pedestrian), storm water drainage, water quality, or low impact development (LID) elements on the site; or the need to accommodate overhead or underground utilities and/or easements or the need to accommodate porte-cocheres for drop-off and pick-up • In no case shall the sidewalk be less than 8 feet in width along Bonanza Drive and 8 feet in width along all other streets.
<ul style="list-style-type: none"> • Building Frontage 	No more than a 15% reduction in the required building frontage along each block of a Type "A" Street and no more than a 25% reduction in the required building frontage along each block of a Type "B" Street.	<ul style="list-style-type: none"> • Any reduction in the required building frontage shall be to address one of the following: <ol style="list-style-type: none"> To accommodate porte-cocheres for drop-off and pick-up or To accommodate existing buildings and site elements to be retained or To accommodate other required transit, bike-pedestrian related, storm water drainage, water quality, or light impact design elements on the site

Standard	Minor Modification Allowed	Criteria
	Deferment of Building Frontage requirements along certain streets (both Type "A" and Type "B" Streets)	<ul style="list-style-type: none"> Building frontage standards may be deferred along certain streets in order to accommodate phased development/redevelopment on the site in conjunction with a developers agreement or other official performance agreement or contract adopted between the developer/property owner and the city or public entity
<ul style="list-style-type: none"> Building Frontage 	Reduction of building frontage requirements for lots with frontage along two or more Type "A" Streets	<ul style="list-style-type: none"> Frontage requirement along <u>one</u> Type "A" Street frontage may be replaced with the corresponding standard for a Type "B" Street instead. In determining which Type "A" Street frontage may be changed to a Type "B" Street frontage, maintaining continuity of building frontages of adjoining blocks on both sides of the Type "A" designated streets shall be considered.
<ul style="list-style-type: none"> Street screen 	Waiver of street screen requirement along a Type "B" Street or Boulevard	<ul style="list-style-type: none"> Requirement for a street screen may only be waived along the Type "B" Street or along the frontage of any interim surface parking lot (off-street) that is intended to be in-filled with a parking structure. In no case shall any portion of the surface parking have frontage along a Type "A" Street without a required street screen In no case shall the (off-street) surface parking lot be located at a street intersection for a minimum depth of 20' along each street (regardless of the Street Type).
Streetscape standards	Street tree planting, street lighting, and other streetscape standards may be adjusted based on the development context and street cross section.	<ul style="list-style-type: none"> Any changes to the streetscape standards shall be based on specific development context such as vegetation, natural features, drainage, and fire access and is subject to approval by the City.
Build-to zones, setbacks, building frontage, parking location, street screen, driveways and access standards	Deferment of one or more of these standards	<ul style="list-style-type: none"> Any of these standards may be deferred in order to accommodate phased development/redevelopment on the site in conjunction with a phasing plan or other agreement with the city Driveways for porte-cocheres and structured parking may be permitted along Type "A" frontages so long as the pedestrian realm is maintained and treated along such frontage appropriately with paving, screening, and signage.
Any other numerical standard in the code	A modification up to 10% (increase or decrease)	<ul style="list-style-type: none"> A small modification of a numerical standard is needed to accommodate existing conditions and context The proposed development still meets the intent of the Code.

3.4 Plat Approval: The applicant shall follow Title 15 Chapter 7 of the Land Management Code, for the plat approval subject to the requirements per this Code.

3.5 **Non-conforming Uses and Non-complying Structures:**

- (a) Non-conforming Uses: Any non-conforming use that does not conform to the provisions of this code must comply with the regulations per Title 15 Chapter 9 of the Land Management Code. A Non-Conforming Use may not be moved, enlarged, altered, or occupy additional land, except as provided in this Title 15 Chapter 9 of the Land Management Code.
- (b) Non-complying Structure: No non-complying structure may be moved, enlarged, or altered, except in the manner provided in this Section or unless required by law.
 - i. Repair, Maintenance, Alteration, and Enlargement: Any Non-Complying Structure may be repaired, maintained, altered, or enlarged, provided that such repair, maintenance, alteration, or enlargement shall neither create any new non-compliance nor shall increase the degree of the existing non-compliance of all or any part of such Structure.
 - ii. Moving: A Non-Complying Structure shall not be moved in whole or in part, for any distance whatsoever, to any other location on the same or any other lot unless the entire Structure shall thereafter conform to the regulations of the zone in which it will be located..
 - iii. Damage or Destruction of Non-Complying Structure: If a Non-Complying Structure is allowed to deteriorate to a condition that the Structure is rendered uninhabitable and is not repaired or restored within six (6) months after written notice to the Property Owner that the Structure is uninhabitable and that the Non- Complying Structure or the Building that houses a Non-Complying Structure, is voluntarily razed or is required by law to be razed, the Structure shall not be restored unless it is restored to comply with the regulations of the zone in which it is located. If a Non-Complying Structure is involuntarily destroyed in whole or in part due to fire or other calamity and the Structure or Use has not been abandoned, the Structure may be restored to its original condition, provided such work is started within six months of such calamity, completed within eighteen (18) months of work commencement, and the intensity of Use is not increased.
- (c) Ordinary Repair and maintenance and structural safety. The owner may complete normal maintenance and incidental repair on a complying Structure that contains a Non-Conforming Use or on a Non-Complying Structure. This Section shall not be construed to authorize any violations of law nor to prevent the strengthening or restoration to a safe condition of a Structure in accordance with an order of the Building Official who declares a Structure to be unsafe and orders its restoration to a safe condition.

3.6 **Amendments to the Code:** Amendments and changes to the Regulating Plan, text and property boundaries beyond those expressed permitted under this Code shall follow the requirements of Title 15 Chapter 1, subsection 7 of the Land Management Code.

4.0 Schedule of Permitted Uses

4.1 Applicability: Due to the emphasis on urban form over land uses in the BOPA-FBC District, general use categories have been identified by Character Zone. Uses that are not listed in the following schedule (Table 4.1), but that are substantially similar, may be permitted upon approval of the Planning Director or his/her designee, subject to appeal to the Planning Commission pursuant to LMC 15-1-18.

P= Permitted by right
 NP= Not Permitted
 P/C = Permitted with Specific Criteria as established in Table 4.2
 P/A = Permitted Accessory Use
 P/A/C = Permitted Accessory Use with Specific Criteria as established in Table 4.2
 P/C/CUP = Permitted with Specific Criteria in Table 4.2 and with a Conditional Use Permit
 P/CUP = Permitted with a Conditional Use Permit

Table 4.1 – Schedule of Uses							
Character Zone	Mixed use Center	Resort Gateway	Bo Pa Residential	Iron Horse	Hillside Residential	Civic Use Center	Utility Service
Land Use							
Commercial Uses (Office, Retail, Sales and Service Uses)							
Retail Sales or Service (personal service uses) with <u>no drive-through window or drive-in service</u> (includes alcohol sales) including retail and service commercial, minor, retail and service commercial, personal improvement, retail and service commercial, major, plant and nursery stock production and sales, and commercial, resort support. Excluded from this category are retail sales and service establishments that cater to the automobile	P	P	NP	P	NP	P	NP
Retail and Service Commercial, Auto-related	NP	NP	NP	P/C	NP	NP	NP
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive-through window or drive-in service</u>	P	P	NP	P	NP	P	NP
Offices for business, professional, administrative, and technical services such as accountants, architects, lawyers, doctors, etc. including office general, office moderate intensive, and office Intensive	P	P	NP	P	NP	P	NP
Research laboratory headquarters, laboratories and associated facilities	P	P	NP	P	NP	P	NP
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through window or drive in service</u> including café or deli, restaurant general Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages (with food service).	P	P	NP	P	NP	P	NP
Bars and/or drinking establishment	P	P	NP	P	NP	P	NP
Any permitted use with a drive-up window or drive-up service including Financial Institution, gasoline service station, restaurant, or retail Drive-up Window.	NP	P/C/CUP	NP	P/C/CUP	NP	P/C/CUP	NP

Table 4.1 – Schedule of Uses

Character Zone	Mixed use Center	Resort Gateway	Bo Pa Residential	Iron Horse	Hillside Residential	Civic Use Center	Utility Service
Arts, Entertainment, and Recreation Uses							
Amusement or theme park establishment (indoor) including bowling alleys, bingo parlor, games arcades, skating, etc.	P	P	NP	P	NP	P	NP
Amusement or theme park establishment (outdoor) including miniature golf, go-cart tracks, or Outdoor Entertainment Facility, etc.	P/CUP	P/CUP	NP	P/CUP	NP	P/CUP	NP
Art galleries	P	P	NP	P	NP	P	NP
Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)	P	P	NP	P	NP	P	NP
Games arcade establishments	P	P	NP	P	NP	P	NP
Theater, cinema, dance, or music establishment	P	P	NP	P	NP	P	NP
Museums and other special purpose recreational institutions	P	P	NP	P	NP	P	NP
Recreation facility, Commercial	P	P	NP	P	NP	P	NP
Recreation facility, Public	P	P	P	P	P	P	NP
Recreation Facility, Private	P/A	P/A	P/A	P/A	P/A	P	NP
Parks, greens, plazas, squares, and playgrounds (public and private)	P	P	P	P	P	P	P
Passenger Tramway and Ski Base Facility	P	P	NP	P	NP	P	NP
Ski Tow Rope, ski lift, ski run, and ski bridge	P	P	NP	P	NP	P	NP
Educational, Public Administration, Health Care and Other Institutional Uses							
Business associations and professional membership organizations	P	P	NP	P	NP	P	NP
Child Care, In Home	P	P	P	P	P	P	NP
Child Care, Family	P	P	P	P	P	P	NP
Child Care, Family Group	P	P	P	P	P	P	NP
Child Care Center	P	P	P	P	P	P	NP
Schools, libraries, and community halls	P	P	NP	P	P	P	NP
Universities and Colleges	P	P	NP	P	P	P	NP
Technical, trade, and specialty schools	P	P	NP	P	NP	P	NP
Hospitals and limited care facility, general	P	P	NP	P	NP	P	NP
Office and Clinic, Medical (includes veterinary care)	P	P	NP	P	NP	P	NP
Civic uses	P	P	NP	P	NP	P/CUP	NP
Social and fraternal organizations	P	P	NP	P	NP	P	NP
Social services and philanthropic organizations	P	P	NP	P	NP	P	NP
Public administration uses (including local, state, and federal government uses, public safety, health and human services)	P	P	NP	P	NP	P	NP
Religious Institutions	P	P	P/CUP	P	NP	P/CUP	NP
Funeral homes	P	P	P/CUP	P	NP	P/CUP	NP
Residential Uses							

Table 4.1 – Schedule of Uses							
Character Zone	Mixed use Center	Resort Gateway	Bo Pa Residential	Iron Horse	Hillside Residential	Civic Use Center	Utility Service
Home Occupations	P/A	P/A	P/A	P/A	P/A	P/A	NP
Multi-family residential (3 or more units in one structure)							
Ground floor	P/C	P	P	P/C	P	P	NP
Upper floors	P	P	P	P	P	P	NP
Residential Lofts	P/C	P	P	P/C	P	P	NP
Single-family residential attached dwelling unit (Townhomes)	P/C	P	P	P/C	P	P/C	NP
Duplex or Triplex	P/C	P	P	P/C	P	P/C	NP
Accessory residential unit	-NP	NP	P	P	P	P	NP
Live-work unit	P	P	P	P	P	P	NP
College Dormitory	P	P	P	P	P	P	NP
Light Industrial Manufacturing and Assembly, transportation, communication, and utility Uses							
Cottage Manufacturing uses	P/CUP	NP	NP	P	NP	P/CUP	NP
Miscellaneous light industrial manufacturing and assembly (included in this category are jewelry, silverware, equipment, electronics, personal metal goods, flatware, dolls, toys, games, musical instruments, office supplies, and signs.)	P/CUP	NP	NP	P	NP	P/CUP	NP
Wholesale trade establishment	NP	NP	NP	P	NP	P	NP
Transportation Service	P	P	NP	P	NP	P	NP
Warehouse and storage services	NP	NP	NP	P	NP	P	NP
Publishing (newspaper, books, periodicals, software)	P	P	NP	P	NP	P	NP
Motion picture and sound recording	P	P	NP	P	NP	P	NP
Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc.)	P	P	NP	P	NP	P	NP
Information services and data processing	P	P	NP	P	NP	P	NP
Utilities and utility services (electric, natural gas, alternative) (includes power station)	NP	NP	NP	NP	NP	P/CUP	P
Other Uses							
Nightly rentals (not to exceed 20% of the total units (including lockouts and accessory dwelling units) within each residential property)	P	P	P	P	P	P	NP
Hotels	P	P	NP	NP	NP	NP	NP
Timeshare Project and Conversion	P	P	NP	NP	NP	NP	NP
Timeshare Sales Office, off-site within and enclosed Building	P	P	NP	NP	NP	NP	NP
Private Residence Club Project and Conversion	P	P	P	P	P	P	NP
Parking, surface with five (5) or more spaces	P/C	P/C	P/C	P/C	P/C	P/C	P/C
Parking, surface with four (4) or less spaces	P	P	P	P	P	P	P
Parking, structured	P	P	P	P	P	P	NP
Private attached garage	NP	NP	P	P	P	NP	NP

Table 4.1 – Schedule of Uses

Character Zone	Mixed use Center	Resort Gateway	Bo Pa Residential	Iron Horse	Hillside Residential	Civic Use Center	Utility Service
Private detached garage	NP	NP	P	P	P	NP	NP
Sales from kiosks (for food vendors only - other city ordinances may apply)	P	P	NP	P	NP	P	NP
Temporary Improvement	P/A	P/A	P/A	P/A	P/A	P/A/	P/A
Accessory Building and Use	NP	NP	NP	P	P		
Heliport	P/CUP	P/CUP	NP	P/CUP	NP	P/CUP	NP
Community garden	P/C	P/C	P/C	P/C	P/C	P/C	NP
Urban Agriculture	P	P	P	P	P	P	NP
Outdoor Storage relating to retail service commercial	P/C	P/C	NP	P/C	NP	P/C	NP
Incidental Outdoor Display (subject to minor modification)	P/A	P/A	NP	P/A	NP	P/A	NP
Antennas including cell, accessory, and mounted on top of buildings.	P/A	P/A	P/A	P/A	P/A	P/A	P/A
Wind energy equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Solar energy equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Special Event or Outdoor Event	P/CUP	P/CUP	P/CUP	P/CUP	P/CUP	P/CUP	NP
Sexually-Oriented Business (shall meet standards in 15-2.18-7 of the LMC)	NP	NP	NP	P/CUP	NP	NP	NP
Any ground floor, single-tenant space greater than 15,000 sq. ft. and less than 25,000 sq. ft.	P/C	P/C	NP	P/C	NP	P/C	NP
Any ground floor, single-tenant space greater than 25,000 sq. ft. and less than 50,000 sq. ft.	P/C/CUP	NP	NP	P/C/CUP	NP	P/C/CUP	NP
Any ground floor, single-tenant space greater than 50,000 sq. ft.	NP	NP	NP	NP	NP	NP	NP

4.2 **Additional Design Criteria for Certain Uses:** All uses listed as P/C in Table 4.1 shall also meet the following standards in Table 4.2

Table 4.2 – Use Criteria		
Use	District Permitted	Location & Design Criteria
Non-Residential Uses		
Auto-related Sales and Service	Iron Horse	<ul style="list-style-type: none"> • Gas pumps, canopies, and/or service bays shall not be located along any Type “A” Street frontage. • Gas pumps, canopies, and/or service bays shall meet the following standards along Type “B” Streets: <ul style="list-style-type: none"> ○ Drive-through lanes, auto service bays, and gas station canopies shall be hidden behind a 3’ high Street Screen along Type “B” Street frontages. The Street Screen shall be made up of: <ul style="list-style-type: none"> i. the same material as the principal building or ii. a living screen minimum 4’ in width or iii. a combination of the two. ○ No more than 50% of a lot’s frontage along a Type “B” Street may be dedicated to frontage of drive through lanes, canopies, service bays, and other auto-related site elements. ○ Any automobile related retail sales or service use of a site or property with frontage on a Type “A” or “B” Street shall also have a building with a pedestrian entrance at a Type “A” Street and/or Type “B” Street. ○ Drive through access (driveways) may be from a Type “A” Street only if the lot has no access to any Type “B” Street • No outdoor storage of vehicles or other products sold shall be permitted along Type “A” Streets. Outdoor storage of vehicles and/or other products sold shall be screened with a required street screen along Type “B” Streets (see Section 9 for standards).
Any use with a drive-up/drive thru window or drive-up service (including banks and financial institutions; cleaning and pressing shop; funeral homes and mortuaries; retail store; restaurant)	Resort Gateway, Iron Horse, and Civic Use Center	<ul style="list-style-type: none"> • Drive through facilities shall meet the following standards in addition to a CUP requirement: <ul style="list-style-type: none"> ○ Drive-through lanes, auto service bays, and gas station canopies shall be hidden behind a 3’ high Street Screen along Type “B” Street frontages. The Street Screen shall be made up of: <ul style="list-style-type: none"> i. the same material as the principal building or ii. a living screen minimum 4’ in width or iii. a combination of the two. ○ No more than 50% of a lot’s frontage along a Type “B” Street may be dedicated to frontage of drive through lanes, canopies, service bays, and other auto-related site elements. ○ Any automobile related retail sales or service use of a site or property with frontage on a Type “A” or “B” Street shall also have a building with a pedestrian entrance at a Type “A” Street and/or Type “B” Street. ○ Drive through access (driveways) may be from a Type “A” Street only if the lot has no access to any Type “B” Street The applicant must demonstrate that at periods of peak operation of the drive-up window, the Business patrons will not obstruct driveways or Streets and will not interfere with the intended traffic circulation on the Site or in the Area.
Residential Uses		
Multi-family residential (Ground Floor), Residential Lofts, Duplex or Triplex, and Single-family residential attached dwelling unit (Townhomes)	Mixed Use Center, Iron Horse, Civic Use Center	<ul style="list-style-type: none"> • Ground Floors of frontages designated as Required Commercial Frontage shall not be occupied by residential, office or institutional uses to a minimum depth of 50’ from the front building façade line.
Other Uses		
Parking, surface (primary use of property)	All Zones	<ul style="list-style-type: none"> • <u>New</u> surface parking lots as the only use of property shall only be permitted as an interim use of property (Five (5) year increments) • Applications for new surface lots shall include in-fill building concepts on the lot • New surface parking shall be set back a minimum of 30’ from the edge of the right-of-way of Type “A” Streets.

Table 4.2 – Use Criteria

Use	District Permitted	Location & Design Criteria
		<ul style="list-style-type: none"> • New surface parking shall not be located at any street intersection for a minimum of 30' along each street.
Outdoor Storage relating to retail service commercial	Mixed Use Center, Resort Gateway, Civic Use Center, Iron Horse	<ul style="list-style-type: none"> • Outdoor Storage shall not be along a Type "A" Street. • Outdoor Storage must be located entirely on private property and shall not be placed within the public right-of-way. • Structural or vegetative screening shall be used for any outdoor storage. Structural materials shall be of the same materials used in the construction of the primary building.
Community Garden	All Zones	<ul style="list-style-type: none"> • Shall be no larger than 1.0 acre. • Gardens shall be enclosed by a fence on all open sides. • Fences should be installed straight and plumb, with appropriate vertical supports. Chicken wire, if used, should be continuously supported along all edges. • Fencing Materials: <ul style="list-style-type: none"> ○ <u>Permitted</u>: pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel ○ <u>Not permitted</u>: chain link, barbed wire, vinyl, unpainted/stained pressure treated wood, plywood
Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	All Zones	<ul style="list-style-type: none"> • Antennas shall be permitted on rooftops. • Antennas shall be screened entirely with a screen of same color as the principal building. • Antennas shall not be visible from any adjacent Type "A" Street.
Rain water harvesting equipment	All Zones	<ul style="list-style-type: none"> • Rain water harvesting equipment may not be installed along Type "A" Streets. • On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened and meet the applicable setback requirements of the Character Zone.
Utility equipment (includes electrical transformers, gas meters, etc.)	All Zones	<ul style="list-style-type: none"> • Utility equipment shall not be installed with frontage on Type "A" Streets. • On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.
Any ground floor, single-tenant space greater than 15,000 sq. ft. and less than 25,000 sq. ft.	Mixed Use Center, Resort Gateway, Civic Use Center, and Iron Horse	<ul style="list-style-type: none"> • Shall meet the design standards for liner buildings in Section 6.0 of this Code
Any ground floor, single-tenant space greater than 25,000 sq. ft. and less than 50,000 sq. ft.	Mixed Use Center, Civic Use Center, and Iron Horse	<ul style="list-style-type: none"> • Shall meet the design standards for liner buildings in Section 6.0 of this Code

5.0 Building Form and Site Development Standards

All parcels within the Bonanza Park District are assigned to one of seven Character Zones:

1. Mixed Use Center
2. Resort Gateway
3. BoPa Residential
4. Iron Horse
5. Hillside Residential
6. Civic Use Center
7. Utility Service

In addition to standards that apply to all Character Zones, Building Form and Site Development standards applicable to each Character Zone are described in Sections 5.2 – 5.8.

The images and graphics in first subsection of each Character Zone standards are provided as illustrations of intent and are advisory only without the power of law. Refer to the standards on the following pages for the specific Building Form and Site Development Standards for each Character Zone.

In addition, the graphics used to illustrate the building form and development standards in each character zone are NOT intended to indicate exact conditions within each Character Zone. Rather illustrations are conceptual and standards are to be applied based on the specific frontage types designated along the subject property or site. For example, a specific site may not have frontages along all streets as indicated in the illustrations and only the standards applicable to designated building frontages on the property should be used. In addition, the illustrations may depict other site elements to establish context and only the standards regulated by the specific subsection shall apply. For example, the Building Placement graphics may depict sidewalks for context purposes only and the graphic should only be used to establish standards for building placement on the site. Building form graphics in these sections are NOT TO SCALE.

5.1 General to All Character Zones

- (a) **Development Frontage Types:** Development Frontage Types are established on the Regulating Plan (Appendix A) to specify certain building form and site development standards along each block frontage based on the priority placed on pedestrian-orientation. For the purposes of this code, all blocks are classified into one of the following two Development Frontage Types:
 - a. Type 'A' Frontages – Type 'A' Frontages are intended to provide the most pedestrian friendly and contiguous development context. Buildings and sites along Type 'A' Frontages shall be held to the highest standard of pedestrian-oriented design and few, if any, gaps shall be permitted in the 'Street Wall'. Breaks in the street wall may be permitted for courtyards, forecourts, sidewalk cafes, and pedestrian connections between the individual sites and the public sidewalk. These street frontages are the main retail, restaurant, entertainment streets as identified in the Regulating Plan.
 1. Specific to Type 'A' Frontages: The area between the building facade and property line or edge of any existing sidewalk along any street with Type 'A' Frontage shall be designed such that the sidewalk width shall be a minimum of 6' and the remainder of any setback area shall be paved flush with the public sidewalk. Sidewalk cafes, public art, landscaping within tree-wells or planters may be incorporated within this area.

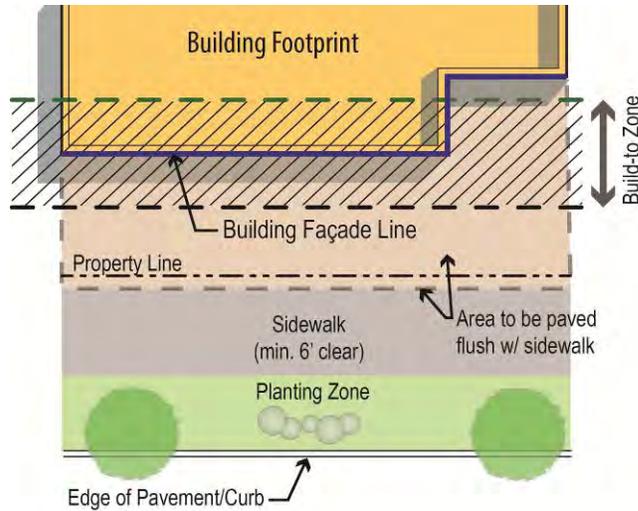


Illustration showing requirements along Type 'A' Frontages

- b. Type 'B' Frontages – Type 'B' Frontages are intended to accommodate more auto-oriented uses, surface parking, and service functions on a site with a more suburban/automobile orientation. The Type 'B' Frontages shall be building frontages shall be the ones not designated as Type 'A' Frontages on the Regulating Plan.

(b) Treatment of Street Intersections:

- i. Corner building street facades along intersections with any designated Type 'A' Frontage shall be built to the BTZ for a minimum of 20' from the intersection along each street or the width of the corner lot, whichever is less regardless of the building frontage percentage required along that street. This requirement shall not prohibit incorporation of curved, chamfered building corners or recessed entries, or civic/open spaces at such intersections. In addition, this standard shall apply regardless of the frontage requirement along the intersecting street even if it has a Type 'B' Frontage.

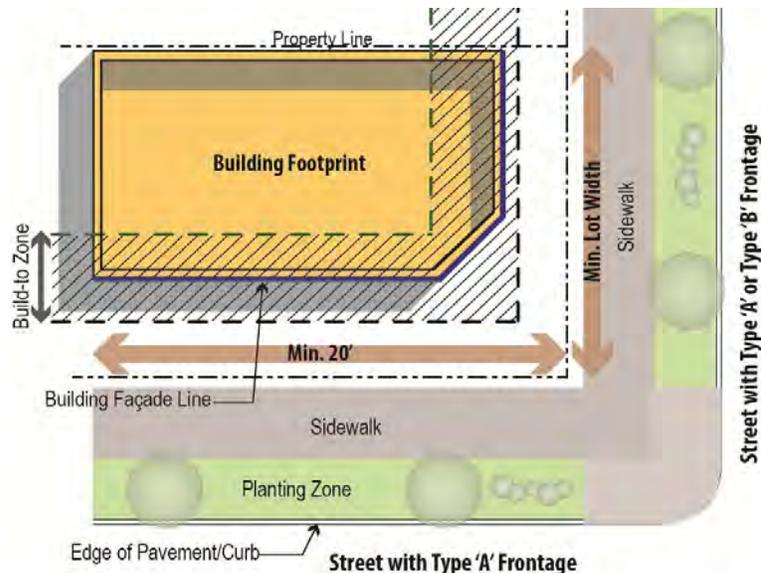


Illustration showing minimum building frontage requirements at street intersections

- ii. Corner Building Height Allowance: Corner buildings may exceed the maximum building height by 25% along no more than 20% of the building's frontage along each corresponding street façade.

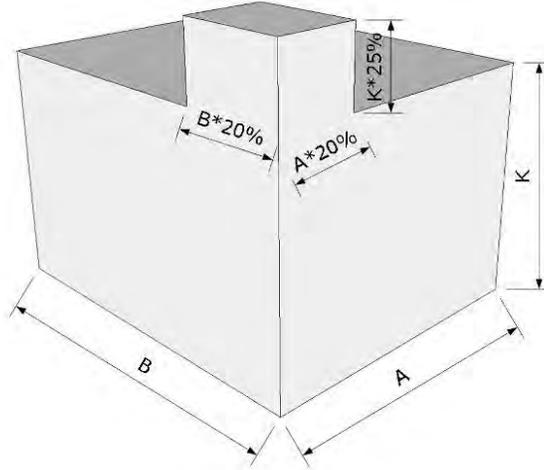


Illustration showing Corner Building Height Allowance

(c) Parking and Service Access:

- i. Location of parking (both structured and surface) shall be per the Character Zone specific building form standards (Section 5.2 – 5.8).
- ii. Required off-street parking spaces: shall be provided per Table 5-1 below

Table 5-1 Parking Ratios

Character Zone	Mixed Use Center & Resort Gateway	Civic Use Center & Utility Service	BoPa Residential Hillside Residential	Additional Criteria
Min. Off-Street Vehicular Parking Requirement				
All Non-Residential uses and ground floor Commercial Ready spaces	1.0 space per 400 sq. ft. of building area	1 space per 400 sq. ft. of building area	1 space per 400 sq. ft. of building area	1. The design of off-site parking shall meet the standards in Section 15-3 of the LMC 2. Landscaping within surface parking lots shall meet standards in Section 15-3 of the LMC. 3. A shared parking plan or alternative parking plan may be approved by the Director as a Minor Modification (See Section 3.0) 4. On-street parking located along any public street shall not count towards the required off street parking unless approved as part of a shared parking plan. 5. For all uses, parking requirements can be reduced with proximity to any bus or transit stop within 400 feet, a reduction of 15% of the required off-street parking. 6. When a use requires more than 20 spaces, it is not permitted to provide greater than 10% over the minimum parking requirement
Residential uses	1.0 space per each dwelling unit	1.0 space per each dwelling unit	1.0 space per each dwelling unit	
Lodging uses (hotels and motels)	.75 space per guest room; all other areas shall be parked at the non-residential rate above	.75 spaces per guest room; all other areas shall be parked at the non-residential rate above	.75 spaces per guest room; all other areas shall be parked at the non-residential rate above	

				in a surface parking lot. This requirement shall not apply for a parking structure.
Min. Bicycle Parking Requirement				
All uses	2 spaces per non-residential use or 10% of all provided automobile spaces, whichever is greater.		Location of Bicycle Parking: For retail and commercial ready buildings, 25% of all provided bicycle parking shall be located within 50 feet of a primary building entrance.	

iii. Driveways and Service Access:

1. Unless otherwise specified in the specific Character Zone standards in Sections 5.2 through 5.8, driveways and off-street loading and unloading may be located with access along a street with Type 'A' Frontage designations only if the property has no access to either a street with Type 'B' Frontage or shared access easement/drive to an adjoining property with direct driveway access to any other street.
2. Along streets with Type 'A' Frontages, driveway spacing shall be limited to one driveway per each block face or per 200 feet of block face for blocks greater than 400 feet in length.
3. Shared driveways, joint use easements or joint access easements shall be required to adjoining properties when driveway and service access is off a street with Type 'A' Frontage.
4. Service and loading/unloading areas shall be screened per standards in Section 10 of this Code.
5. Unless required to meet minimum fire access or service access standards all commercial and mixed use driveways shall be a maximum of 24' in width. Service driveways shall be a maximum of 30' in width. Driveways wider than 24' in width shall only be located along a street with Type 'B' Frontage. Driveways along State controlled roadways shall meet UDOT Standards.
6. Residential Driveways:
 - a. Unless required to meet minimum fire access or service access standards, driveways for attached Residential Use Buildings (townhomes) shall be a maximum of 12' in width.
 - b. Townhomes and courtyard apartments shall utilize garages with access from streets with Type 'B' Frontage or from Alleys.

(d) **Street Screen Required:**

- i. Any lot frontage along all public street frontages (except alleys) with surface parking shall be defined by a Street Screen. This required Street Screen shall be located at the street edge of the BTZ. Refer to the Section 10.0, Landscape Standards of this code for more specifications.
- ii. Frontage Protection Zone (FPZ): A Frontage Protection Zone of 30' depth along Park Avenue and Deer Valley Drive and 50' along Kearns Blvd shall be established per the Regulating Plan. All Development Activities and Uses within the Frontage Protection Zone must be consistent with the underlying character zone of the FBC and the requirements of the FPZ within the LMC Chapter 2.20.

(e) **Commercial Ready Standards:** Shall meet the standards in Section 6.0 of this code

- (f) **Fire Separation Requirement:** Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- (g) **Recessed Entry Setbacks:** Building façade lines on recessed entries and arcade buildings shall be measured from the front of façade with the recessed entry or arcade (see Section 11.0 Definitions of this Code for illustration).
- (h) **Measuring heights:**
 - i. Chimneys, church steeples, vents, elevator and stair enclosures, screened HVAC equipment, other mechanical enclosures, tanks, solar energy systems and similar elements are exempt from the height limit.
 - ii. Internal building height shall be measured from finished floor to the bottom of the structural members of the ceiling.
 - iii. Floor to floor heights shall not apply to parking structures or civic buildings.
- (i) **Encroachments:**
 - i. Allowed encroachments over the R-O-W (except over Park Ave and Kearns Blvd):
 - 1. Maximum of 50% of the depth of the sidewalk or 10' (whichever is less) (except blade signs which shall encroach no more than 6' from the building façade line).
 - 2. Minimum vertical clearance from the finished sidewalk shall be 8'
 - 3. In no case shall an encroachment be located over an on-street parking or travel lane.
 - ii. Encroachments over Required Setbacks: Canopies, awnings, galleries, and balconies may encroach over any required setback areas per standards established in each character zone as long as the vertical clearance is a minimum of 8' from the finished sidewalk elevation.
- (j) **Phased Developments:** Due to the infill nature of development within Bonanza Park, certain building form and site development standards may be deferred for phased development projects meeting the following criteria:
 - i. Submission of a site plan that illustrates how development and any related private improvements will be phased over time. Each phase of the site plan shall independently comply with all applicable standards of this Code unless a Minor Modification is granted.
 - ii. Required private landscaping and open space amenities may also be phased with the building.

5.2 Mixed Use Center

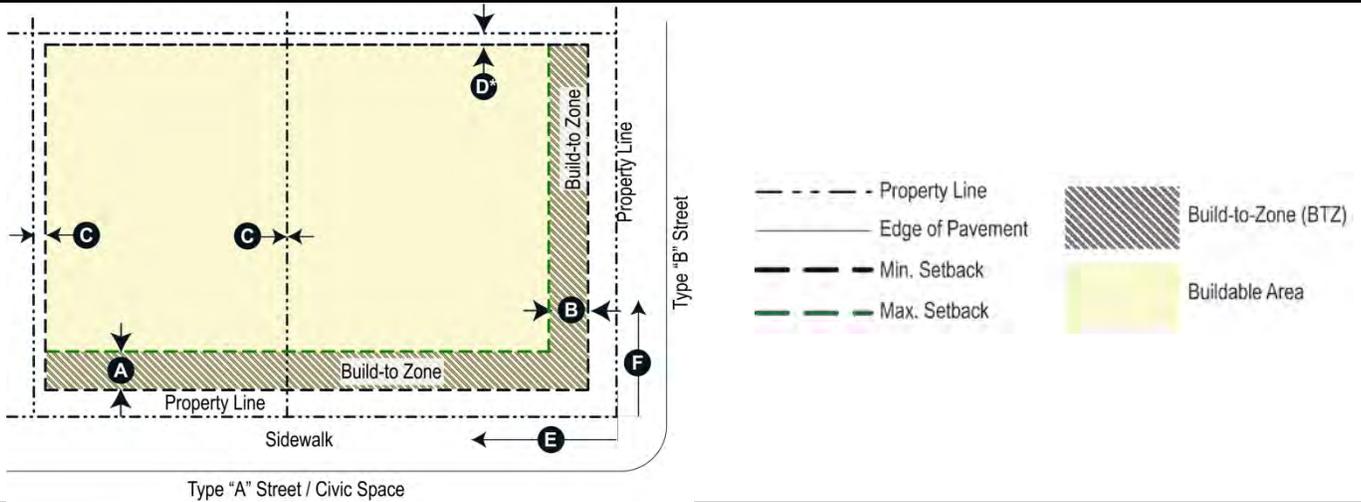
(a) Illustrations and Intent

The Mixed Use Center zone is intended to accommodate a variety of higher intensity uses related to entertainment, resort services, employment offices, education, neighborhood serving commercial, and urban residential. The goal of the zone is to create an area that sustains itself both on and off peak tourist times and establishes itself as a true center of Bonanza Park. Development may include both larger scale projects that redevelop complete blocks and small scale, lot-by-lot, incremental redevelopment. Buildings in this Zone shall be characterized by development that represents the next generation Park City, which takes cues from Park City's past with appropriate scale, but begins a new paradigm of designing with contemporary, eco-conscious materials, solar orientation, and environmental best practices. In addition to improving the building design, development standards within this zone focus on softening the highway frontage by requiring landscape and buffers along these frontages.



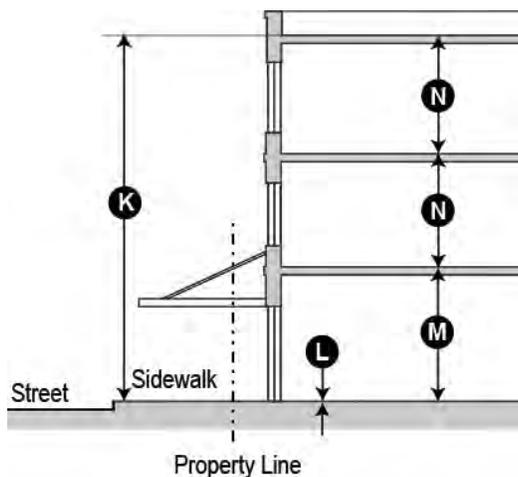
Images illustrating the character of development desired within the Mixed Use Center Character Zone

(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Park Ave./SR 224 (See Special Frontage Requirements)	30' (min.) – 40' (max.)	
Kearns Blvd./SR 248 (See Special Frontage Requirements)	50' (min.) – 75' (max.)	
Type "A" Street / Civic Space	5' (min.) - 10' (max.)	A
Type "B" Street	5' (min.) – 15' (max.)	B
Side setback	0' (min.); no max.	C
Rear setback/Alley setback	5' min. setback	D*
(ii) Minimum Building Frontage Required		
Building Frontage required along Type "A" Street/Civic Space BTZ	90% (min.)	E
Building Frontage required along Type "B", Park Ave, and Kearns Blvd. BTZs	70% (min.)	F
Building Frontage required along Alley	None Required	

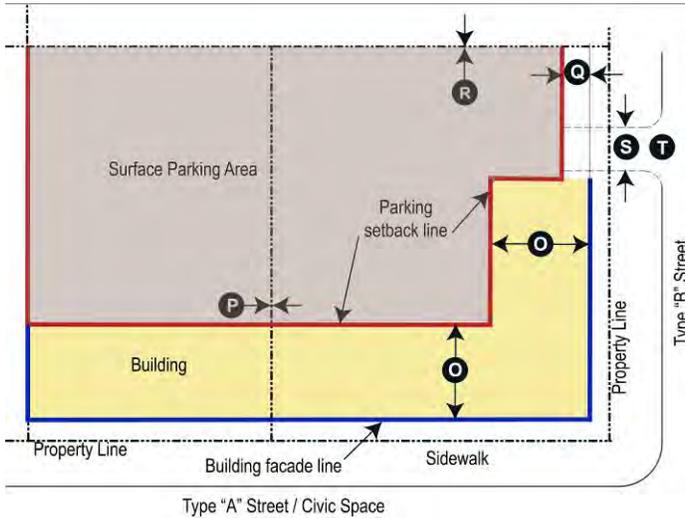
(c) Building Height



(i) Principal Building Standards		
Building maximum	3 stories and 40' (Additional building height may be permitted per Section 7 of this Code)	K
First floor to floor height	<ul style="list-style-type: none"> 12' (min.) for all commercial/mixed use buildings <u>or</u> any building with any Required Commercial or Commercial Ready Frontage designation 10' (min.) for all other buildings 	M
Ground floor finish level	<ul style="list-style-type: none"> 12 inches max. above sidewalk (for ground floors of commercial/mixed use buildings or any building with Required Commercial or Commercial Ready Frontage designation) 18" (min.) above sidewalk for residential buildings (see Note 7) 	L
Upper floor(s) height	9' min.	N
(ii) Accessory Building Standards		
Accessory buildings shall meet the standards for Principal Building standards in the Mixed Use Center Zone.		

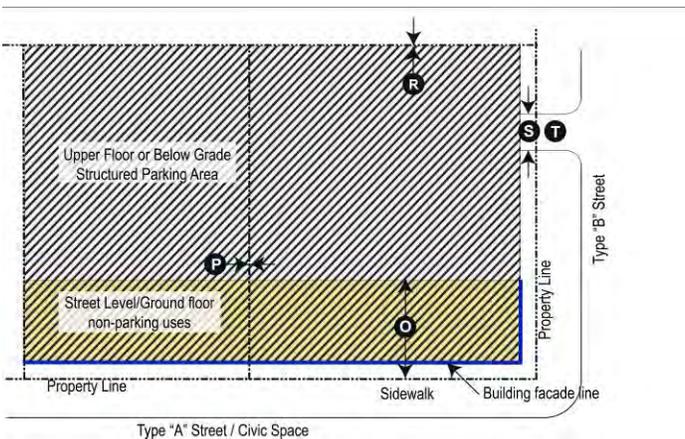
(d) Parking & Service Access

(i) Surface Parking Setbacks



Park Ave./Kearns Blvd.	<ul style="list-style-type: none"> Shall be located 5' (min.) behind the property line (Street screen req'd; see Section 10.0) 	
Type "A" Street Setback	<ul style="list-style-type: none"> Shall be located behind the principal building 	O
Type "B" Street Setback	<ul style="list-style-type: none"> Shall be located either behind the principal building or a min. of 3' behind the building façade line along that street only 	O Q
Alley Setback	<ul style="list-style-type: none"> Shall be located 5' (min.) behind the property line 	R
Side and Rear setbacks	<ul style="list-style-type: none"> 0' 	P

(ii) Structured Parking or Below Grade Parking Setbacks



Park Ave./Kearns Blvd.	<ul style="list-style-type: none"> Shall be located 5' (min.) behind the property line 	
Type "A" Street Setback	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Ground floor setback: min. of 30' from the property line Upper floors: may be built up to the building façade line 	O
Type "B" Street/Alley setback	<ul style="list-style-type: none"> May be built up to the building façade line; or if no building is located along the street frontage; the structured parking shall meet the minimum setback standards along that Frontage. 	R
Side and rear setback	<ul style="list-style-type: none"> 0' min. 	P

(iii) Partially Below Grade Parking

Ground floors may be built up to the building façade line along all Type 'B' Frontages.

(iv) Below Grade Parking: May be built up to the building façade line along Park Ave., Kearns Blvd., Deer Valley Dr., Type "B" Streets and Alleys only.

(v) Driveways and Service Access

Section 5.1 shall apply

S T

(e) Special Requirements

- (i) Required Commercial Frontage:
 - Ground floors of all buildings with Required Commercial Frontage designation on the Regulating Plan shall not be occupied by parking, residential, office, or institutional uses up to a minimum depth of 50' from the front building façade line.
- (ii) Required Commercial Ready Frontage: Ground floors of all buildings with Required Commercial Ready Frontage designation on the Regulating Plan shall be built to Commercial Ready Standards.

(f) Lot and Block Standards

- (i) Lot Standards: No minimum or maximum lot size
- (ii) Block Standards: Shall meet the block standards as established in the Regulating Plan or a maximum of 600' of block face length, whichever is smaller.

5.3 Resort Gateway

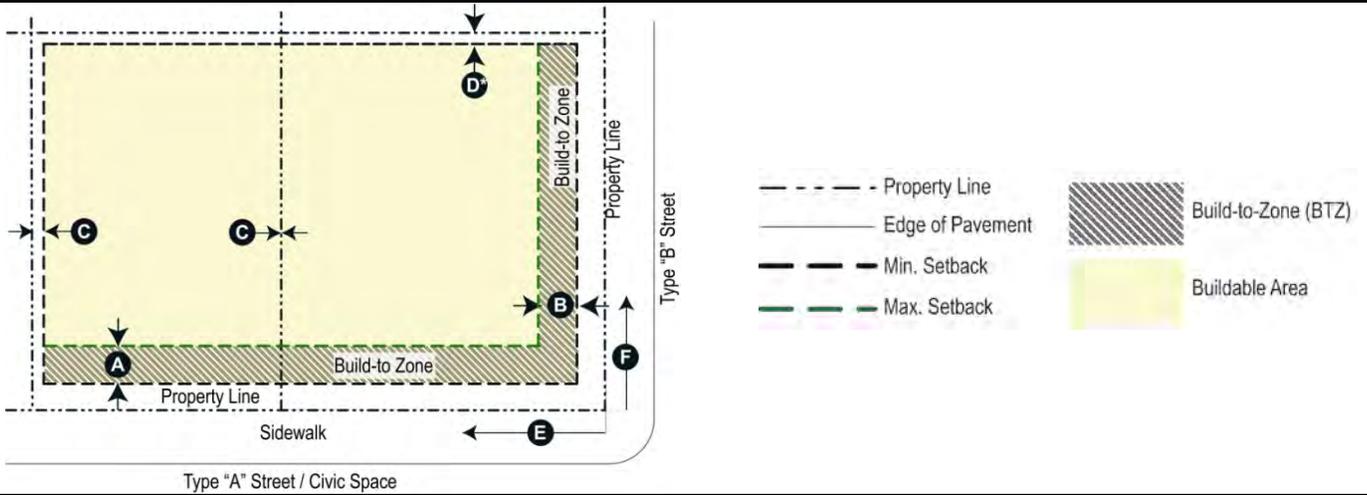
(a) Illustrations and Intent

The Resort Gateway zone is intended to be the location for resort services and boutique resort hotels along the major entrance corridors into Bonanza Park. As the gateway to Park City when entering town, or going to mountain facilities, the resort gateway zone identifies the preferred location within the Bonanza Park District to stay, dine and shop, especially for visitors into Park City and Bonanza Park. The goal for this zone is to be an appropriate entryway to the City and the Bonanza Park area by expressing a primarily resort character. Future architectural style and design in this area should relate to the mountain resort character.



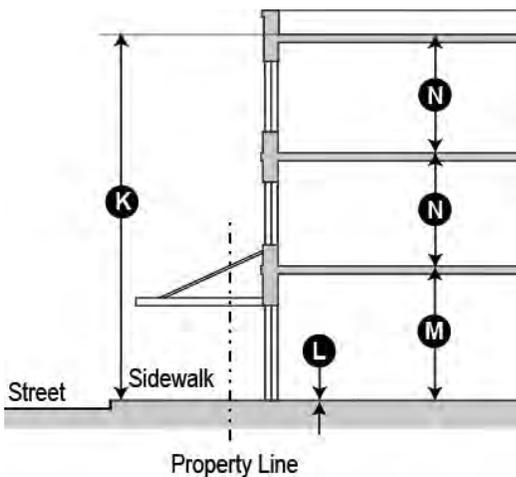
Images illustrating the character of development desired within the Resort Gateway Character Zone

(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Park Ave./SR 224 (See Special Frontage Requirements)	30' (min.) – 40' (max.)	
Kearns Blvd./SR 248 (See Special Frontage Requirements)	50' (min.) – 75' (max.)	
Type "A" Street / Civic Space	5' (min.) - 15' (max.)	A
Type "B" Street	5' (min.) – 20' (max.)	B
Side setback	0' (min.); no max.	C
Rear setback/Alley setback	5' min. setback	D*
(ii) Minimum Building Frontage Required		
Building Frontage required along Type "A" Street/Civic Space BTZ	80% (min.)	E
Building Frontage required along Type "B", Park Ave, and Kearns Blvd. BTZs	50% (min.)	F
Building Frontage required along Alley	None Required	

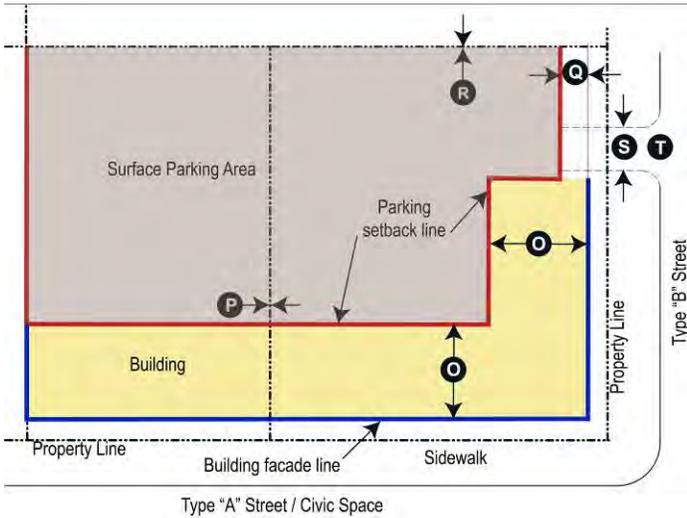
(c) Building Height



(i) Principal Building Standards		
Building maximum	3 stories and 40' (Additional building height may be permitted per Section 7 of this Code)	K
First floor to floor height	<ul style="list-style-type: none"> 12' (min.) for all commercial/mixed use buildings or any building with any Required Commercial or Commercial Ready Frontage designation 10' (min.) for all other buildings 	M
Ground floor finish level	<ul style="list-style-type: none"> 12 inches max. above sidewalk (for ground floors of commercial/mixed use buildings or any building with Required Commercial or Commercial Ready Frontage designation) 18" (min.) above sidewalk for residential buildings (see Note 7) 	L
Upper floor(s) height	9' min.	N
(ii) Accessory Building Standards		
Accessory buildings shall meet the standards for Principal Building standards in the Resort Gateway Zone.		

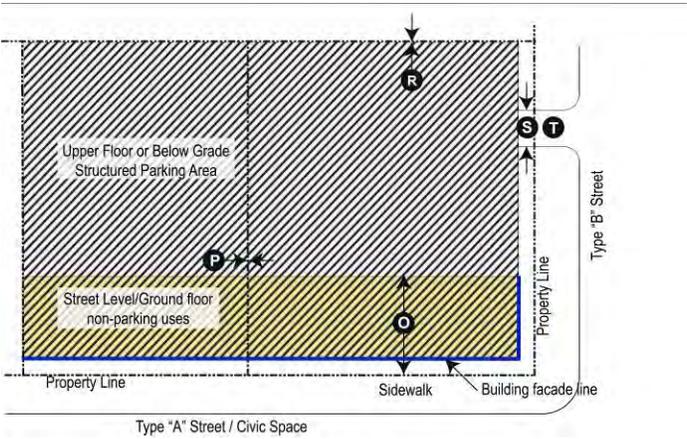
(d) Parking & Service Access

(i) Surface Parking Setbacks



Park Ave./Kearns Blvd.	<ul style="list-style-type: none"> Shall be located 5' (min.) behind the property line (Street screen req'd; see Section 10.0) 	
Type "A" Street Setback	<ul style="list-style-type: none"> Shall be located behind the principal building 	O
Type "B" Street Setback	Shall be located either behind the principal building or a min. of 3' behind the building façade line along that street only	O Q
Alley Setback	<ul style="list-style-type: none"> Shall be located 5' (min.) behind the property line 	R
Side and Rear setbacks	<ul style="list-style-type: none"> 0' 	P

(ii) Structured Parking or Below Grade Parking Setbacks



Park Ave./Kearns Blvd.	<ul style="list-style-type: none"> Shall be located 5' (min.) behind the property line 	
Type "A" Street Setback	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Ground floor setback: min. of 30' from the property line Upper floors: may be built up to the building façade line 	O
Type "B" Street/Alley setback	May be built up to the building façade line; or if no building is located along the street frontage; then the structured parking shall meet the minimum setback standards along that Frontage.	
Side and rear setback	<ul style="list-style-type: none"> 0' min. 	P R

(iii) Partially Below Grade Parking

Ground floors may be built up to the building façade line along all Type 'B' Frontages.

(iv) Below Grade Parking: May be built up to the building façade line along Park Ave., Kearns Blvd., Deer Valley Dr., Type "B" Streets and Alleys only.

(v) Driveways and Service Access Section 5.1 shall apply S T

(e) Special Requirements

- (i) Required Commercial Frontage:
 - Ground floors of all buildings with Required Commercial Frontage designation on the Regulating Plan shall not be occupied by parking, residential, office, or institutional uses up to a minimum depth of 50' from the front building façade line.
- (ii) Required Commercial Ready Frontage: Ground floors of all buildings with Required Commercial Ready Frontage designation on the Regulating Plan shall be built to Commercial Ready Standards.

(f) Lot and Block Standards

- (i) Lot Standards: No minimum or maximum lot size
- (ii) Block Standards: Shall meet the block standards as established in the Regulating Plan or a maximum of 600' of block face length, whichever is smaller..

5.4 BoPa Residential

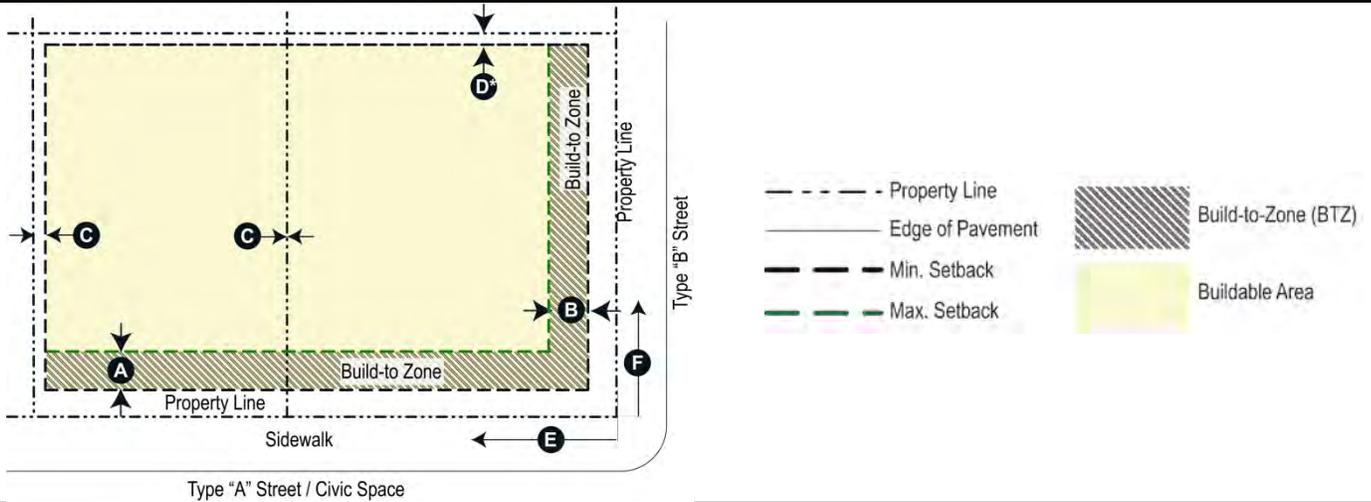
(b) Illustrations and Intent

BoPa Residential – The BoPa Residential zone is intended to provide for a range of higher density residential (live-work, townhomes, patio homes, garden apartments, etc.) within the heart of the Bonanza Park within walking distance of the Mixed Use Center. Development standards in this character zone emphasize higher density urban residential uses and various residential building types (including workforce housing) with shared common areas.



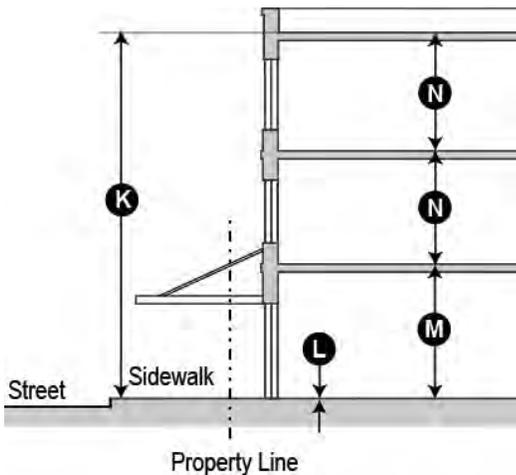
Images illustrating the character of development desired within the BoPa Residential Character Zone

(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Kearns Blvd./SR 248 (See Special Frontage Requirements)	50' (min.) – 75' (max.)	
Type "A" Street / Civic Space	10' (min.) - 30' (max.)	A
Type "B" Street	10' (min.) – 30' (max.)	B
Side setback	0' (min.); no max.	C
Rear setback/Alley setback	5' min. setback	D*
(ii) Minimum Building Frontage Required		
Building Frontage required along Type "A" Street/Civic Space BTZ	60% (min.)	E
Building Frontage required along Type "B" and Kearns Blvd. BTZs	40% (min.)	F
Building Frontage required along Alley	None Required	

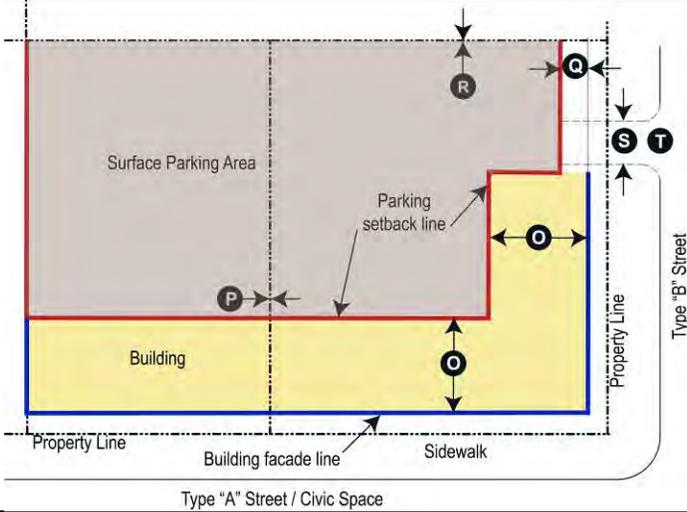
(c) Building Height



(i) Principal Building Standards		
Building maximum	3 stories and 40' (Additional building height may be permitted per Section 7 of this Code)	K
First floor to floor height	<ul style="list-style-type: none"> 12' (min.) for all commercial/mixed use buildings or any building with any Required Commercial or Commercial Ready Frontage designation 10' (min.) for all other buildings 	M
Ground floor finish level	<ul style="list-style-type: none"> 12 inches max. above sidewalk (for ground floors of commercial/mixed use buildings or any building with Required Commercial or Commercial Ready Frontage designation) 18" (min.) above sidewalk for residential buildings 	L
Upper floor(s) height	9' min.	N
(ii) Accessory Building Standards		
Building Height	2 stories (max.)	
BTZ/Setbacks	Shall be placed behind the front façade of the principal building along Type "A" Streets. If the principal building has no Type "A" Street frontage, then the accessory building shall be placed behind the front façade of the building along either a Type "B" or Alley.	
Building Footprint	Shall be limited to no more than 75% of the principal building footprint	

(d) Parking & Service Access

(i) Surface Parking Setbacks



Kearns Blvd.	▪ Shall be located 5' (min.) behind the property line (Street screen req'd; see Section 10.0)	
Type "A" Street Setback	▪ Shall be located behind the principal building	O
Type "B" Street Setback	▪ Shall be located either behind the principal building <u>or</u> a min. of 3' behind the building façade line along that street only	O Q
Alley Setback	▪ Shall be located 5' (min.) behind the property line	R
Side and Rear setbacks	▪ 0'	P

(ii) Driveways and Service Access

Section 5.1 shall apply

S T

(e) Special Requirements

- (i) Required Commercial Frontage:
 - Ground floors of all buildings with Required Commercial Frontage designation on the Regulating Plan shall not be occupied by parking, residential, office, or institutional uses up to a minimum depth of 50' from the front building façade line.
- (ii) Required Commercial Ready Frontage: Ground floors of all buildings with Required Commercial Ready Frontage designation on the Regulating Plan shall be built to Commercial Ready Standards.

(f) Lot and Block Standards

- (i) Lot Standards: Min. 1,800 sq. ft; no maximum lot size
- (ii) Block Standards: Shall meet the block standards as established in the Regulating Plan or a maximum of 600' of block face length, whichever is smaller..

5.5 Iron Horse

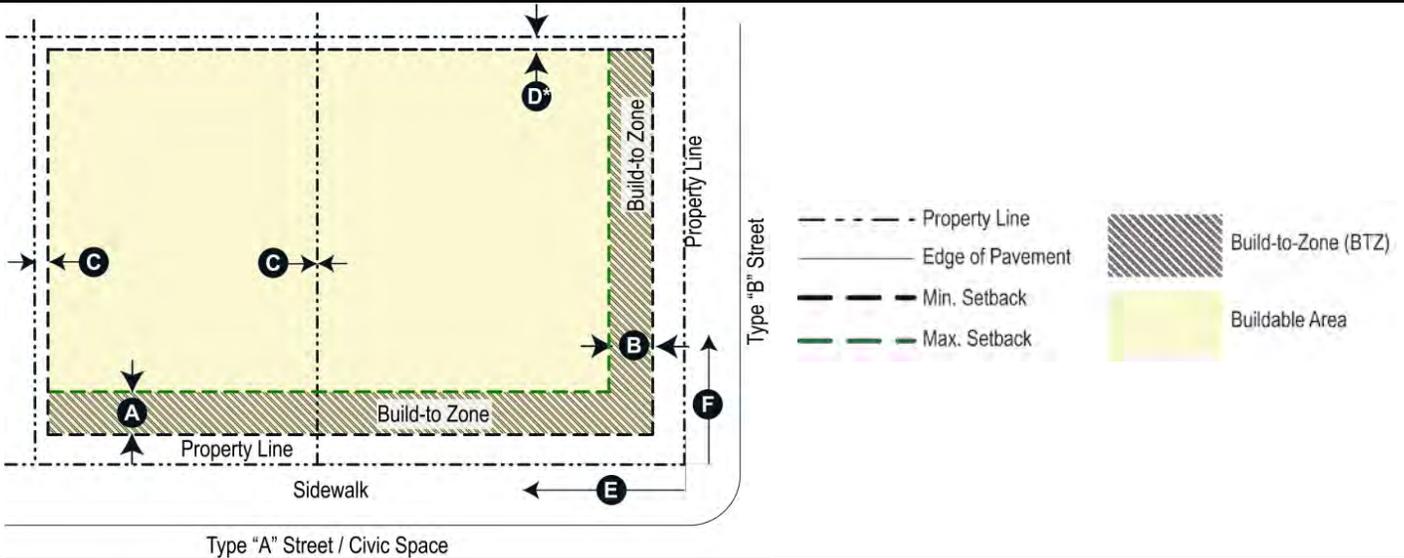
(a) Illustrations and Intent

The Iron Horse zone is intended to foster a range of light industrial arts, services, and associated design elements, while continually transitioning into a local arts neighborhood with urban living in an eclectic lifestyle that is reflective of the industrial roots of this area of Bonanza Park. The goal is to create an urban residential neighborhood and maintain a place within the city limits for light industrial professional services. The dominant architectural style is guided by the existing buildings along Iron Horse Drive that have a simple form. Materials are dominated by concrete block, metal siding, and metal roofs. The future design should be evolutionary, taking hints from the simple form with the introduction of new materials in adaptive reuse, additions, and new structures. Overall design should tie to the industrial past of the area and the railroad.



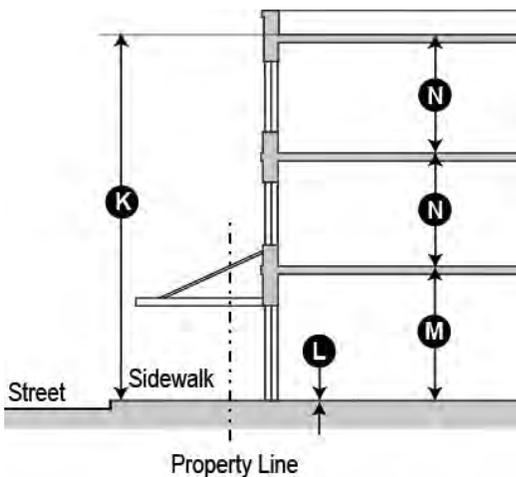
Images illustrating the character of development desired within the Iron Horse Character Zone

(b) Building Placement



(iii) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Type "A" Street / Civic Space	10' (min.) - 30' (max.)	A
Type "B" Street	10' (min.) - 30' (max.)	B
Side setback	0' (min.); no max.	C
Rear setback/Alley setback	5' min. setback	D*
(iv) Minimum Building Frontage Required		
Building Frontage required along Type "A" Street/Civic Space BTZ	60% (min.)	E
Building Frontage required along Type "B" and Kearns Blvd. BTZs	40% (min.)	F
Building Frontage required along Alley	None Required	

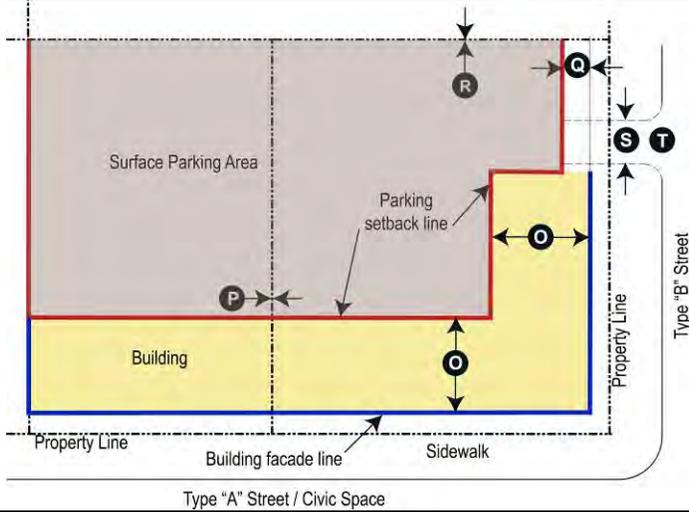
(c) Building Height



(i) Principal Building Standards		
Building maximum	3 stories and 40' (Additional building height may be permitted per Section 7 of this Code)	K
First floor to floor height	<ul style="list-style-type: none"> 12' (min.) for all commercial/mixed use buildings or any building with any Required Commercial or Commercial Ready Frontage designation 10' (min.) for all other buildings 	M
Ground floor finish level	<ul style="list-style-type: none"> 12 inches max. above sidewalk (for ground floors of commercial/mixed use buildings or any building with Required Commercial or Commercial Ready Frontage designation) 18" (min.) above sidewalk for residential buildings 	L
Upper floor(s) height	9' min.	N
(ii) Accessory Building Standards		
Accessory buildings shall meet the standards for Principal Building standards in the Iron Horse Zone.		

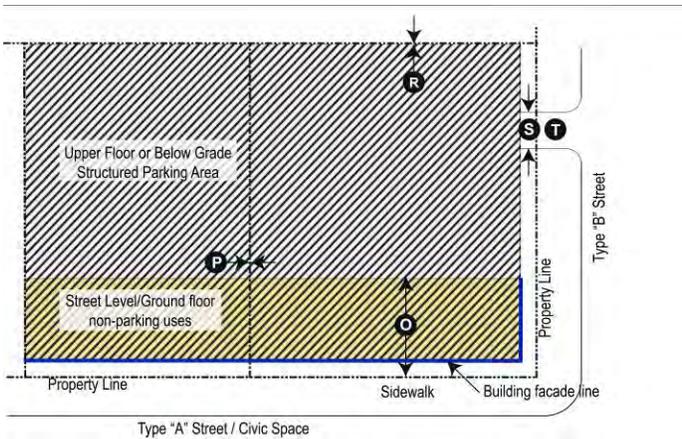
(d) Parking & Service Access

(i) Surface Parking Setbacks



Type "A" Street Setback	▪ Shall be located behind the principal building	O
Type "B" Street Setback	Shall be located either behind the principal building <u>or</u> a min. of 3' behind the building façade line along that street only	O Q
Alley Setback	▪ Shall be located 5' (min.) behind the property line	R
Side and Rear setbacks	▪ 0'	P

(ii) Structured Parking or Below Grade Parking Setbacks



Type "A" Street Setback	▪ Shall be located behind the principal building along that street frontage; or ▪ Ground floor setback: min. of 30' from the property line ▪ Upper floors: may be built up to the building façade line	O
Type "B" Street/Alley setback	May be built up to the building façade line; or if no building is located along the street frontage; then the structured parking shall meet the minimum setback standards along that Frontage.	
Side and rear setback	▪ 0' min.	P R
(iii) Partially Below Grade Parking		
Ground floors may be built up to the building façade line along all Type 'B' Frontages.		

(iv) Below Grade Parking: May be built up to the building façade line along Deer Valley Dr., Type "B" Streets and Alleys only.

(v) Driveways and Service Access

Section 5.1 shall apply

S T

(e) Special Requirements

- (i) Required Commercial Frontage: Ground floors of all buildings with Required Commercial Frontage designation on the Regulating Plan shall not be occupied by parking, residential, office, or institutional uses up to a minimum depth of 50' from the front building façade line.
- (ii) Required Commercial Ready Frontage: Ground floors of all buildings with Required Commercial Ready Frontage designation on the Regulating Plan shall be built to Commercial Ready Standards.

(i) Lot Standards: Minimum 1,800 sq. ft.; no maximum lot size

(ii) Block Standards: Shall meet the block standards as established in the Regulating Plan or a maximum of 600' of block face length, whichever is smaller..

5.6 Civic Use Center

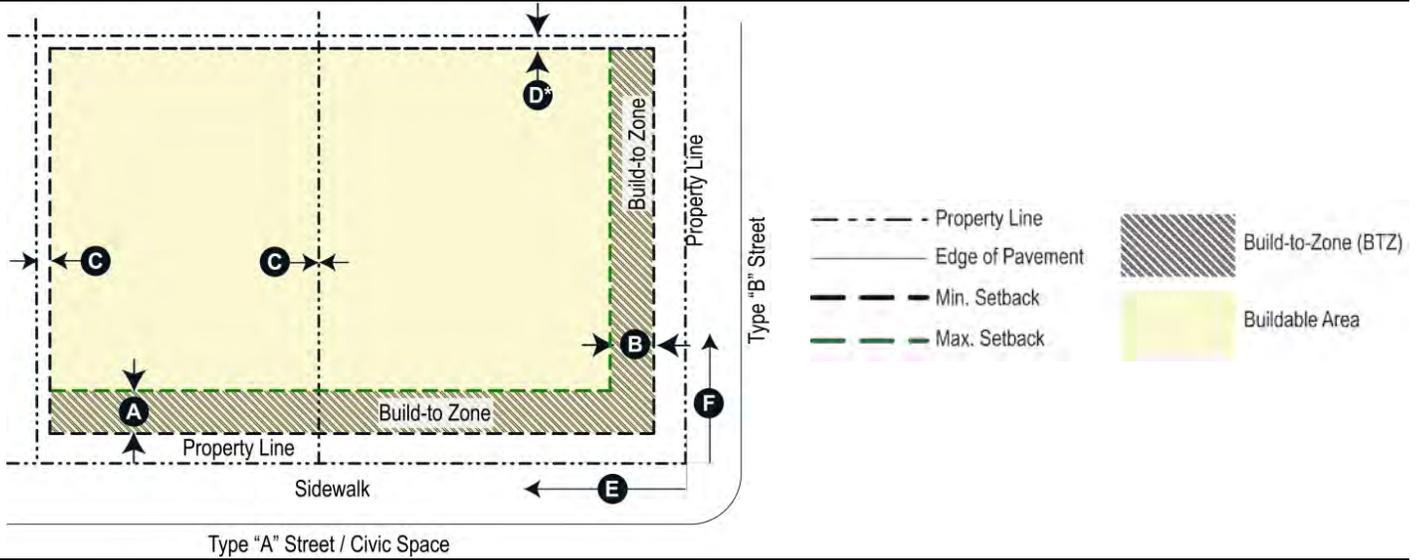
(b) Illustrations and Intent

The Civic Use Center zone is intended to accommodate a range of City facilities such as the Public Works and Transportation building, bus barn with workforce housing, future transit hub, possible gondola connector to Park City Mountain Resort, etc. Development may include larger projects with a mix of uses and standards in this zone should emphasize a robust, sustainable network of partnerships along building fronts to create a vibrant, cohesive district that engages surrounding public spaces. The goal of this zone is to create a civic hub near the center of the neighborhood where public utility services, transportation, and other public buildings and facilities are grouped and may be accessed on a community level. Services should be within walking distance and transportation options should facilitate in bringing residents in and out of the neighborhood from not only the surrounding communities, but also on a regional level. This zone should showcase the strength of the community, and becomes a source of community pride with the feeling that it belongs to everyone.



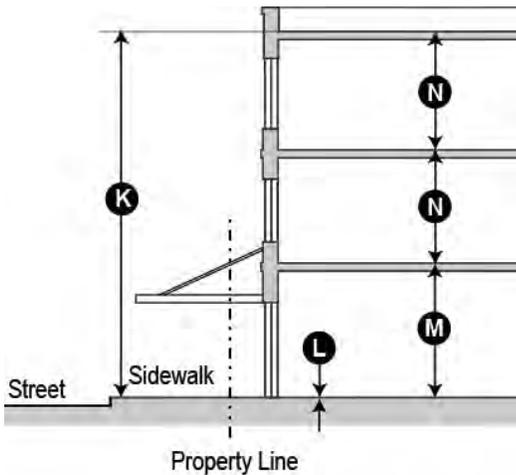
Images illustrating the character of development desired within the Civic Use Center Character Zone

(b) Building Placement



(v) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Type "A" Street / Civic Space	10' (min.) - 20' (max.)	A
Type "B" Street	10' (min.) - 20' (max.)	B
Side setback	0' (min.); no max.	C
Rear setback/Alley setback	5' min. setback	D*
(vi) Minimum Building Frontage Required		
Building Frontage required along Type "A" Street/Civic Space BTZ	60% (min.)	E
Building Frontage required along Type "B" and Kearns Blvd. BTZs	40% (min.)	F
Building Frontage required along Alley	None Required	

(c) Building Height

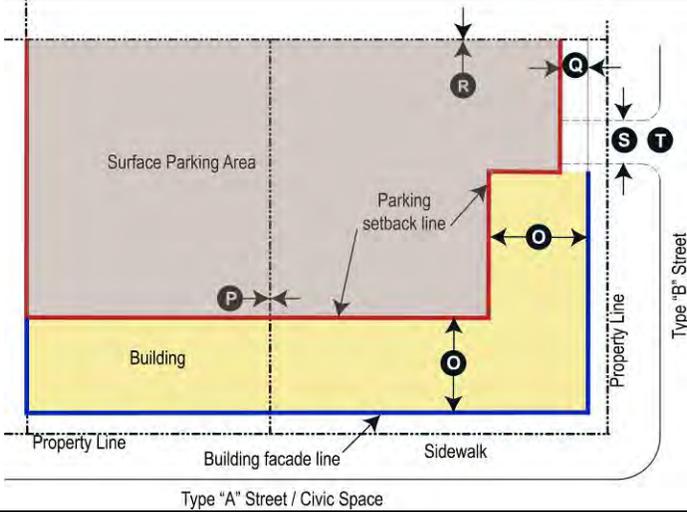


(i) Principal Building Standards		
Building maximum	3 stories and 40' (Additional building height may be permitted per Section 7 of this Code)	K
First floor to floor height	<ul style="list-style-type: none"> 12' (min.) for all commercial/mixed use buildings or any building with any Required Commercial or Commercial Ready Frontage designation 10' (min.) for all other buildings 	M
Ground floor finish level	<ul style="list-style-type: none"> 12 inches max. above sidewalk (for ground floors of commercial/mixed use buildings or any building with Required Commercial or Commercial Ready Frontage designation) 18" (min.) above sidewalk for residential buildings 	L
Upper floor(s) height	9' min.	N
(ii) Accessory Building Standards		

Accessory buildings shall meet the standards for Principal Building standards in the Civic Use Center Zone.

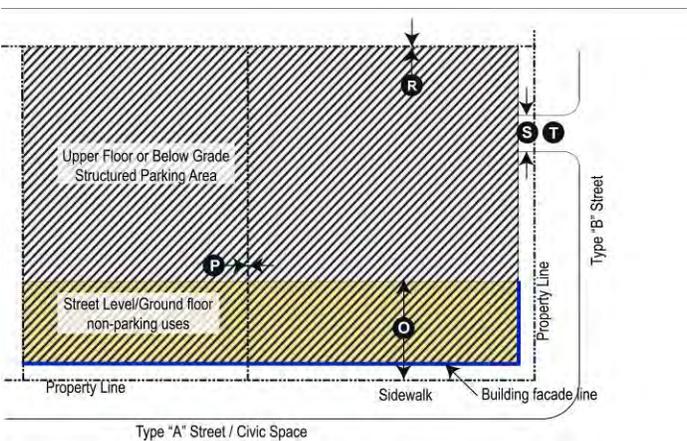
(d) Parking & Service Access

(i) Surface Parking Setbacks



Type "A" Street Setback	▪ Shall be located behind the principal building	O
Type "B" Street Setback	Shall be located either behind the principal building <u>or</u> a min. of 3' behind the building façade line along that street only	O Q
Alley Setback	▪ Shall be located 5' (min.) behind the property line	R
Side and Rear setbacks	▪ 0'	P

(ii) Structured Parking or Below Grade Parking Setbacks



Type "A" Street Setback	▪ Shall be located behind the principal building along that street frontage; or ▪ Ground floor setback: min. of 30' from the property line ▪ Upper floors: may be built up to the building façade line	O
Type "B" Street/Alley setback	May be built up to the building façade line; or if no building is located along the street frontage; then the structured parking shall meet the minimum setback standards along that Frontage.	
Side and rear setback	▪ 0' min.	P R
(iii) Partially Below Grade Parking		
Ground floors may be built up to the building façade line along all Type 'B' Frontages.		

(iv) Below Grade Parking: May be built up to the building façade line along Type "B" Streets and Alleys only.

(v) Driveways and Service Access

Section 5.1 shall apply

S T

(e) Special Requirements

(i) Required Commercial Frontage:

(f) ~~Lot and Block~~ Ground floors of all buildings with Required Commercial Frontage designation on the Regulating Plan shall not be occupied by parking, residential, office, or institutional uses up to a minimum depth of 50' from the front building façade line.

(ii) Required Commercial Ready Frontage: Ground floors of all buildings with Required Commercial Ready Frontage designation on the Regulating Plan shall be built to Commercial Ready Standards.

(i) Lot Standards: Minimum 1,800 sq. ft.; no maximum lot size

(ii) Block Standards: Shall meet the block standards as established in the Regulating Plan or a maximum of 600' of block face length, whichever is smaller.

5.7 Hillside Residential

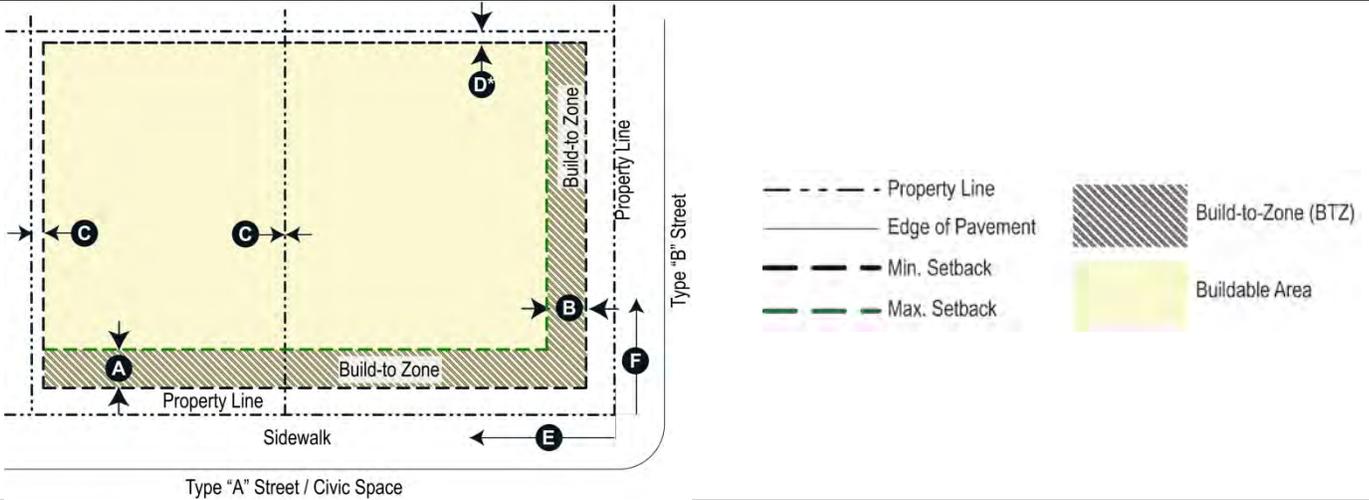
(c) Illustrations and Intent

The Hillside Residential zone is also intended to preserve the existing range of affordable higher density residential located along the Iron Horse Loop Road set against the Hillside. Development standards in this character zone emphasize the preservation of the higher density urban residential uses with some possible infill or redevelopment within the existing context.



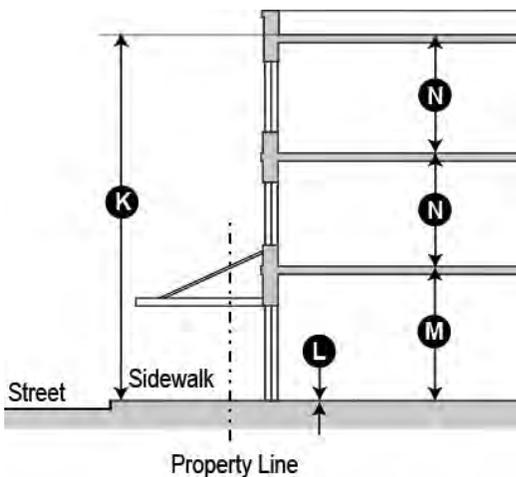
Images illustrating the character of development desired within the Hillside Residential Character Zone

(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Type "A" Street / Civic Space	10' (min.) - 30' (max.)	A
Type "B" Street	10' (min.) - 30' (max.)	B
Side setback	0' (min.); no max.	C
Rear setback/Alley setback	5' min. setback	D*
(ii) Minimum Building Frontage Required		
Building Frontage required along Type "A" Street/Civic Space BTZ	60% (min.)	E
Building Frontage required along Type "B" and Kearns Blvd. BTZs	40% (min.)	F
Building Frontage required along Alley	None Required	

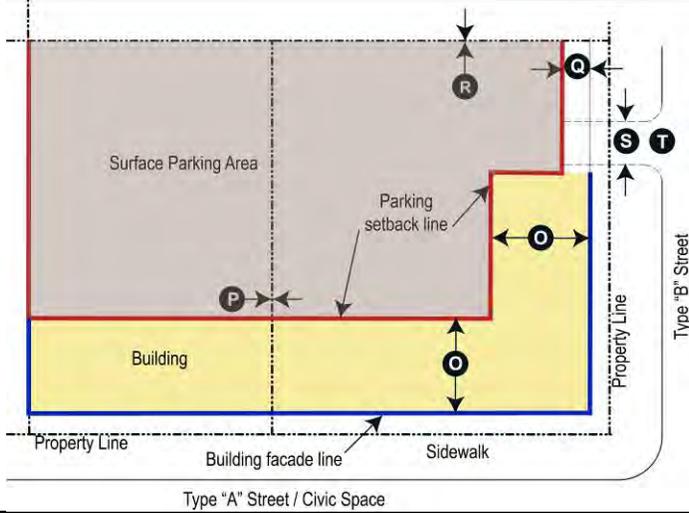
(c) Building Height



(i) Principal Building Standards		
Building maximum	3 stories and 40' (Additional building height may be permitted per Section 7 of this Code)	K
First floor to floor height	<ul style="list-style-type: none"> 12' (min.) for all commercial/mixed use buildings or any building with any Required Commercial or Commercial Ready Frontage designation 10' (min.) for all other buildings 	M
Ground floor finish level	<ul style="list-style-type: none"> 12 inches max. above sidewalk (for ground floors of commercial/mixed use buildings or any building with Required Commercial or Commercial Ready Frontage designation) 18" (min.) above sidewalk for residential buildings 	L
Upper floor(s) height	<ul style="list-style-type: none"> 9' min. 	N
(ii) Accessory Building Standards		
Building Height	2 stories (max.)	
BTZ/Setbacks	Shall be placed behind the front façade of the principal building along Type "A" Streets. If the principal building has no Type "A" Street frontage, then the accessory building shall be placed behind the front façade of the building along either a Type "B" or Alley.	
Building Footprint	Shall be limited to no more than 75% of the principal building footprint	

(d) Parking & Service Access

(i) Surface Parking Setbacks



Deer Valley Blvd.	▪ Shall be located 5' (min.) behind the property line (Street screen req'd; see Section 10.0)	
Type "A" Street Setback	▪ Shall be located behind the principal building	O
Type "B" Street Setback	▪ Shall be located either behind the principal building <u>or</u> a min. of 3' behind the building façade line along that street only	O Q
Alley Setback	▪ Shall be located 5' (min.) behind the property line	R
Side and Rear setbacks	▪ 0'	P

(ii) Driveways and Service Access

Section 5.1 shall apply

S T

(e) Lot and Block Standards

(i) Lot Standards: Min. 1,800 sq. ft; no maximum lot size

(ii) Block Standards: Shall meet the block standards as established in the Regulating Plan.

5.8 Utility Service

(a) Illustrations and intent

In light of the decision of Rocky Mountain Power (RMP) not to move the utility substation located within Bonanza Park, it is recommended that the property that substation sits on to be classified as its own character zone – Utility Services. This area would be characterized by only allowing the substation with specific screening, buffering, and fencing standards along its frontages to the neighborhood.

(b) Screening Standards

Shall be a combination of opaque and vegetative screening of a minimum height of 15'



Images illustrating the character of screening desired adjacent to the Utility Sbstation

6.0 Building Design Standards

The Building Design Standards for Bonanza Park Form-Based Code zoning district shall establish a coherent village character and encourage authentic, enduring, and attractive development. Development plans or site plans shall be reviewed by the Planning Director or designee for compliance with the standards below.

The following key design principles establish essential goals for the redevelopment within Bonanza Park to be consistent with the vision for a vibrant village that provides a range of commercial, civic, educational, and residential uses serving residents and visitors alike.

- i. New and redeveloped buildings and sites shall utilize building and site elements to achieve a pedestrian-oriented public realm with sidewalks, street trees, building elements, and glazing;
- ii. Design compatibility is not meant to be achieved through uniformity, but rather differentiation through the use of variations in building elements to achieve individual building identity and authenticity;
- iii. Strengthen Park City's local architecture , and specifically Bonanza Park's eclectic character;
- iv. Building facades shall include appropriate architectural details and ornament to create variety and interest;
- v. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment and connection to the natural setting; and
- vi. Increase the quality, adaptability, and sustainability in Park City's building stock.

6.1 Building Orientation

- a. Buildings shall be oriented towards Type "A" Streets, where the lot has frontage along Type "A" Streets or along Civic/Open Spaces. All other buildings may be oriented towards Type "B" Streets.
- b. Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection though not all corners shall incorporate this design feature.
- c. All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.
- d. Building heights over the third story may only be oriented to take advantage of optimum solar gain by aligning the broad faces of the building along an east to west axis and minimum shading on adjacent Open Space.

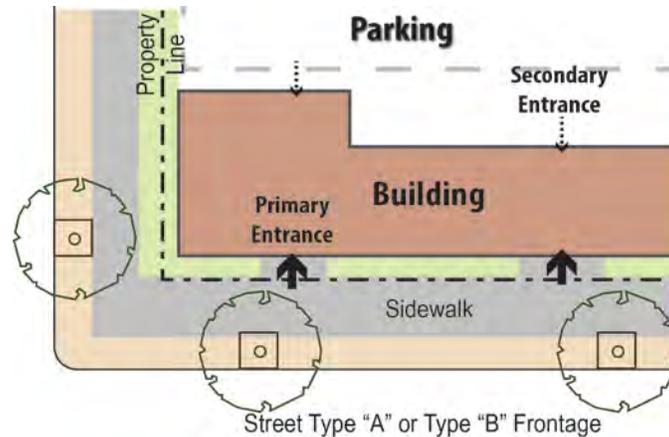


Figure showing required building orientation and location of primary entrances

6.2 Design of Parking Structures

- a. All frontages of parking structures located on Type "A" Streets shall not have parking uses on the first story to a minimum depth of 50 feet along any Type "A" Street frontage. If the frontage is along a designated Required Commercial or Commercial Ready Frontage, then the Required Commercial or Commercial Ready Frontage requirement shall supersede.
- b. Parking structure facades on all Type "A" Streets shall be designed with both vertical (façade shifts at 20 foot to 30 foot intervals) and horizontal (aligning with horizontal elements along the block) articulation.
- c. Where above ground structured parking is located at the perimeter of a building with frontage along a Type "A" Street, it shall be screened in such a way that cars on all parking levels are completely hidden from view from all adjacent public streets. Parking garage ramps shall not be visible from any Type "A" Streets. Ramps shall not be located along the perimeter of the parking structure, if that perimeter is along a public façade. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting. In addition, the ground floor façade treatment (building materials, windows, and architectural detailing) shall be continued to at least the second floor of a parking structure along all Type "A" Streets.
- d. When parking structures are located at street intersections, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- e. Parking structures and adjacent sidewalks shall be designed so pedestrians and bicyclists are clearly visible to entering and exiting automobiles.

6.3 Loading and Unloading

- a. All off-street loading, unloading, and trash pick-up areas shall be located along alleys or Type "B" Streets only unless permitted in the specific building form and development standards in Section 5 of this code. If a site has no access to an Alley, or Type "B" Street, off-street loading, unloading, and trash pick-up areas may be permitted along a Type "A" Street.
- b. All off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

6.4 Façade Composition

- a. Facades along all Type “A” Streets and Civic/Open Spaces shall maintain a façade articulation and rhythm of 20’ – 30’ or multiples thereof. This articulation may be expressed by changing materials, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the building façade. .
- b. Primary Entrance Design: Primary building entrances along Type “A” and/or Type “B” Streets shall consist of at least two of following design elements so that the main entrance is architecturally prominent and clearly visible from that street:
 - i. Architectural details such as arches, posts, beams, and timbers, friezes, awnings, canopies, gabled parapets, murals, or moldings
 - ii. Integral planters or wing walls that incorporate landscape or seating elements
 - iii. Enhanced exterior light fixtures such as wall sconces, light coves with concealed light sources, or decorative pedestal lights that meet lighting standards as per Section 15-5 in the LMC.
 - iv. Prominent three-dimensional, vertical features such as false front, belfries, chimneys, clock towers, domes, spires, steeples, towers, or turrets.
 - v. A repeating pattern of pilasters projecting from the façade wall by a minimum of eight inches or architectural or decorative columns.
- c. Spacing of Entrances: There shall be a minimum of one building entrance for every 50 feet of building frontage along all Required Commercial and Commercial Ready Frontages. If a single use occupies more than 50 feet in width along required commercial and commercial ready frontages, liner shops shall be located around such use to maintain building activity and interest.
- d. Storefront Design:
 - i. Storefronts on facades that span multiple tenants within the same building shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures. However, architectural diversity is encouraged for different buildings on the same block.
 - ii. Buildings shall generally maintain the alignment of horizontal elements along the block with variation in overall height of buildings.
 - iii. Corner emphasizing architectural features, gabled parapets with pediments, cornices, awnings, blade signs, posts and balconies may be used along commercial storefronts to add to the pedestrian interest.

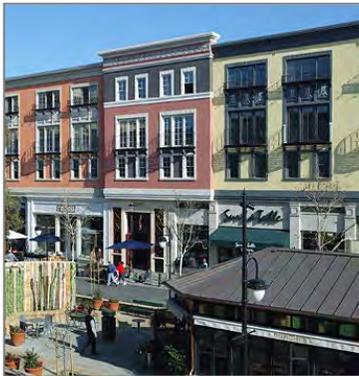
6.5 Windows and Doors

- a. Windows and doors on street (except alleys) fronting facades shall be designed to be proportional and appropriate to the specific architectural style of the building. First floor windows shall have a Visible Transmittance (VT) of 0.6 or higher.
- b. All ground floor front facades of buildings along Type “A” Streets or Civic/Open Space shall have windows with a Visible Transmittance (VT) of 0.6 or higher covering no less than 40% of the ground floor façade area. Each upper floor of the same building facades facing a Type “A” Street or Civic/Open Space shall contain windows with a Visible Transmittance (VT) of 0.6 or higher covering no less than 25% of the façade area. All other street facing facades (except alleys) shall have windows with a Visible Transmittance (VT) of 0.6 or higher covering at least 15% of the façade area for all floors.

6.6 Building Materials

- a. Generally, at least 70% of a building’s façade along all Type “A” Streets and Civic/Open Space shall be finished in one of the following primary materials:
 - i. Masonry (stone, cast stone, brick, glass, , or glass block)

- ii. Wood, wood paneling, fabricated wood product or recycled composite material (recycled plastic lumber, etc.).
 - iii. Architectural Metal Panels
 - iv. For Iron Horse Character Zone, architectural metal panels, or pre-cast concrete panels may be used as a primary material.
 - v. Slump block and split-face concrete block are prohibited in all character zones.
- b. Generally, no more than 30% of a building's façade along all Type "A" Streets and Civic/Open Space shall use other secondary accent materials: architectural metal panel, or pre-cast concrete panels.
 - c. Generally, all facades along Type "B" Streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary materials and secondary accent materials listed above.
 - d. Pre-cast or poured in place concrete shall be used on no more than 20% of any Type "A" or "B" Street façade. There is no limitation on its usage on all other facades.
 - e. Generally, cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only. In the BoPa Residential and Hillside Residential Character Zone, this material may be used on any floor.



Mixed Use Center



Industrial Arts

Samples of appropriate vertical and horizontal articulation and materials.

6.7 Building Massing and Scale

- a. To maintain pedestrian interest and scale, single tenant buildings between 15,000 and 50,000 sq. ft. in floor area shall be built in such a manner as to include liner shops with commercial frontage along all the building's Type "A" frontages.
- b. Liner shops shall be a minimum of 30 feet deep and shall surround the single tenant/use building on all Type "A" streets and along the first 50 feet of a Type "B" streets from the corner.



Illustrative sample of a large retailer with liner retail.



Example of mixed-use grocery store with liner retailers at the corner of intersections

- c. Single tenant buildings over 25,000 sq. ft. in ground floor area may only be permitted with a CUP approved by the Planning Commission.

6.8 Roof Form

- a. Gabled, hipped, shed or pyramid roofs are encouraged in the Resort Gateway character zone and BoPa Residential character zone. Main roof structures shall use a slope of no less than 6 feet vertical to 12 feet horizontal (6:12). Accent roof forms, such as a shed roof, have no minimal roof slope requirements.
- b. When using a flat roof, buildings shall have minimal articulation utilizing parapets with flat or low pitched roofs.



Samples of appropriate roof forms

(image from the Park City Design Guidelines for Historic Districts and Historic Sites).

7.0 Incentive or Enhanced Options Standards

7.1 Purpose and Intent: The purpose of this section is to implement the Enhanced Option recommendations of the Bonanza Park Area Plan street grid in a streamlined and predictable manner in conjunction with the City’s Affordable Housing, Transfer of Development Rights (TDR), and View Shed & Open Space policies.

7.2 Applicability: Any development that exceeds the maximum 3 stories and 35’ building height standard (per the previous Land Management Code – General Commercial [GC] Zoning Standards) in Bonanza Park shall meet the standards as set forth in this Section. All Applicants and property owners must agree to the street grid layout as represented on the Regulating Plan included within this document and incorporated within the Bonanza Park Area Plan. This further includes agreement by the Applicant to the location of the specific rights-of-way for vehicle and pedestrian use as well as proposed widths and treatments. The Applicant understands that Park City Municipal Corporation will agree to fund at least 50% of the cost of these improvements and that all right-of-way land and improvements will be dedicated to the City.

7.3 Enhanced Options Matrix

<p>General Standards:</p> <p>To be eligible for Tier 1 Enhanced Options; applicants have to meet the Applicability requirements as listed in Section 7.2 above.</p> <p>Tier 1 maximum development: Building height shall not exceed 5 floors or 55 feet. On the 4th floor, the building area shall be limited to 75% of the ground floor building area (footprint) and on the 5th floor the building area shall be limited to 25% of the ground floor building area (footprint) unless otherwise specified below. When the building fronts a Type “A” Street or Civic/Open Space, the 4th and 5th floor must be setback no less than 15 feet from the building facade line on the 4th floor and 25 feet from the front building line on the 5th floor.</p>	
Development Outcomes	Standards or Criteria
<p>Workforce housing units per standards in Table 7.4 below</p>	<p>Within this option, the applicant may utilize either the City’s adopted Housing Resolution OR the Bonanza Park Affordable/Attainable Housing Option.</p> <p>The Standards of the Bonanza Park Affordable/Attainable Housing Option outlined in Table 7.4 below shall apply</p> <p>Additional building square footage shall be equal to the total square feet provided for workforce housing units; but no greater than the maximum permitted for Tier 1.</p>

<p>General Standards:</p> <p>To be eligible for Tier2 Enhanced Options; applicants have to meet the Applicability requirements as listed in Section 7.2 above.</p> <p>Tier 1 maximum development: Building height shall not exceed 5 floors or 55 feet. On the 4th floor, the building area shall be limited to 75% of the ground floor building area (footprint) and on the 5th floor the building area shall be limited to 25% of the ground floor building area (footprint) unless otherwise specified below. When the building fronts a Type “A” Street or Civic/Open Space, the 4th and 5th floor must be setback no less than 15 feet from the building facade line on the 4th floor and 25 feet from the front building line on the 5th floor.</p> <p>Applicants are also eligible to reduce their total required off-street parking by a maximum of 25%</p>	
Development Outcomes	Standards or Criteria
Dedication of Required or Recommended Open/Civic Space (includes community gardens and rooftop greenhouses) and/or View Sheds	Additional building square footage shall equal the total square feet provided in Open/Civic Space (public or private) or View Sheds but no greater than the maximum permitted for Tier 2 with the exception of Rooftop Greenhouses which may be allowed on the 4 th and 5 th floor and do not count toward the building area SF limits.
Development Outcomes	Standards or Criteria
Receiving any transfer of development right (TDR) credits	
<p>General Standards:</p> <p>To be eligible for the Bonus Tier Enhanced Options; applicants have to meet Tier 1 or Tier 2 Development Outcomes.</p> <p>Applicants may provide more than one of the listed development outcomes under Tier 3 in addition to Tier 1 and Tier 2 and obtain the cumulative building square footage up to the maximums established for all three tiers.</p> <p>Bonus Tier maximum development (cumulative for all development outcomes): Building height shall not exceed 5 floors (100% of the ground floor building footprint on the 4th and 5th floors).</p> <p>Applicants providing any Bonus Tier development outcome are also eligible to reduce their total required off-street parking by a maximum of 25%</p>	
Development Outcomes	Standards or Criteria
Receiving any transfer of	Additional building square footage shall be equal

development right (TDR) credits	to the total square feet provided by the TDR exchange on a 1:1 basis; but no greater than the maximum permitted for the Bonus Tier.
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7.4 Affordable and Attainable Housing Options

This section provides for an alternative option to the City’s Adopted Affordable Housing Resolution by addressing local housing needs and increasing the range of required housing. The Bonanza Park Attainable Housing Option gives developers the option to create a mix of affordable and attainable housing as outlined below. This option requires that the developer build the affordable/attainable mix at 25% of the net leasable floor area of the building.

Table 7.4 Bonanza Park Affordable/Attainable Housing Options				
Requirement: Minimum 25% of Net Leasable Floor Area				
Tier	Target Workforce Wage	Maximum Workforce Wage	Distribution of Units within Project (min.)	Targeted Income Range in 2012
1	100%	125%	10%	\$55,714 - \$69,643
2	125%	150%	20%	\$69,643 - \$83,571
3	150%	175%	40%	\$83,571 - \$97,500
4	175%	225%	15%	\$97,500 - \$125,357
5	225%	328%	15%	\$125,357 - \$182,742

7.5 In addition to the three (3) Tier options for development incentives, applicants may propose other development outcomes in return for alternative benefits which complement the Community Vision and General Plan. However, such requests may only be approved by the City Council after a recommendation by the Planning Commission. The criteria for such review and approval shall be the same as the ones listed under Exceptional Civic Design in Section 3.3.

8.0 Street Design Standards

- 8.1 Street Network: The street network, street type hierarchy and street standards form the basis of the Regulating Plan. The street network is designed to provide connectivity and adaptability throughout the character zones as Bonanza Park develops over time. New development shall follow the street network design; however, if minor realignments are necessary due to environmental and/or physical conditions they will be evaluated during the Development Review process. Major alternative alignments or flexibility with the street network design may be proposed through the MPD process, provided that the following provisions are met:
- a. Maximum Block Size – The maximum perimeter of any block may not exceed 2000 feet or as established in the Regulating Plan. Each block face may not exceed 600 feet or as established in the Regulating Plan. Block faces may be defined by any of the street types, including pedestrian walkways that are dedicated public rights-of-way, with the exception of alleys. However, if a pedestrian walkway is used to define a block of the maximum size then the right of way for the walkway must be equal to that of a Type “B” street.
 - b. Connectivity – Connectivity throughout the area is critical for the mixed-use nature of the area to function as a pedestrian-oriented environment. While streets indicated on the Regulating Plan may be removed or designated as pedestrian walkways, the number of surface street intersections within a planned development area shall be proximate to the number of intersections indicated for that area on the Regulating Plan and will be evaluated during the MPD and Development Review processes. Connectivity will be evaluated for multiple modes of travel, including the pedestrian and bicycle.
- 8.2 Street Classification and Connectivity Standards: In order to service both multiple modes of transportation and appropriate development context, streets within the District are classified under three major categories in the BoPa-FBC.
- a. Street Cross Section: The Street Cross Sections establish standards for the right-of-way characteristics of the street itself. This includes information on automobile, bicycle, pedestrian, public transit, and parking accommodation. It typically addresses the space allocation within the public right-of-way and its emphasis towards one or more modes of transportation.
 - b. Street Type: The Street Type designation establishes the appropriate development context along each street. For the purposes of this FBC, Street Type is classified into the following two categories:
 - i. Type “A” Streets – Type “A” Streets are intended to provide the most pedestrian-friendly and contiguous development context. Buildings along Type “A” Streets shall be held to the highest standard of pedestrian-oriented design and few, if any, gaps shall be permitted in the ‘Street Wall’. These streets are the main retail, restaurant, entertainment streets or are important neighborhood connectors as identified in the Regulating Plan.
 - ii. Type “B” Streets – Type “B” Streets are also intended to be pedestrian friendly with a mostly contiguous development context; however, in some locations, where access to an Alley is not available, Type “B” Streets may need to accommodate driveways, parking, service/utility functions, and loading and unloading. In such cases, Type “B” Streets may balance pedestrian orientation with automobile accommodation. Typically, they shall establish a hybrid development context that has a more pedestrian friendly development context at street intersections and accommodates auto-related functions and surface parking in the middle of the

block. Surface parking shall be screened from the roadway with a street wall or living fence. Type "B" Streets are designated in the Regulating Plan.

- c. Street Connectivity Requirements: In addition to Street Cross Section and Street Type, Streets are also classified by whether they are Primary or Secondary streets to implement the redevelopment vision and are designated as such on the Regulating Plan.
 - i. Primary Streets – these are mainly existing, improved, or new streets that are essential to implement the network envisioned in the BoPa street grid. If an owner elects to dedicate Right of Way for Primary Streets, it shall be reserved or dedicated per Chapter 7 of the LMC at the time of development or redevelopment.
 - ii. Secondary Streets – these are additional new streets that are important, but have the flexibility to implement the network envisioned in BoPa street grid. Secondary Streets indicate the likely locations for new streets and blocks. Secondary Streets may be substituted by pedestrian passages, alleys, or cross-access easements based on the specific redevelopment context.

8.3 Street Cross Section Standards: This section shall establish standards for all elements of the public right-of-way including travel lanes, on-street parking, bicycle accommodation, streetscape/parkway standards, and sidewalk standards. Landscaping and streetscaping within and adjacent to the public R-O-W shall be per standards in Section 10. Appendix C shall provide the palette of street cross sections for different streets within Bonanza Park. These cross sections may be adjusted to fit existing contexts with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Fire Code as adopted by the City.

9.0 Open Space and Civic Space Standards

- 9.1 **Open Space and Civic Space Approach:** The redevelopment vision for Bonanza Park recognizes the importance of providing a network of open spaces that provide a multitude of passive and active recreational opportunities. These opportunities are to be accommodated in a variety of spaces ranging from large scale facilities to small pocket parks located at key nodes within BoPa. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike, providing open space amenities for future residents of both Bonanza Park and adjoining neighborhoods. This approach to Open and Civic Space recognizes that in an urban, infill context, unique standards need to be established to provide for quality open and civic spaces that serve both recreational and placemaking goals of the redevelopment vision.
- 9.2 **Required and Recommended Open/Civic Space Designations:** This section establishes standards for Open Space and Civic Space within the BoPa-FBC Zoning District. Open Space and Civic Space includes Private Common Open Space, Pedestrian Amenities, Public Open Space, and Trail Standards. The Regulating Plan designates several areas for required and recommended Open and Civic Spaces within BoPa. The detailed Open Space and Civic Space Standards for each type are included in this Section. These standards include general character, typical size, frontage requirements, and typical uses.
- (a) Required Civic/Open Spaces are any or all areas shown on the Regulating Plan with specific locations of future Open and Civic Space. The only Required Civic/Open Space shown on the Regulating Plan is the Spur Park. This space has been identified on the Regulating Plan due to its significant location within the context of the overall redevelopment of Bonanza Park.
 - (b) Recommended Civic/Open Spaces are those areas shown on the Regulating Plan as desirable locations for future Open and Civic Spaces (including environmentally sensitive areas, parks, plazas, greens, and squares). These spaces have been identified on the Regulating Plan in order to communicate the vision for redevelopment within BoPa.
- 9.3 **Open Space and Civic Space Classification:** For the purposes of this Code, all urban open space shall fall into one of the following three (3) general classes:
- (a) **Public Open Space:** Open air or unenclosed to semi-unenclosed areas intended for public access and use and are located within the defined urban core of the city. These areas range in size and development and serve to compliment and connect surrounding land uses and code requirements.
 - (b) **Private Common Open Space:** A privately owned outdoor or unenclosed area, located on the ground or on a terrace, deck, porch, or roof, designed and accessible for outdoor gathering, recreation, and landscaping and intended for use by the residents, employees, and/or visitors to the development.
 - (c) **Private Personal Open Space:** A privately owned outdoor or unenclosed area, located on the ground or on a balcony, deck, porch, or terrace and intended solely for use by the individual residents of a condominium or multi-family dwelling unit.
- 9.4 **Open Space and Civic Space Requirements:**
- a. All non-residential development shall provide 2.5 sq. ft. of Public Open Space or Private Common Open Space for every 100 sq.ft. of non-residential space. This standard shall only apply to all site plans 2 acres in size or larger.
 - b. All residential development within the BoPa-FBC Zoning District shall meet the private common open space standards established in this Section. Table 9.1 establishes the private common open space requirement based on the proposed intensity of residential development. Residential projects with less than 20 dwelling units are not

required to provide private common space. When designating Private Common Open Space per the requirements in this Section, priority shall be given to any Required or Recommended Open/Civic Space locations that impact the subject property.

Table 9.1 Private Common Open Space Requirements

Housing Density (dwelling units per acre)	Private Common Open Space Standard Proposed (area of private common space per dwelling unit)
8 – 19 DU / acre	Provide minimum of 160 sf per dwelling unit
20 – 29 DU / acre	Provide minimum of 120 sf per dwelling unit
30 – 39 DU / acre	Provide minimum of 80 sf per dwelling unit
40 and above DU / acre	Provide minimum of 60 sf per dwelling unit

- c. Minimum Private Personal Open Space Requirements: All residential development within the BoPa-FBC Zoning District shall also meet the private personal open space standards established in this Section. Table 9.2 establishes the private personal open space requirement based on the proposed intensity and type of residential development.

Table 9.2 Private Personal Open Space Requirements

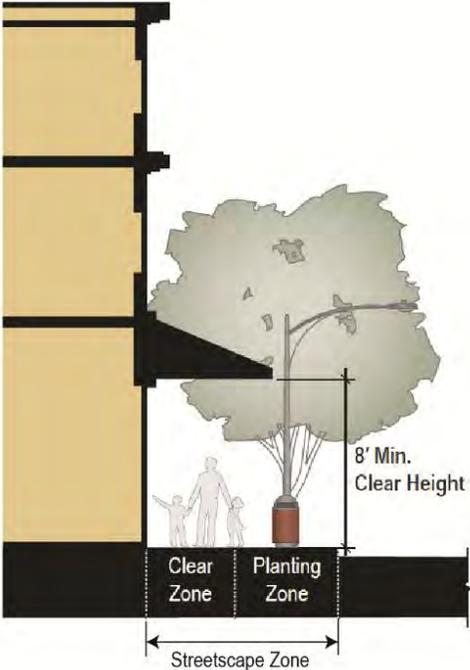
Housing Density (dwellings per acre)	Private Personal Open Space Standard Proposed
Less than 8 DU / acre	No Requirement
8 - 19 DU / acre	Ground floor units: If applicable, all dwelling units shall have a minimum of 100 sf of private personal open space including one of the following: Porch, Stoop, Patio, or Deck Upper floor units: all dwelling units shall have a minimum of 50 sf of private personal open space including one of the following: balcony or roof terrace
20 – 29 DU/acre	Ground floor units: If applicable, all dwelling units shall have one of the following: Porch, Stoop, Patio, or Deck Upper floor units: All dwelling units shall have a Balcony
30-39 DU / acre	Ground floor and podium level dwelling units: When applicable, all units shall include one of the following: Porch, Stoop, Patio, or Deck Upper floor dwelling units: 75% of all upper dwelling units shall have a Balcony.
40 and above DU / acre	Ground floor and podium level dwelling units: If applicable, all exterior facing units shall include one of the following: Porch, Stoop Garden, Patio, or Deck Upper floor dwelling units: 50% of upper units with Balcony.

9.5 Open/Civic Space Types: In order to meet the requirements for Private Common and Private Personal and other public space within this Code, Appendix D shall be used to provide the palette of open space types permitted within Bonanza Park.

10.0 Streetscape and Landscape Standards

10.1 Sidewalks. Public sidewalks are required for all development under this code and shall meet the standards established in Appendix D. The minimum sidewalk width requirement shall apply regardless of the available right-of-way. If necessary to meet the required sidewalk width, the sidewalk shall extend onto private property to fulfill the minimum requirement, with a sidewalk easement provided. Sidewalks shall consist of two zones: a planting zone located adjacent to the curb, and a clear zone (see figures below).

- (a) **Planting Zone:** The planting zone is intended for the placement of street trees, if required, and street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.
- (b) **Clear Zone:** The clear zone shall be hardscaped, shall be located adjacent to the planting zone, and shall comply with ADA Standards and shall be unobstructed by any permanent or nonpermanent element for the required minimum width and a minimum height of eight (8) feet. Accessibility is required to connect sidewalk clear zones on adjacent sites.
- (c) **Fee In-Lieu Option:** An applicant may opt to pay a proportional fee in-lieu for the required sidewalk if the development project is phased or the sidewalk improvements need to match the timing of a programmed City capital project affecting that street frontage.



Illustrations delineating the Streetscape Zone elements

10.2 Street Trees and Streetscape:

- (a) Street trees shall be required on all Bonanza Park streets (except in alleys).
- (b) Street trees shall be planted approximately three (3) feet behind the curb line or within the Planting Zone.

- (c) Spacing shall be a maximum of forty (40) feet on center (measured per block face) along all streets.
- (d) The minimum caliper size for each tree shall be 3 in. and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 24 sq. feet.
- (e) Species shall be selected from the Planting List available in the Planning Department.
- (f) Maintenance of all landscape materials shall meet the requirements of Title 14 of the Municipal Code.
- (g) The area between the building facade and property line or edge of existing sidewalk along Type "A" Streets shall be such that the sidewalk width shall be a minimum of 8' with the remainder of the setback area paved flush with the public sidewalk. Sidewalk cafes, landscaping within tree-wells or planters may be incorporated within this area.

10.3 Street Screen Required: Any frontage along all Type "A" and Type "B" Streets not defined by a building or civic space at the front of the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (except alleys) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be comprised of one of the following:

- (a) The same building material as the principal structure on the lot or
- (b) A living screen composed of shrubs planted to be opaque at maturity, or
- (c) A combination of the two.

Species shall be selected from the Planting List available in the Planning Department. The required Street Screen shall be located at the minimum setback line along the corresponding frontage.

10.4 Street Lighting: Pedestrian scale lighting shall be required along all Type "A" and "B" streets in Bonanza Park. The following standards shall apply for pedestrian scale lighting

- (a) Street lighting structures shall be no taller than 25 feet.
- (b) Street lights shall be placed at an average of 50 feet on center, within three (3) feet behind the curb line or based on a lighting plan established by the City.
- (c) The light standard selected shall be compatible with the design of the street and buildings. Street lights shall direct light downward or be properly shielded with $\frac{3}{4}$ or fully shielded fixtures to prevent glare and light pollution.

10.5 Street Furniture:

- (a) Trash and recycling receptacles shall be required along all Type "A" Streets. A minimum of one per each block face shall be required.
- (b) Street furniture and pedestrian amenities such as benches are required along all Type "A" Streets.
- (c) All street furniture shall be located in such a manner so as to allow a clear sidewalk passageway of a minimum width of 6 feet along Type "A" Streets. Placement of street furniture and fixtures shall be coordinated with the design intent for sidewalks, landscaping, street trees, building entries, curb cuts, signage, and other street fixtures.
- (d) Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

10.6 Parking Lot Landscaping: All surface parking shall meet the standards for parking lot landscaping in Chapter 3 of the LMC.

11.0 Definitions

In addition to Definitions in Chapter 15 of the LMC, the following terms shall have the corresponding interpretations.

Arcade: is a portion of the main façade of the building that is at or near the Street-Setback Line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

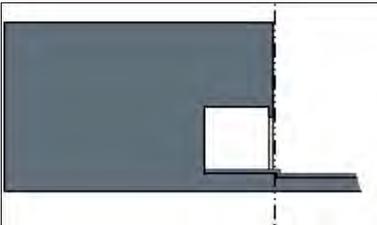


Image of an arcade

Attics/Mezzanines: the interior part of a building contained within a pitched roof structure or a partial story between two main stories of a building.

Auto-Related Sales and Service Uses: are establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Block Face Dimensions means the linear dimension of a block along one of its street frontages.

Block Perimeter means the aggregate dimension of a block along all of its street frontages.

Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed on all sides by streets.

Build-to Zone means the area between the minimum and maximum setbacks within which the principal building’s front façade (building façade line) is to be located.

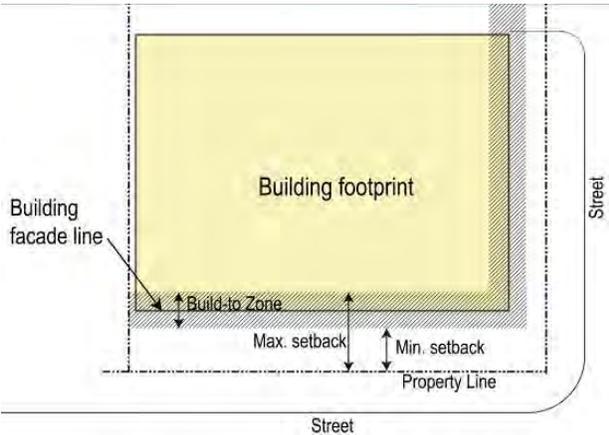
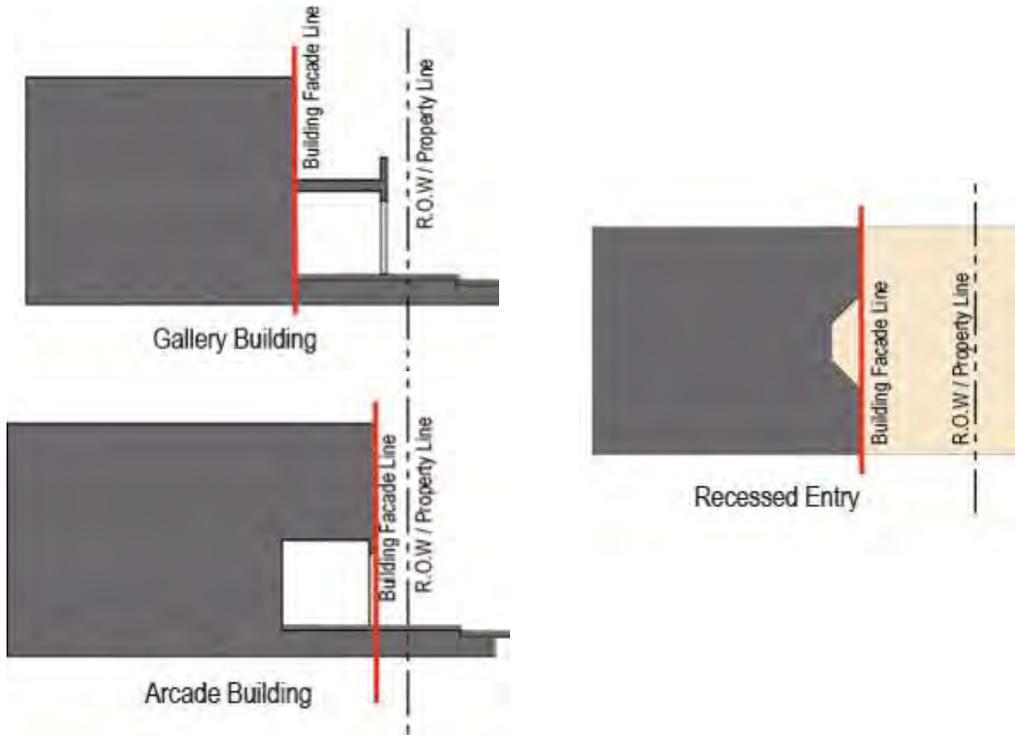


Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Façade Line means the vertical plane along a lot where the building's front façade is actually located.



Building Façade Line Illustrations

Building Form Standards: the standards established for each Character Zone that specifies the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage: the percentage of the building's front façade that is required to be located at the front Build-to Line or Zone as a proportion of the lot's width along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

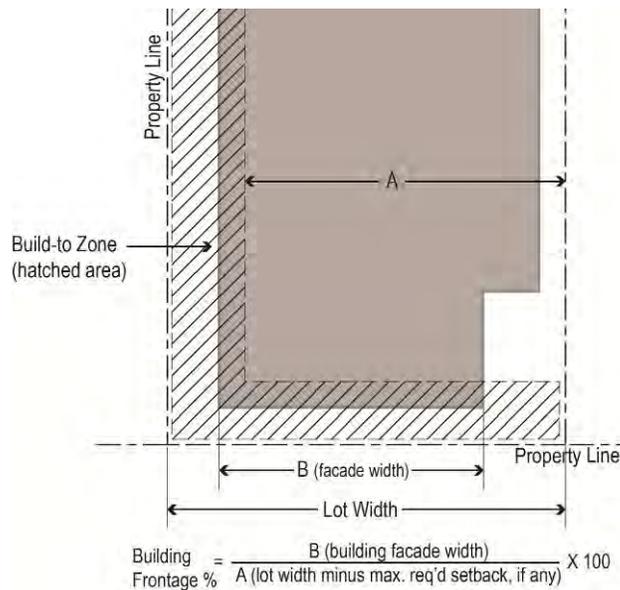


Image showing Building Frontage calculation

Character Zone means an area within the Bonanza Park Form-Based Code District that creates a distinct urban form different from other areas within the BoPa FBC District. Character Zones are identified in the Regulating Plan.

Civic/Open Space: a publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned.

Commercial Frontage Designation means space constructed at a minimum ground floor height as established in each character zone which shall NOT be residential, office, or institutional uses.

Commercial or Mixed Use Building means a building in which the ground floor of the building is built to commercial ready standards and any of the floors are occupied by non-residential or residential uses.

Cottage Manufacturing uses means small scale assembly and light manufacturing of commodities (incl. electronics) fully enclosed within the building without producing any noise, noxious odors, gas, or other pollutants. This category shall include workshops and studios for cottage industries such as pottery, glass-blowing, metal working, screen printing, weaving, etc.

Daylighting: Daylighting in a building is the utilization of available sunlight by manipulating window placement, window fixtures, and room dimensions to maximize natural light in a space. Using daylighting minimizes the need for lamps and overhead lights and the energy required to power artificial lighting.

Encroachment: any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony, that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R-O-W, or above a height limit.

Gallery: is an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.

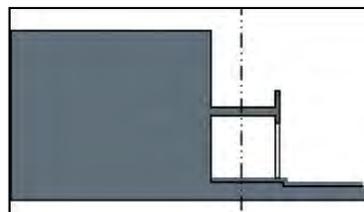


Image of a Gallery

Improvements: Improvements include anything that increases the dollar value or the usefulness of the property as defined by the Appraisal District. Such improvements include extension of utility service lines, filling or draining low areas, building raised areas, creating roads, parking lots and other access as well as erecting buildings, outbuildings and other fixed, permanent structures.

Institutional Uses: are uses that are related to non-profit organizations dedicated to religious or social functions.

Kiosks Sales:

Liner Building: A building that conceals a parking structure, surface parking lot, a big box retail or other large floor plate building, and is of a minimum of 30' in depth designed for occupancy by retail, service, and/or office uses on the ground floor, and flexible uses on the upper floors.

Live-Work Unit: means a mixed use building type with a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'work' component is usually located on the ground floor which is built to Commercial Ready standards. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Living Fence: shall be a Street Screen composed of landscaping in the form of vegetation.

Minor Modification means a requested deviation from BoPa FBC standards specified in the Minor Modifications provision of Section 4 Administration.

New Development: shall be all development that substantially modified or built after the adoption of this Code.

Outdoor Storage:

Regulating Plan: is a Zoning Map that shows the Character Zones, Street Types, Frontage Types, Civic Spaces, and other requirements applicable to the Bonanza Park Form-Based Code District subject to the standards in this Code.

Retail Sales: Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc., and health and personal services.

Residential Building means a building type that is built to accommodate only residential uses on all floors of the building such as townhomes, apartment buildings, duplexes, etc.

Service Uses: This is a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Street Screen: a freestanding wall or living fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Visible Transmittance:

Bonanza Park Form-Based Code
Appendices

DRAFT

July 31, 2014

Developed for



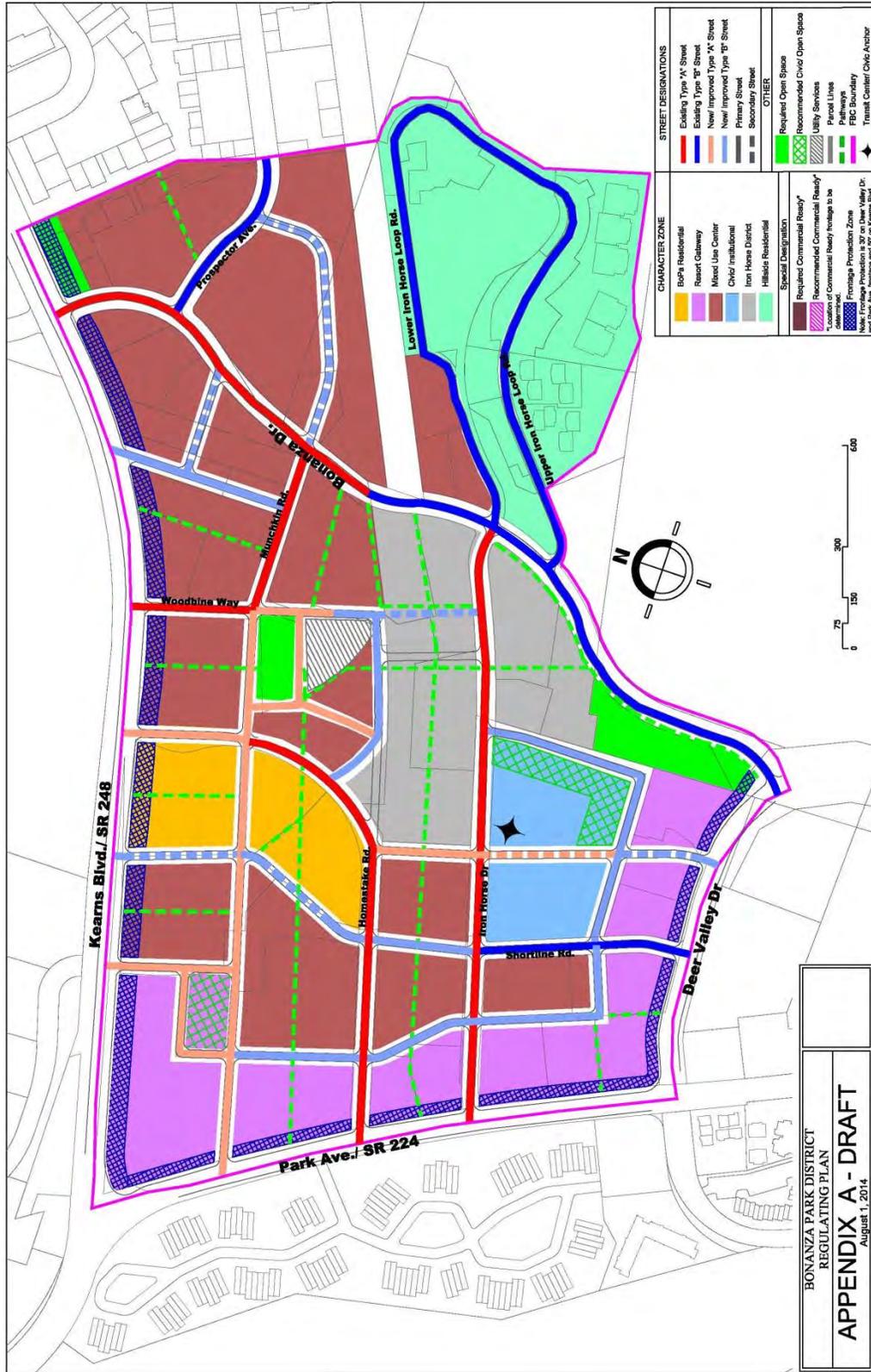
By

GATEWAYPLANNING
A V I A L T A G R O U P P A R T N E R

Table of Contents

- Appendix A: Regulating Plan
- Appendix B: Illustrative Plan
- Appendix C: Recommended Street Cross Sections
- Appendix D: Palette of Open Space Types

Appendix A: Regulating Plan



Appendix B: Street Cross Sections

- (a) Applicability:
 - i. The following cross sections shall apply to new and substantially reconstructed streets within the BoPa-FBC Zoning District only.
 - ii. The following cross sections shall also apply when properties are developed or redeveloped under the BoPa-FBC or when existing streets are reconstructed.

Table 8.1

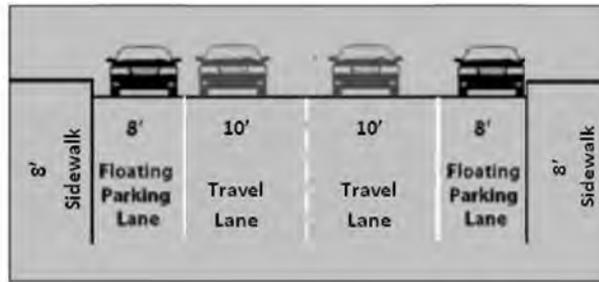
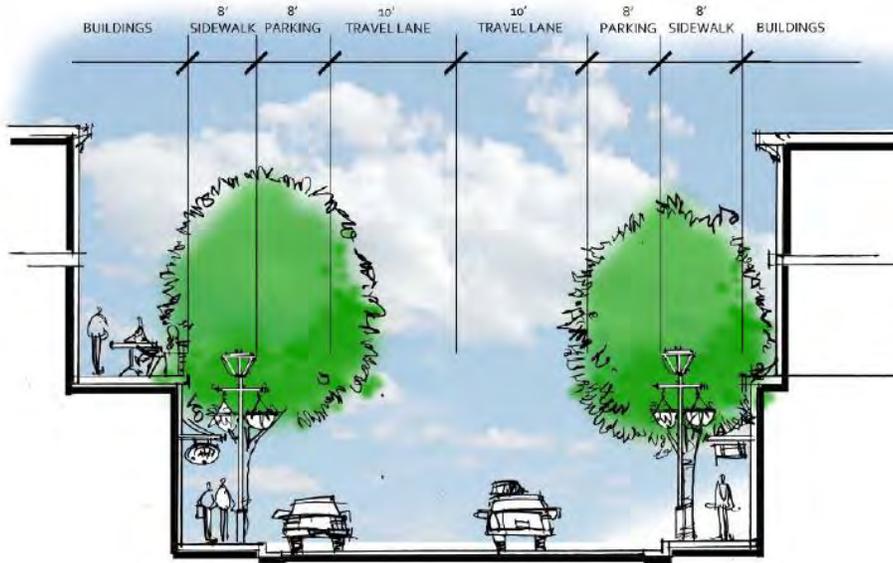
Treatment of ROW	
TRAILS	20' Wide ROW includes
	8' paved Trail
	1.5' stone-dust
	10.5' Landscaping w/Trees, Public Artwork, Interactive displays & Resting Spots
INTERIOR BLOCKS	52' Wide ROW includes
	2-10' Travel lanes
	2 – 8' Parallel on-street parking
	2 – 8' Sidewalks
INTERIOR BLOCK WITH CYCLE TRACK	51' Wide ROW includes:
	2-10' Travel lanes
	1 – 8' Parallel on-street parking
	2 – 6' Sidewalks
	1 - 3' Buffer
INTERSECTION	1 - 8' two lane bike track
	Curb extensions Textured Crosswalks
THE SPUR	Street Dining & Vendor Sales encouraged
	1-12' Sidewalk along building façade
	2 – 10' Travel Lanes
	1 – 8' Parallel on-street parking

8.3 Street Cross Sections



INTERIOR BLOCK NO CYCLE TRACK

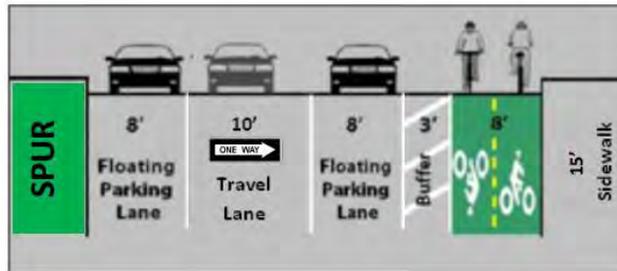
52' ROW



INTERIOR BLOCK WITH CYCLE TRACK

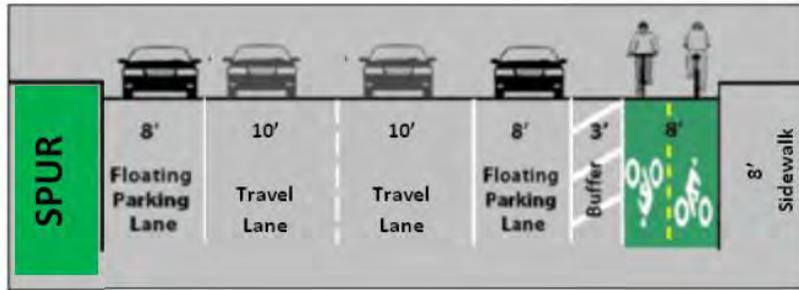
Along rounded edge of spur – One Way Travel Lane

52' ROW



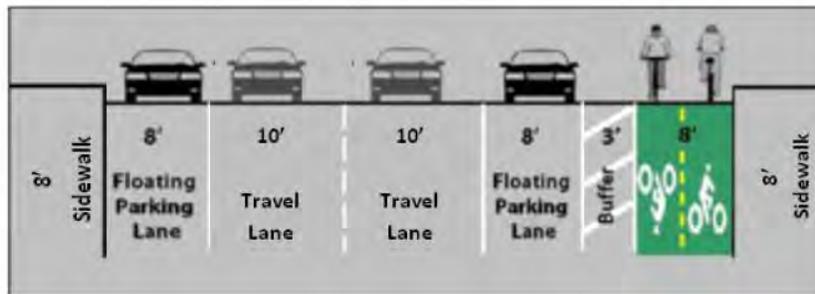
Along straight edge of spur

55' ROW



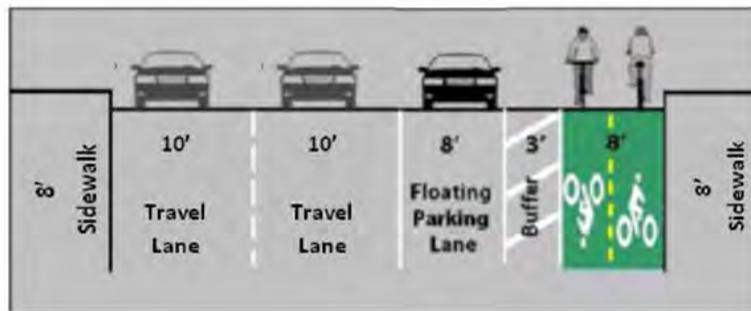
Roads with Cycle Track and Two sides of floating parking lane.

63' ROW



Cycle track with Single side of floating parking lane

55' ROW



Appendix D Palette of Open Space Types with Recommended Standards

The Open Space Types and Standards contained herein shall be used as a guide to fulfill the required and recommended Open Space requirements of Section 9 of the BP-FBC. These open space types may be Public or Private Common Open Spaces. The following section provides a description of these open space types including the design context and criteria consistent with the vision for Bonanza Park.

1. Public Open/Civic Space Types

a. Spur Park Standards



The Spur Park is a critical component of the vision for a redeveloped Bonanza Park. It is based on the Park City's history as a mining community where Bonanza Park was the primary rail transfer station sending goods into and out of the bustling mining town. The Y-shaped Spur Park based on the remnants of the switching yard located in Bonanza Park provides a unique way to reconnect to the history of the locale.

The Spur Park as envisioned in the Bonanza Park Plan becomes the central anchor for a walkable, urban neighborhood. The park is similar to a Square or a Green in that it is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. All buildings adjacent to the Spur Park shall front onto it and activate this space. The Spur Park shall be naturally landscaped with many shaded places to sit. Open lawn areas shall encourage civic gathering. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green. A civic element or small structure such as an open shelter, pergola, stage, or fountain may be provided within the Spur Park.

The area under the Spur Park may be developed as a public parking garage. Future multi-modal connectivity with the rest of town and the ski resorts will be critical to making Bonanza Park an important transit node within the community.

Typical Characteristics

General Character

- Open space
- Spatially defined by street and building frontages and landscaping
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

Location and Size

- 0.25 – 3 acres
- Minimum width – 25'
- Minimum pervious cover – 80%
- Minimum perimeter frontage on public right of way – 60%

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses
- No organized sports

b. Pocket Park Standards



Pocket Parks are small-scale public urban open spaces intended to provide recreational opportunities where (publicly accessible/park) space is limited. Typically, pocket parks should be placed within new areas of high (population) density such as envisioned within the Mixed Use Center.

Pocket parks are to be incorporated into areas with high population density. They offer recreational opportunities in locations where publicly accessible green space is limited or in areas not served by any other park. Pocket parks may be developed as dog parks, if permitted through a Conditional Use Permit (CUP) by the Planning Commission.

Typical Characteristics

General Character

Small urban open space responding to specific user groups and space available.

Range of character can be for intense use or aesthetic enjoyment. Low maintenance is essential.

Location and Size

Min. 5,000 sq. ft.; max. 0.25 acre
Within walking distance of either a few blocks or up to a 1/4 mile

Typical Uses

Development varies per user group

c. Green Standards



A Green is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Open lawn areas shall encourage civic gathering. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green.

A Green shall be adjacent to a public right-of-way and be spatially defined by buildings which shall front onto and activate this space. Best practices toward low water usage shall be utilized.

Typical Characteristics

General Character

- Open space
- Spatially defined by street and building frontages and landscaping
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

Location and Size

- 0.25 – 3 acres
- Minimum width – 25'
- Minimum pervious cover – 80%
- Minimum perimeter frontage on public right of way – 60%

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses
- No organized sports

d. Square Standards



A square is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square.

The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics

General Character

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Abundant seating opportunities

Location and Size

- 0.25 – 3 acres
- Minimum width – 25'
- Minimum pervious cover – 60%
- Minimum perimeter frontage on public right of way – 60%
- Located at important intersections

Typical Uses

- Unstructured and passive recreation – no organized sports.
- Formal gathering
- Commercial and civic uses

e. Multi-Use Trail Standards



A multi-use trail is a linear public urban open space that accommodates two or more users on the same, undivided trail. Trail users could include pedestrians, bicyclists, skaters, etc. A trail frequently provides an important place for active recreation and creates a connection to regional paths and biking trails.

Trails within greenways or neighborhood parks shall be naturally disposed with low impact paving materials so there is minimal impact to the existing creek bed and landscape.

The multi-use trail along the center of BoPa extending from the existing rail-trail along the Union Pacific Rail R-O-W will help activate connections between the open spaces within the district and to adjoining neighborhoods.

Typical Characteristics

General Character

Multi-use trail in Neighborhood Park:

Naturally disposed landscape

Low impact paving

Trees lining trail for shade

Appropriately lit for safety

Formally disposed pedestrian furniture, landscaping and lighting

Paved trail with frequent gathering spaces and regular landscaping.

Standards

Min. Width	8 feet (pavement)
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Typical Uses

Active and passive recreation

Casual seating

f. Plaza Standards



A plaza is a public urban open space that offers abundant opportunities for civic gathering. Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces.

The landscape should have a balance of hardscape and planting. Various types of seating should be provided from planter seat walls, to steps, to benches, to tables, and chairs. Trees should be provided for shade. They should be formally arranged and of appropriate scale. Introducing water features also adds to plaza. Daylighting streams or introducing water features would reconnect the urban activity to the natural setting. Plazas typically should be located at the intersection of important streets. A minimum of one public street frontage shall be required for plazas.

Typical Characteristics

General Character

- Formal open space
- A balance of hardscape and planting
- Trees important for shade
- Spatially defined by building frontages

Location and Size

- 0.25 – 3 acres
- Minimum width – 25'
- Minimum pervious cover – 40%
- Minimum perimeter frontage on public right of way – 25%
- Located at important intersections

Typical Uses

- Commercial and civic uses
- Formal and casual seating
- Tables and chairs for outdoor dining
- Retail and food kiosks

g. Pocket Plaza Standards



A pocket plaza is a small scale public urban open space that serves as an impromptu gathering place for civic, social, and commercial purposes. The pocket plaza is designed as a well-defined area of refuge separate from the public sidewalk.

These areas contain a lesser amount of pervious surface than other open space types. Seating areas are required and special features such as public art installations are encouraged.

They should be formally arranged and of appropriate scale. Pocket Plazas typically should be located at angled street intersections or in an area next to the streetscape.

Typical Characteristics

General Character

Formal open space for gathering

Defined seating areas

Refuge from the public sidewalk

Spatially defined by the street and building configuration

Location and Size

Min. 300 s.f. / Max. 1,500 s.f.

Minimum width – 10'

Minimum pervious cover – 20%

Minimum perimeter frontage on public right of way – 30%

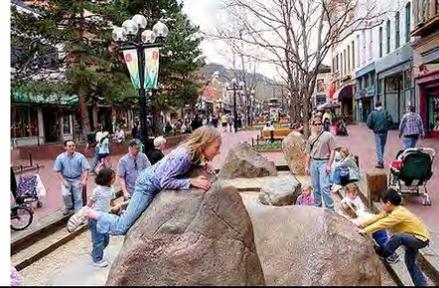
Located at angled street intersections and within building supplemental zones

Typical Uses

Civic and commercial uses

Formal and casual seating

h. Pedestrian Passage (Paseo) Standards



Pedestrian passages or paseos are linear public urban open spaces that connect one street to another at through-block locations. Pedestrian passages create intimate linkages through buildings at designated locations. These wide pathways provide direct pedestrian access to residential or other commercial addresses and create unique spaces that offer opportunities for store/shop frontages and entrances. Pedestrian passages allow for social and commercial activity to spill into the public realm (e.g. outdoor dining).

Pedestrian passages should consist of a hardscape pathway with pervious pavers activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Sunlight is important to the interiors of blocks.

Typical Characteristics

General Character

- Hardscape pathway with pervious pavers
- Defined by building frontages
- Frequent side entries and frontages
- Shade important
- Minimal planting and potted plants
- Maintain the character of surrounding buildings

Standards

Min. Width	15 feet overall; min. pavement width shall be 12'
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Typical Uses

- Pedestrian connection and access
- Casual seating

2. Private Common Open Space Types

a. Forecourt Standards



A forecourt is a small scale private common open space surrounded on at least two sides by buildings. A forecourt is typically a building entry providing a transition space from the sidewalk to the building. The character serves as a visual announcement of the building to visitors with additional amenities such as signage, water features, seating, planting, etc.

Forecourts should be laid out proportionate to building height with a 1:4 (min.) ratio. In order to offset the impact of taller buildings, the detail of the forecourt level should seek to bring down the relative scale of the space with shade elements, trees, etc.

The hardscape may primarily accommodate circulation such as a porte-cochere. Seating and shade may be important for visitors. Trees and plantings are critical to create a minimum of 30% pervious cover and offset the effect of the urban heat island.

Typical Characteristics

General Character

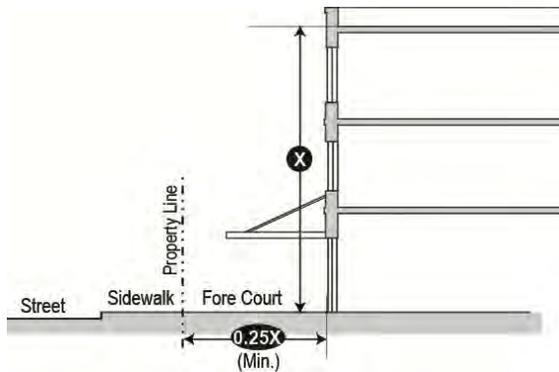
- Small scale private common open space
- Defined by buildings on at least 2 sides with connection to public sidewalk
- Size of court should be proportionate to building height
- Hardscape should accommodate entry circulation
- Trees and plants are critical
- Enhance the character of surrounding buildings

Standards

- Min. Width: 25' or 50% of building width, whichever is smaller.
- Minimum Size: Depth: Based on building height ratio; Width: min. of 50% of the building's frontage along that street
- Minimum pervious cover – 30%

Typical Uses

- Building Entry Circulation
- Visual building announcement



b. Courtyard Standards



Courtyards are small scale private common open spaces surrounded on at least three sides by buildings with a pedestrian connection to a public sidewalk. Courtyards maintain the character and style of the surrounding buildings.

Courtyards should be laid out proportionately to building height between 1:1 and 2:1 ratio. In order to offset the impact of taller buildings, the detail of the courtyard level should seek to bring down the relative scale of the space with shade elements, trees, etc. Transition areas should be set up between the building face and the center of the court.

The hardscape should accommodate circulation, gathering, seating, and shade. Trees and plantings are critical to create a minimum of 30% pervious cover and offset the effect of the urban heat island.

Typical Characteristics

General Character

Small scale private common open space

Defined by buildings on at least 3 sides with connection to public sidewalk

Size of court should be proportionate to building height

Hardscape should accommodate circulation, gathering, and seating.

Trees and plants are critical

Maintain the character of surrounding buildings

Standards

Min. Width 25'

Minimum Size 650 s.f.

Minimum pervious cover – 30%

Typical Uses

Gathering

Casual seating

c. Roof Terrace Standards



A Roof Terrace is a private common open space serving as a gathering space for tenants and residents that might not be located on the same level.

Up to 50% of the required private common open space may be located on a roof if at least 50 % of the roof terrace is designed as a Vegetated or Green Roof. A Vegetated or Green Roof is defined as an assembly or system over occupied space that supports an area of planted beds, built up on a waterproofed surface.

Private common open space on a roof may be screened from the view of the adjacent property, if desired/required. The hardscape should accommodate circulation, gathering, seating, and shade.

Typical Characteristics

General Character

- Small scale private common open space on roof top
- Screened from view of adjacent property
- Vegetated portion critical
- Hardscape should accommodate gathering, seating, shade
- Provides common open space that might not be available at grade

Standards

- Min. Area 25% of the any roof top
- Planted area – 50%

Typical Uses

- Gathering for tenants and residents
- Green Roof

3. Private Personal Open Space Types

a. Balcony Standards



A Balcony is a private personal open space providing access to light and air above the ground level. Metal or slab balconies may project out from the building face, be semi-recessed, or completely recessed. Balconies must be surrounded by guard rails or a building face. A balcony typically has French or sliding glass doors leading out onto it and can be entered from a living room or bedroom.

Balconies may be wide enough to accommodate a small table and chairs or simply provide an area for standing and/or placing potted plants. Balconies provide an outdoor area for individual personalization.

Typical Characteristics

General Character

Small scale private personal open space on roof top

Protected by guardrails or building face

Provides opportunity for personalization of outdoor space

Standards

Min. Width 5' x 8'

Minimum Size 40 s.f.

Typical Uses

Private access to light and air

b. Patio/Deck Standards



A Patio or Deck is a private personal open space on the ground level serving as a place for individual, family, and guest gathering. The patio or deck has a clear sense of separation from adjacent dwelling units and from the private common open space or from the streetscape.

A patio or deck may have an area for outdoor dining and recreation and either plantings at grade (patio) or potted plants (deck). Patios or decks provide private outdoor areas for individual personalization.

Typical Characteristics

General Character

Small scale private personal open space at ground level

Separated from adjacent units and from the private common open space or from the streetscape

Provides opportunity for personalization of outdoor space

Standards

Min. Width	12'
Minimum Size	150 s.f.

Typical Uses

Private outdoor dining and living

c. Stoop Garden Standard



A Stoop Garden is a private personal open space which provides a direct pedestrian connection from the entry door to the dwelling to the public streetscape. The elements of a Stoop Garden include the building stoop, the built area directly outside of the dwelling unit. A Stoop Garden serves as an important transition from a multifamily structure which is set close to the street and sidewalk. The Stoop Garden uses a gradual elevation in planting, railings, planters, and other landscape elements to provide a sense of human scale for pedestrians. These elements also provide residents a sense of defensible space and privacy for dwelling units with very little distance from passing pedestrians.

A stoop typically has a grade separation from the adjacent sidewalk or roadway pavement. Low walls, railings, and shrubs help to create an open, yet defined sense of semi-private space. Walls, fences and other elements should be limited in height to no more than (4) four feet above the building elevation.

Typical Characteristics

Small scale entry transition from public streetscape to private residences within short setback area.

Semi-private landscape between entry stoop and sidewalk are designed as gradually elevated planting

Grade separation of not less than 12"; typically elevated, but can be recessed

Railings, planters, and low walls help to define semi-private zone between private stoop area and the public streetscape

Standards

Min. Width: the length of the unit frontage

Min. Depth: 5 ft planting / 5 ft stoop

Typical Uses

Street level entry and outdoor living



**JOINT PARK CITY COUNCIL AND PLANNING COMMISSION SPECIAL MEETING MINUTES
SUMMIT COUNTY, UTAH,
May 13, 2014**

Regular Meeting

I. ROLL CALL-all Council present/ all Commission except Stuart Gross

II. NEW BUSINESS

1. Draft Form-Based Code and Bonanza Park Discussion

Thomas Eddington, Planning Director, introduced Scott ?? with Gateway Planning. Eddington discussed the purpose of the Form Based Code in the Bonanza Park Neighborhood. The Form based code is a different approach to regulate development. It puts the form and design in the forefront. Discussed the current background of Bonanza Park stating staff has looked at the existing conditions and looked toward the future to bring a connected community to Bonanza Park. Eddington stated during the community visioning it was found that they wanted affordability and community. They also looked at the current use of Bonanza Park and found that the community wanted the current uses to remain the same. Discussed the connectivity ideas for both pedestrians and vehicles. Scott stated that Gateway Planning took public input in one-on-one meetings and implemented the feedback in the characteristic zoning document. Spoke to the variety of zoning areas proposed in Bonanza Park to include: Resort Area, Mixed Use Center, Bonanza Park Residential, Iron Horse and Hillside Residential. Question arose regarding what Form based code would add to Bonanza Park. Scott stated that they will adding character and many additional uses than currently available. He stated that they do not want to wipe out the neighborhood only make it better and by adding some form of residential to all the zones. Bonanza Park currently is a series of mixed uses separated by lot lines. The goal is to create connectivity.

Commissioner Joyce inquired about what this plan will add to the current neighborhood. He feels that Bonanza Park currently has all these zones. Scott stated that the Plan will add character and many others uses. He stated that they do not want to wipe out the neighborhood only make it better and by adding some form of residential to all the zones.

Council member Beerman inquired why they reduced the park and number of roadways from the previous plan . Scott stated that from the beginning it was contingent that the power substation would be removed and now that it is staying this is what they could manage. At some point there is not enough development capacity to be able to secure land for those uses. Beerman inquired how this affects the function. Scott stated that as long as the code states that quasi-public space be mandatory then the goal will be met. Eddington stated that with the addition of pathways and bike paths it creates gathering places. Mayor Thomas confirmed that the pathways will be undulating and moving. Commissioner Whorel inquired if the roadways are on private property. Eddington stated that there will be cases where the roadways will land on private property and the City would take half from each side and would look at the give/get options for the right of way and development. Mayor Thomas is concerned with adding height

along the edge of the neighborhood; he feels we will lose the sense of entry. Scott discussed the policy question of the tradeoff for views vs. use. Council member Peek also commented on the view corridor and stated that the place has been created with the mountains and the sense of community. He also spoke of the Hillside neighborhood as well as Prospector discussing connecting all the areas to create connectivity. Eddington stated that it was done on purpose to coincide with the Prospector Park plan in the future. Council member Simpson stated that she feels that there are pathways in the area that should be reflected. She also would hate to lose the view corridors. Scott stated that they will not be losing all the views but will most likely lose the grand entrance area. Foster inquired about the possibility of creating air space. Scott stated that it would ultimately be a legal analysis to work through a plan like that.

Commissioner Stuard would like to see a second alternative proposing remaining a suburban community with walkability. Scott stated that with this plan they would grandfather in the non-conforming buildings in perpetuity. The nature of the building types are more durable and have a cadence. Stuard suggested internalizing the drive approaches along Park Ave and Deer Valley. Scott stated that under this new code Park Avenue and Deer Valley would remain the same for many years. This will only affect any upcoming changes. Simpson disagreed with Stuard stating that her vision of the goal is to guide the redevelopment. Joyce spoke to an urban community located in Oregon where this plan has worked wonders. Commissioner Campbell stated that he agrees with Mayor Thomas that people are creatures of convenience and this plan could change that. Mayor Thomas clarified that this is not to encourage tear down, this is a shift in form to something more urban, he also felt that they need to look at the visual impact. Council member Matsumoto stated that she likes the form based code. She also likes the idea of the internal entrances with the redevelopment and feels there are key pathways that need to be evolved. She felt that one goal was to get people out of their cars and feels leaving the parking spaces does not meet that goal. Council member Henney agreed with Matsumoto and he is not afraid of urbanization but is afraid of suburbanization. Once again he pointed out this is not redevelopment it is reinventing the businesses. Commissioner Strachan stated that the problem he sees is the transition is decades out and feels that it will cause people to avoid the entire project and feels the only option is to heavily incentivize for current businesses to get on board with the form based code. Matsumoto stated that they need to look at the most important roads and work to develop those first to begin the connectivity.

Scott showed a photo of a before and after photo of a successful form based code project. Discussed common infrastructure and common parking. Campbell inquired who would choose which road to start with. Scott stated that he feels that the economic drive will dictate. Beerman weighed in on the evolution of place and feels that evolution would be 20, 30 even 40 years down the road, feels that we need to get people out of their cars and need to focus on walkability. Commissioner Phillips stated that he does not like parking lots and would rather walk a few blocks to hit 10 businesses rather than walk two blocks between every business. He feels that the modge-podge will be there for years but that could be a positive aspect. He really likes what he sees in the plan proposed.

Mayor Thomas stated that a lot of communities evolve around a spine. He agrees that this is where the density should be as well as the height but they need to be aware of the narrow streets and height of buildings creating shadow. He wants to continue with the walkability aspect connecting not only Bonanza Park but the surrounding areas. Council member Matsumoto spoke to a good example in Sugar House where they created place. Beerman spoke to creating the spine with the transit center as a hub. Scott stated that the proposed plan does create the connectivity and keeps the neighborhood eclectic. Commissioner Whorel inquired when the

Hillside neighborhood would be connected. Eddington stated that it is the next step following finalization of this plan. The consensus was more urban than suburban and would grandfather in the current businesses. Council member Beerman felt they should incentivize for businesses to change sooner rather than later. Council member Peek wants to pursue the view corridor, Commissioner Joyce stated that with the large streets and sidewalks they could create multiple view corridors. Council member Peek stated that would lead to setbacks and height. Scott urged the Council and Commission to be aware that this is creating the toolbox for the designers to apply the code.

Scott spoke to the give-gets for additional height. The policy issue with the give/gets is affordable housing, public/civic space, affordable commercial and TDR's. Discussed the history of the form based code. Scott stated that there are numerous cities that use a type of form based code even though they do not call it form based. Mayor Thomas stated he would like to see variances in height.

Scott reminded the Council and Commission what the tools were discussed in 2013 were affordable housing, TDR's and incentivizing height as well as funding for Open Space.

The Council and Commission discussed the differing opinions on height. Mayor Thomas kicked off the discussion reiterating that he would like to see variety with 1, 2, 3, and 4 story buildings. Also feels that lower stories should be incentivized. Pointed out that his main priority is affordable/attainable housing. The question of downsizing zoning came forth and Harrington spoke to the nuances of down zoning and the legal aspects that the Council would have to look at. The discussion backtracked to the goal of creating density in this area. Council member Peek suggested volume displaced buildings. Scott strongly discouraged volume displacement/Floor Area Ratio. Stated that even if all the buildings are three stories the architect features and roof lines will ensure that they will not all be the same. Council member Simpson and Commissioner Strachan both spoke to funding and timing.

They went around the table to identify priorities in regards to give/gets

Commissioner Whorel stated her priority is protecting view corridors. Commissioner Joyce chose public/civic space. Commissioner Campbell stated that he felt the most important priority was to create a transit center get people out of their cars and keep cars off the streets. Council member Henney agreed with reducing reliance on cars as well as affordable housing. Commissioner Stuard viewed public/civic space as a priority. Council member Peek would like to see the boundary of Bonanza Park moved to the toes of the slopes as well as working with articulation of height. Council member Beerman stated affordable housing and public/civic space are his top two choices. Commissioner Phillips also viewed public/civic space & affordable housing as top priorities along with creating an experience. Council member Matsumoto wants it all! She likes affordable housing, public space, transit etc. Commissioner Strachan agrees with Commissioner Campbell and wants to reduce density all over town (TDR) and put it in the Bonanza Park area. Council member Simpson agrees with Commissioners Strachan, Campbell and Phillips and thinks that creating the experience and the well-designed area will be key. Mayor Thomas reiterated his concern with height, stating he feels that tall buildings are inconsistent with the feel/character of Park City. Also spoke to the population growth and commercial growth.

Commissioner Joyce brought the discussion together speaking to keeping the density in a controlled fashion using the parking lots and underground parking area. Feels there is quite a bit a room for density without putting in skyscrapers.

Mayor Thomas opened the meeting for public input.

Craig Elliot, Elliot Work Group, has been working in this district since the late 90's and has a client that is getting impatient. Feels that form based code has a lot of things that are not Park City and Parkites are not trusting and feels that we are in a destructive mode. Feels that height is relative depending on where you and where you put it. Feels that Kearns and the cemetery area are ok for height, he wants drivers to watch the road when they are coming down the large corridors. Encouraged incentivizing variation. City participation is critical. Also feels the economic impact is also crucial. Feels the regulating character zone plan is very good. Also feels that you need to look into celebrating the power poles due to the lack of cooperation with Rocky Mountain Power. Likes the park in the center stating it creates a nice amenity for the residential area on the other side.

Representative of the Claim Jumper HOA stated they are vested in the project where they have 2 acres. Stated they are committed to staying with this process and they wish to maximize their investment while keeping the feel. Also allowing mix use, permit long term and nightly rentals. Preserve green space. Minimize and mitigate trash and odor. Minimize traffic and construction impacts.

Greg Freedman stated he supports the form based code and feels that the City is on the right track. Spoke to the give and take of height stating he did not understand the incentive for lower height. Also would like to see where the snow storage is scheduled. Also would like to see a plan for the toxic soils. Also is not in favor of nightly rentals but feels it is premature to say no nightly rentals. Fan of the transit hub and would like to see a plan for a multi-transportation hub.

Michael Todd, lives in Hillside, and feels that this meeting was constructive and thoughtful and feels the city is headed in the right direction and would like his neighborhood to be included in the plan.

Mike Sweeney stated he is listening to the discussion tonight recognizing progress and would like to see the progress move more quickly. His personal issue is with the underground parking and the soil ordinance. He suggested looking into more economical solution for mitigating the contaminated soils.

Michael Durrel feels that they will not get the numbers of affordable housing without large heights and feels that they need to look into what is the top priority and look into more gives. Also look at getting people out of their cars. Lastly feels that there are a few primary corridors and would be happy to work with staff to point those out.

With no further comments Mayor Thomas closed the public input.

III. ADJOURNMENT

**Commissioner Joyce moved to adjourn the meeting
Commissioner Campbell seconded
Approved unanimously**