



**PARK CITY PLANNING DEPARTMENT ADMINISTRATIVE HEARINGS MEETING
SUMMIT COUNTY, UTAH
August 12, 2021**

PUBLIC NOTICE IS HEREBY GIVEN that the City Council of Park City, Utah will hold its Planning Department Administrative Hearings at the 445 Marsac Avenue, Park City, Utah 84060 - Planning Department Conference Room for the purposes and at the times as described below on Thursday, August 12, 2021. To participate virtually, follow the public meeting information at www.parkcity.org.

Regular Agenda

1058 Park Avenue - Historic District Design Review - The Applicant Proposes
Constructing a New Single-Family Dwelling in the Historic Residential - Medium District.
PL-21-04897

(A) Public Hearing; (B) Action

[Staff Report](#)

[Exhibit A: Draft Final Action Letter and Standard Conditions of Approval](#)

[Exhibit B: Proposed Plans](#)

A majority of City Council members may meet socially after the meeting. If so, the location will be announced by the Mayor. City business will not be conducted. Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the City Recorder at 435-615-5007 at least 24 hours prior to the meeting. Public comments can be accepted virtually. To comment virtually, use eComment or raise your hand on Zoom. Written comments submitted before or during the meeting will be entered into the public record, but will not be read aloud. For more information on participating virtually and to listen live, please go to www.parkcity.org.

***Parking is available at no charge for Council meeting attendees who park in the China Bridge parking structure.**

Planning Department Staff Report



Subject: 1058 Park Avenue
Application: PL-21-04897
Author: Spencer Cawley, Planner I
Date: August 12, 2021
Type of Item: Administrative—Historic District Design Review

Recommendation

Staff recommends the Planning Director or designee (1) review the proposed plans to construct a Single-Family Dwelling at 1058 Park Avenue, (2) conduct a public hearing, and (3) consider approving the Historic District Design Review based on the Findings of Fact, Conclusions of Law, and Conditions of Approval in the Draft Final Action Letter (Exhibit A).

Description

Applicant: CJG Development III, LLC, represented by Jonathan DeGray
Location: 1058 Park Avenue
Zoning District: Historic Residential – Medium Density
Adjacent Land Uses: Single-Family Dwellings; Multi-Unit Dwellings
Reason for Review: The Planning Department reviews and approves all Historic District Design Review applications associated with a Building Permit to build or modify any Building located within the Historic District.

Acronyms

HDDR Historic District Design Review
HRM Historic Residential – Medium Zoning District
LMC Land Management Code
ROW Right-of-Way

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).

Background

The Applicant is proposing to construct a new Single-Family Dwelling on vacant Parcel B of The Gasparac Plat Amendment. The subject property is located at 1058 Park Avenue. The property is zoned in the Historic Residential – Medium (HRM) District.

The Applicant is proposing to develop two adjacent Lots that have historically been identified by Summit County as one Tax Parcel (SA-357). On May 13, 2021, the City Council adopted [Ordinance No. 2021-22](#), approving the Gasparac Plat Amendment ([Staff Report](#); [Minutes](#), p.12). This Plat Amendment assigned a new address to Park Avenue Lot B, 1058 Park Avenue, and is intended for new infill development. The plat is

going through the final redline process and will soon be recorded with Summit County.

On January 19, 2021, the Applicant submitted a HDDR Pre-Application for a new Single-Family Dwelling. Most recently, Staff took the project to the Design Review Team on July 14, 2021. Although elements of the initial new infill proposal were inconsistent with the Historic District Design Guidelines, the Applicant made changes to the design as outlined by Staff. The Applicant submitted updated plans on July 19, 2021. Staff notified the Applicant that the Application was complete on July 29, 2021, and a HDDR hearing was scheduled and noticed for August 12, 2021.

Analysis

(I) The proposal complies with the Historic Residential – Medium Density (HRM) Zoning District requirements.

The purpose of the Historic Residential – Medium Density (HRM) Zoning District is to encourage new Development that is compatible with the surrounding area, encourage the rehabilitation of existing Historic Structures, and to encourage Development that provides a transition in Use and scale between the Historic District and resort Development.¹ Single-Family Dwellings are an allowed Use in the HRM Zoning District.²

The table below outlines the HRM Zoning District Lot Requirements:³

HRM Zoning Requirements	Analysis of Proposal
Minimum Lot Size, Single Family-Dwelling: 1,875 square feet	5,029 SF Complies
Minimum Lot Width: 37.50 feet	39.59 feet Complies
Front Setback: 15 feet for Lot depths greater than 75 feet	20 feet Complies
Rear Setback: Ten feet (10') for Main Building; One foot (1') for detached Accessory Buildings	Main Building: 30 feet Detached Accessory Building: One foot (1') Complies
Side Setback: Five feet (5')	Five feet (5') Complies
Building Height: 27 feet from Existing Grade	Main Building: 25 feet – 7 3/8 inches Detached Accessory Building: 18 feet Complies
Maximum Building Footprint	1,408.36 SF There is no maximum Building Footprint Requirement in the HRM Zoning District.

¹ LMC [§ 15-2.4-1](#)

² LMC [§15-2.4-2\(A\)\(1\)](#)

³ LMC [§15-2.4-3](#)

Parking Requirements	LMC § 15-3-6 requires two Off Street parking spaces for Single-Family Dwellings. Per LMC § 15-2.4-11(A) Tandem Parking is allowed in the Historic District. The proposed plan provides for two tandem parking spaces in the garage and additional parking in the driveway. Complies
Detached Accessory Building	Detached Accessory Buildings not more than eighteen feet (18') tall and maintaining a minimum Setback of one foot (1') are allowed in the Rear Setbacks. This Structure must not cover over fifty percent (50%) of the Rear Setback. Condition of Approval 23
Lockout Units and Nightly Rentals	Lockout Units are an Allowed Use in the HRM District. Nightly Rental of Lockout Units requires a Conditional Use Permit, ⁴ a Business License, ⁵ and one (1) additional off-street parking spot. ⁶ Condition of Approval 24

(II) The proposal meets the standards of the Design Guidelines for New Residential Infill Construction in Historic Districts.⁷

A. Universal Guidelines	Analysis of Proposal
<p>Universal Guideline No. 1</p> <p>New infill residential buildings shall reflect the historic character—simple building forms, unadorned materials, restrained ornamentation—of Park City’s Historic Sites.</p>	<p>Complies.</p> <p>The proposal reflects historic character of Park City Historic Sites.</p>
<p>Universal Guideline No. 2</p> <p>New infill residential buildings shall not directly imitate existing historic structures in Park City. Roof pitch, shape, and configuration, as well as scale of building elements found on Historic Sites may be duplicated, but building elements such as moldings, cornice details, brackets, and porch supports shall not be directly imitated. Reconstruction of non-surviving historic buildings is allowed.</p>	<p>Complies.</p> <p>The proposal does not directly imitate existing historic structures in Park City.</p>

⁴ LMC [§ 15-2.4-2](#)

⁵ PCMC [§ 4-3-2\(C\)](#)

⁶ LMC [§ 15-3-6 \(A\)](#)

⁷ LMC [§ 15-13-8](#)

<p>Universal Guideline No. 3</p> <p>A style of architecture shall be selected, and all elevations of the new infill residential building shall be designed in a manner consistent with a contemporary interpretation of the chosen selected style. Stylistic elements shall not simply be applied to exteriors. Styles that never appeared in Park City shall be avoided. Styles that radically conflict with the character of Park City’s Historic Sites shall also be avoided. Styles that never appeared in Park City shall be avoided.</p>	<p>Complies.</p> <p>A style of architecture has been selected and all elevations of the proposal are a contemporary interpretation of the chosen selected style.</p>
<p>Universal Guideline No. 4</p> <p>New infill residential buildings shall differentiate from historic structures but be compatible with historic structures in materials, features, size, scale and proportion, and massing to protect the integrity of the Historic District as a whole. The massing of the new infill residential buildings shall be further broken up into volumes that reflect the original massing of historic buildings; larger masses shall be located at the rear of the Lot.</p>	<p>Complies.</p> <p>The proposal differentiates from historic structures but is compatible with materials, features, size, scale, proportion, and massing.</p>
<p>Universal Guideline No. 5</p> <p>Building and site design shall respect the existing topography, the character-defining site features, including existing trees and vegetation, and shall minimize cut, fill, and the use of retaining walls.</p>	<p>Complies.</p> <p>The proposal respects existing topography, character defining site features, and minimizes cut and fill and the use of retaining walls.</p>
<p>Universal Guideline No. 6</p> <p>Exterior elements—roofs, entrances, eaves, chimneys, porches, windows, doors, steps, garages, etc.— of the new infill residential building shall be of human scale and shall be compatible with neighboring Historic Structures.</p>	<p>Complies.</p> <p>The exterior elements are of human scale and compatible with neighboring Historic Structures.</p>
<p>Universal Guideline No. 7</p> <p>Scale and height of new infill residential buildings shall follow the predominant pattern and respect the architecture of the Streetscape or character area with special consideration given to Historic Sites.</p>	<p>Complies.</p> <p>The proposed scale and height follow the predominant pattern and respects the architecture of the Streetscape.</p>

<p>Universal Guideline No. 8</p> <p>Size and mass of a structure shall be compatible with the size of the site so that lot coverage, building bulk, and mass are compatible with Historic Sites within the Streetscape or character area.</p>	<p>Complies.</p> <p>The proposed size and mass of the structure is compatible with the size of the site.</p>
<p>Universal Guideline No. 9</p> <p>New construction activity shall not physically damage nearby Historic Sites.</p>	<p>Condition of Approval 11</p> <p>New construction activity shall not physically damage nearby Historic Sites.</p>
<p>Universal Guideline No. 10</p> <p>New infill residential buildings shall reinforce visual unity within the context of the Streetscape or character area. The specific context of each Streetscape or character area is an important feature of the Historic District.</p> <p>The context of each Streetscape or character area shall be considered in its entirety, as one would see it when standing on the street viewing both sides of the street for the entire length of the Streetscape or character area. Special consideration should be given to adjacent and neighboring Historic Sites in order to reinforce existing rhythms and patterns.</p>	<p>Complies.</p> <p>The proposal reinforces visual unity within the context of the Streetscape.</p>
<p>Universal Guideline No. 11</p> <p>New materials should reflect the character of the Historic District. Sustainable technology is constantly changing resulting in new alternative materials. New alternative materials may be reviewed by the Design Review Team for compliance being judged on the following characteristics:</p> <ul style="list-style-type: none"> • Longevity (50-year lifespan) • Energy performance • Durable in this climate • Environmental benefit (high recycled content, locally sourced) • Compatibility with the character of the Historic District 	<p>Complies.</p> <p>The proposed materials reflect the character of the Historic District.</p>

B. Specific Guidelines	Analysis of Proposal
1. Site Design	
a. Building Setback and Orientation	Complies. The proposed Lot coverage is compatible with the surrounding Historic Sites and the building is located in a way that follows the predominant pattern of the street. The primary entrance is clearly defined and oriented toward the street. The pattern of built and open space is maintained.
b. Topography and Grading	Complies. The original topography of the site has been maintained where feasible. The Building responds to the natural features of the Site.
c. Landscaping and Vegetation	Complies. The landscape plan balances water efficient irrigation methods and drought tolerant and native plant material with the existing plant material on site.
d. Retaining Walls	Complies. The proposed retaining walls are consistent with historic retaining walls in terms of mass, scale, design, materials, and scale of materials.
e. Parking Areas and Driveways	Complies. The new driveway will be twelve feet (12') wide, and two parking spaces are provided.
2. Primary Structures	
a. Mass, Scale, and Height	Complies. The proposed Structure is compatible with surrounding Structures and abides by height restrictions in the HRM Zone. The front Façade is similar in scale to surrounding Structures as viewed from the Park Avenue public Right-of-Way.
b. Foundation	Complies. The proposed foundation materials are simple in form and minimally visible above grade when viewed from the primary public Right-Of- Way.

c. Doors	Complies. The front door is a similar scale to those seen in the Historic District. The other proposed doors are an appropriate scale for the Structure.
d. Windows	Complies. The proposed ratios of solid-to-void are compatible with surrounding historic buildings.
e. Roofs	Complies. The main roof is visually compatible with roof shapes and orientation of surrounding Historic Sites and adjacent Buildings that contribute to the character of the Historic District.
3. Mechanical and Utility Systems and Service Equipment	Complies. All mechanical and utility equipment is located below grade and is not visible from the street.
4. Materials	Complies. The proposed materials on the new build are compatible in scale, proportion, texture, finish, and color to materials used on Historic Structures in the Historic District. The primary siding materials appear like those on historic structures. Building materials are proposed to be applied in a manner similar to that used historically.
5. Paint and Color	Complies. Paint color is not regulated by the Design Guidelines.
6. Garages	Complies. The garage is adjacent to the primary living space and its visual impact is minimized.
a. Garages: General Compatibility	Complies. The Applicant has proposed a 9' x 8' single-car garage door.
7. Balcony and Roof Decks	Complies. The proposed roof decks on the front and rear façades are visually subordinate to the Structure and minimally visible from the primary public Right-of-Way. They are simple in design and compatible with the character of the Historic District.

Department Review

The Design Review Team and Planning Department reviewed this application.

Notice

Staff published notice on the City's website and posted notice to the property on July 29, 2021. Staff mailed courtesy notice to property owners within 100 feet on July 29, 2021. LMC [§ 15-1-21](#).

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

- The Planning Director or designee may approve the HDDR Application,
- The Planning Director or designee may deny the HDDR Application and direct staff to make Findings for the denial; or
- The Planning Director or designee may request additional information and continue the discussion to a date certain.

Exhibits

Exhibit A: Draft Final Action Letter

Exhibit B: Proposed Plans



Planning Department

August 12, 2021

Chris Goff
CJG Development III, LLC
3125 Creek Road
Park City, UT 84098
(713) 293-2682

CC: Jonathan DeGray

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 1058 Park Avenue
Zoning District: Historic Residential—Medium Density
Application: Historic District Design Review
Project Number: PL-21-04897
Action: APPROVED WITH CONDITIONS (See Below)
Date of Final Action: August 12, 2021

Action Taken

Staff reviewed this Historic District Design Review (HDDR) Application for compliance with the Land Management Code (LMC) [Chapter 15-13, Design Guidelines for Historic Districts and Historic Sites](#). Staff reviewed the non-Historic Site in accordance with LMC [§ 15-13-8, Design Guidelines for New Residential Infill Construction in Historic Districts](#), and LMC [Chapter 15-2.4, Historic Residential – Medium \(HRM\) Zoning District](#). On August 12, 2021, the Planning Director designee approved plans for the project located at 1058 Park Avenue subject to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

Findings of Fact

1. The Site is located at 1058 Park Avenue.
2. The Site is located in the Historical Residential – Medium (HRM) Zoning District.
3. The Applicant proposes to construct a new Single-Family Dwelling on a vacant Lot.
4. Staff reviewed 1058 Park Avenue’s HDDR Application for compliance with LMC [Chapter 15-13, Design Guidelines for Historic Districts and Historic Sites](#).
5. The application was reviewed per LMC [§ 15-13-8, Design Guidelines for New Residential Infill Construction in Historic Districts](#) and LMC [Chapter 15-2.4, Historic Residential – Medium \(HRM\) Zoning District](#).



Planning Department

6. Staff published note on the City's website and posted notice to the property on July 29, 2021.
7. Staff mailed courtesy notices to the property owners within 100 feet on July 29, 2021.
8. The Analysis Section of the Staff Report is incorporated herein.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to [Chapter 15-2.4](#), *Historic Residential – Medium (HRM) Zoning District*.
2. The proposal meets the criteria for the *Design Guidelines for New Residential Infill Construction in Historic Districts* outlined in LMC [§ 15-13-8](#).

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved August 12, 2021, by the Planning Department. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. If the Applicant does not obtain a complete building permit within one year of the date of this approval, this HDDR approval will expire unless the Applicant submits a written extension request to the Planning Department prior to the expiration date and the Planning Department approves an extension.
3. The Applicant is responsible for notifying the Planning Department prior to making any changes to the approved plans.
4. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or designee prior construction.
5. Receipt and approval of a Construction Mitigation Plan (CMP) by the Building Department is a precondition to the issuance of any building permit. The CMP shall consider and mitigate the impacts to the existing neighboring structures, and existing infrastructure/streets from the construction. All anticipated road closures shall be described and permitted in advance by the Building Department.
6. The City Engineer shall review and approve all grading, utility installations, public improvements, drainage plans, and flood plain issues for compliance with City and Federal standards, and this is a precondition to building permit issuance.
7. The designer, architect, and/or applicant shall be responsible for coordinating the approved architectural drawings and documents with the approved construction drawings and documents. The overall aesthetics of the approved HDDR architectural plans shall take precedence. Any discrepancies found among these documents that would cause a change in the approved construction drawings shall be reviewed and approved by Planning Staff prior to construction.
8. Residential fire sprinklers are required for all new or renovation construction on this Lot, per requirement of the Chief Building Official.



Planning Department

9. The property is located outside the Park City Landscaping and Maintenance of Soil Cover Ordinance and therefore not regulated by the City for mine related impacts. If the property owner does encounter mine waste or mine was impacted soils, they must handle the material in accordance to State and Federal law.
10. Any areas disturbed during construction surrounding the proposed work shall be brought back to its original state.
11. New construction activity shall not physically damage nearby Historic Sites.
12. New materials should reflect the character of the Historic District.
13. No more than two feet (2') of the foundation shall be visible above Final Grade on the secondary and tertiary facades; No more than eight inches (8") of foundation shall be visible above Final grade on the primary façade.
14. Downspouts shall be located away from architectural features and shall be visually minimized when viewed from the primary public Right-of-Way.
15. All proposed mechanical equipment and hot tubs shall meet all setback requirements per LMC [§ 15-2.4-3](#) and shall be screened. All proposed mechanical equipment, utility systems, and service equipment shall be noted and shown in plan on the construction documents. If the equipment is located on a secondary façade, it shall be placed behind the midpoint of the structure of in a location that is not visible from the primary public Right-of-Way. Ground-level equipment shall be screened using landscape elements such as low fences, low stone walls, or perennial plant materials.
16. No doors or windows may be vinyl or aluminum. All new doors and windows shall be aluminum-clad wood.
17. Synthetic building materials shall not be used unless the materials are made of a minimum of 50% recycled and/or reclaimed material.
18. All exterior wood shall have an opaque rather than transparent finish. When possible, low-VOC (volatile organic compound) paints and finishes shall be used. Rustic, unfinished wood is inappropriate.
19. All exterior lighting, on porches, decks garage doors, entryways, etc. shall be down directed and fully shielded to prevent glare onto adjacent property and public Rights-of-Way and shall comply with the City's outdoor lighting code in LMC [§ 15-5-5\(J\)](#). Final lighting details will be reviewed by the Planning Staff prior to installation.
20. Construction waste should be diverted from the landfill and recycled when possible.
21. To the extent possible, existing Significant Vegetation shall be maintained on Site and protected during construction. When approved by the Planning Department in writing to be removed, the Significant Vegetation shall be replaced with equivalent landscaping in type and size. Multiple trees equivalent in caliper to the size of the removed Significant Vegetation may be considered instead of replacement in kind and size.
22. The new driveway shall not exceed a maximum width of 12 feet.
23. Per LMC [§ 15-2.4-3\(G\)\(6\)](#), the detached Accessory Building shall not cover over 50 percent of the Rear Setback.



Planning Department

- 24. Nightly rental of Lockout Units requires a Conditional Use Permit, a Business License, and one (1) additional off-street parking spot.
- 25. Per LMC [§ 15-2.4-3\(J\)](#), Site plans and Building designs must resolve snow release issues to the satisfaction of the Chief Building Official.
- 26. Project Conditions shall apply (see Attachment 1).

If you have questions or concerns regarding the action taken on your Application or the contents of this Final Action Letter, please contact the project Planner, Spencer Cawley at (435) 615-5065, or spencer.cawley@parkcity.org.

Sincerely,

Rebecca Ward,
Assistant Planning Director

CC: Spencer Cawley, Project Planner

Attachments

Attachment 1: Standard Conditions of Approval

DRAFT

Attachment 1: Standard Conditions of Approval

PARK CITY MUNICIPAL CORPORATION STANDARD PROJECT CONDITIONS

1. The applicant is responsible for compliance with all conditions of approval.
2. The proposed project is approved as indicated on the final approved plans, except as modified by additional conditions imposed by the Planning Commission at the time of the hearing. The proposed project shall be in accordance with all adopted codes and ordinances; including, but not necessarily limited to: the Land Management Code (including Chapter 5, Architectural Review); International Building, Fire and related Codes (including ADA compliance); the Park City Design Standards, Construction Specifications, and Standard Drawings (including any required snow storage easements); and any other standards and regulations adopted by the City Engineer and all boards, commissions, agencies, and officials of the City of Park City.
3. A building permit shall be secured for any new construction or modifications to structures, including interior modifications, authorized by this permit.
4. All construction shall be completed according to the approved plans on which building permits are issued. Approved plans include all site improvements shown on the approved site plan. Site improvements shall include all roads, sidewalks, curbs, gutters, drains, drainage works, grading, walls, landscaping, lighting, planting, paving, paths, trails, public necessity signs (such as required stop signs), and similar improvements, as shown on the set of plans on which final approval and building permits are based.
5. All modifications to plans as specified by conditions of approval and all final design details, such as materials, colors, windows, doors, trim dimensions, and exterior lighting shall be submitted to and approved by the Planning Department, Planning Commission, or Historic Preservation Board prior to issuance of any building permits. Any modifications to approved plans after the issuance of a building permit must be specifically requested and approved by the Planning Department, Planning Commission and/or Historic Preservation Board in writing prior to execution.
6. Final grading, drainage, utility, erosion control and re-vegetation plans shall be reviewed and approved by the City Engineer prior to commencing construction. Limits of disturbance boundaries and fencing shall be reviewed and approved by the Planning, Building, and Engineering Departments. Limits of disturbance fencing shall be installed, inspected, and approved prior to building permit issuance.
7. An existing conditions survey identifying existing grade shall be conducted by the applicant and submitted to the Planning and Building Departments prior to issuance of a footing and foundation permit. This survey shall be used to assist the Planning Department in determining existing grade for measurement of building heights, as defined by the Land Management Code.
8. A Construction Mitigation Plan (CMP), submitted to and approved by the Planning, Building, and Engineering Departments, is required prior to any construction. A CMP shall address the following, including but not necessarily limited to: construction staging, phasing, storage of materials, circulation, parking, lights, signs, dust, noise, hours of operation, re-vegetation of disturbed areas, service and delivery, trash pick-up, re-use of construction materials, and disposal of excavated materials. Construction staging areas shall be clearly defined and placed so as to minimize site disturbance. The CMP shall include a landscape plan for re-vegetation of all areas disturbed during construction, including but not limited to: identification of existing vegetation and replacement of significant vegetation or trees removed during construction.
9. Any removal of existing building materials or features on historic buildings shall be approved and coordinated by the Planning Department according to the LMC, prior to removal.
10. The applicant and/or contractor shall field verify all existing conditions on historic buildings and

match replacement elements and materials according to the approved plans. Any discrepancies found between approved plans, replacement features and existing elements must be reported to the Planning Department for further direction, prior to construction.

11. Final landscape plans, when required, shall be reviewed and approved by the Planning Department prior to issuance of building permits. Landscaping shall be completely installed prior to occupancy, or an acceptable guarantee, in accordance with the Land Management Code, shall be posted in lieu thereof. A landscaping agreement or covenant may be required to ensure landscaping is maintained as per the approved plans.
12. All proposed public improvements, such as streets, curb and gutter, sidewalks, utilities, lighting, trails, etc. are subject to review and approval by the City Engineer in accordance with current Park City Design Standards, Construction Specifications and Standard Drawings. All improvements shall be installed or sufficient guarantees, as determined by the City Engineer, posted prior to occupancy.
13. The Snyderville Basin Water Reclamation District shall review and approve the sewer plans, prior to issuance of any building plans. A Line Extension Agreement with the Snyderville Basin Water Reclamation District shall be signed and executed prior to building permit issuance. Evidence of compliance with the District's fee requirements shall be presented at the time of building permit issuance.
14. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
15. When applicable, access on state highways shall be reviewed and approved by the State Highway Permits Officer. This does not imply that project access locations can be changed without Planning Commission approval.
16. Vesting of all permits and approvals terminates upon the expiration of the approval as defined in the Land Management Code, or upon termination of the permit.
17. No signs, permanent or temporary, may be constructed on a site or building without a sign permit, approved by the Planning and Building Departments. All multi-tenant buildings require an approved Master Sign Plan prior to submitting individual sign permits.
18. All exterior lights must be in conformance with the applicable Lighting section of the Land Management Code. Prior to purchase and installation, it is recommended that exterior lights be reviewed by the Planning Department.

All projects located within the Soils Ordinance Boundary require a Soil Mitigation Plan to be submitted and approved by the Building and Planning departments prior to the issuance of a Building permit.

NEW RESIDENCE

HISTORIC DISTRICT DESIGN REVIEW

1058 PARK AVE. LOT B

1058 PARK AVENUE, PARK CITY, UTAH 84060

CONSULTANTS

LEGEND

	BRICK & STONE		OFFICE
	EARTH		ROOM NAME ROOM NUMBER
	CONCRETE		FLOOR, POINT ELEV.
	CONCRETE MASONRY UNIT		CENTER LINE
	STEEL (LARGE SCALE)		ROUND, DIA.
	RIGID INSULATION		CHANNEL
	ROUGH WOOD		ANGLE
	BLOCKING		DETAIL
	ALUMINUM (LARGE SCALE)		SECTION CUT, DETAIL
	GRAVEL		BUILDING SECTION
	FINISHED WOOD		KEYED NOTES
	BATT OR BLOWN INSULATION		WINDOW TYPE
	PLASTER, SAND, GROUT, MORTAR		DOOR NUMBER
	STEEL (SMALL SCALE)		REVISION
	BITUMINOUS PAVING		INTERIOR WALL ELEV.
	PLYWOOD		WALL TYPE
	GYPSUM BOARD		

CODE ANALYSIS

APPLICABLE CODES
 2015 IRC 2015 IRC
 2018 IPC 2018 IMC
 2017 NEC 2018 IFGC
 2018 IECC 2018 IFC

OCCUPANCY: R2

CONSTRUCTION TYPE: VB
 BUILDING TO BE FIRE SPRINKLED: CONTRACTOR
 TO PROVIDE APPROVALS PRIOR TO
 INSTALLATION.

AREA CALCULATIONS (S/F)	
LIVING AREA	TOTAL
LOWER LEVEL	1701
MAIN LEVEL	1711
TOTAL	3412
GARAGE	282
ACCESSORY LOWER LEVEL	299
ACCESSORY MAIN LEVEL	232
TOTAL	531
PATIO/PORCH AREA	685
LOD/DISTURBED AREA	1625
LOT AREA	5029
ALLOWABLE FOOTPRINT	
PROPOSED FOOTPRINT	1983

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ABBREVIATIONS

AC	AIR CONDITIONING	F.D.	FLOOR DRAIN	PR.	PAIR
ACU.S.T.	ACOUSTICAL	FND	FOUNDATION	R.D.	ROOF DRAIN
ADD.	ADDENDUM	FIN.	FINISH	REG.	REGULAR
ADJ.	ADJUSTABLE	FLR.	FLOOR	R.S.	ROCK/GHSAWN
ALLOW.	ALLOWANCE	FR.	FIRE RATED	RAD.	RADIUS
ALUM.	ALUMINUM	FTG.	FOOTING	REINFC.	REINFORCING
APPROX.	APPROXIMATE	G.	GAS	REQD.	REQUIRED
BD.	BOARD	GL.	GALVANIZED IRON	REV.	REVISED
BU.	BUILT-UP	GA.	GALVE	RM.	ROOM
B.W.	BOTH WAYS	GALV.	GALVANIZED	R.O.	ROUGH OPENING
BLKG.	BUILDING	GRD.	GRADE	S & R	SHELF AND ROD
BLK.	BLOCK	G.W.B.	GYPSUM WALL BOARD	S.C.	SOLID CORE
BRK.	BRICK	GL.B.	GLASS LAM BEAM	SCHED.	SCHEDULE
CL.	CAST IRON	HB.	HOLE	SH.	SHIRT
C.J.	CONTROL JOINT	HD.	HEAD	SIM.	SIMILAR
C.M.U.	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL	SPC.	SPECIFICATION
CLG.	CEILING	HOR.	HORIZONTAL	STD.	STANDARD
COL.	COLUMN	ID.	INSIDE DIAMETER	STL.	STEEL
COMP.	COMPACTED COMPOSITE	INT.	INTERIOR	STRUCT.	STRUCTURAL
CONC.	CONCRETE	IRRIG.	IRRIGATION	SYS.	SYSTEM
CONST.	CONSTRUCTION	INSUL.	INSULATION	T & B	TOP AND BOTTOM
CONTR.	CONTRACTOR	JB.	JAMB	T & G	TONGUE AND GROOVE
CONT.	CONTINUOUS	JNT.	JOINT	T.O.	TOP OF
DF.	DRINKING FOUNTAIN/DOUGLAS FIR	INT.	INTERIOR	T.O.F.	TOP OF FOOTING
DIA.	DIAMETER	M.R.	MOISTURE RESISTANT	T.O.W.	TOP OF WALL
DM.	DIMENSION	MANFR.	MANUFACTURER	TYP.	TYPICAL
DN.	DOWN	MAX.	MAXIMUM	T.S.	STEEL TUBE COLUMN
DWG.	DRAWING	MECH.	MECHANICAL	UN.O.	UNLESS NOTED OTHERWISE
DTL.	DETAIL	MIN.	MINIMUM	VERT.	VERTICAL
EA.	EACH	N.I.C.	NOT IN CONTRACT	V.T.R.	VENT THRU ROOF
EF.	EXHAUST FAN	N.S.	NOT TO SCALE	W.	WOOD
E.F.S.	EXT. INSUL. FINISH SYSTEM	NO.	NUMBER	WD.	WATER
EJ.	EXPANSION JOINT	O.C.	ON CENTER	W.	WITH
ELC.	ELECTRICAL	O.D.	OUTSIDE DIAMETER	WP.	WATERPROOF
ELEV.	ELEVATION	O.E.D.	OVERHEAD DRAIN	W.R.	WATER RESISTANT
EQ.	EQUAL	OPNG.	OPENING	W.H.	WATER HEATER
E.T.	EXPANSION TANK	PL.WD.	PLYWOOD	W.S.	WATER SOFTNER
EXIST. (E)	EXISTING	PNT.	PAINT	W.W.F.	WELDED WIRE FABRIC
EXT.	EXTERIOR	PNTD.	PAINTED	W.W.M.	WOVEN WIRE MESH

GENERAL NOTES

- THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.
- THESE SHEETS - LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR OCCUPANCY AND USE.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
- ANY INSTALLATION, FINISH OR COMPONENT INTENDED TO PROVIDE ENCLOSURE, WEATHER ABILITY OR APPEARANCE QUALITY SHALL BE PRODUCED AS A REPRESENTATIVE SAMPLE PRIOR TO PROCEEDING WITH COMPLETION. WORK PERFORMED WITHOUT WRITTEN APPROVAL OF SUCH SAMPLE BY THE ARCHITECT/ENGINEER SHALL BE DONE AT THE RISK OF THE CONTRACTOR. A MINIMUM OF TWO (2) WORKING DAYS NOTICE SHALL BE GIVEN.
- ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.
- BUILDING DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE 2015 IRC AND AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY PREVENTION DISTRICT SHALL BE ACCOMMODATED BY THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION.
- ALL 2.5 IN. GAS PIPE SYSTEM METER SETS REQUIRES PRIOR APPROVAL FROM QUESTAR GAS COMPANY. PROVIDE A LETTER FROM QUESTAR APPROVING SYSTEM.
- ALL FIELD WELDING OR TORCH WORK, WILL REQUIRE A SEPARATE "HOT WORK" PERMIT PRIOR TO BEGINNING WORK. IFC 105.6.11.
- TOWER CRANES REQUIRE A SEPARATE PERMIT. CONTACT BUILDING DEPARTMENT FOR REQUIREMENTS.
- EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.
- BUILDING SHALL COMPLY WITH THE PROVISIONS IN THE (WU) WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21.

Jonathan DeGray
 Architect

P.O. Box 1074, 614 Main Street, Suite 302, Park City, Utah 84060
 Tel. 435-646-7263, E-mail: deggrayarch@meadcoffee.net

NEW RESIDENCE
 HISTORIC DISTRICT DESIGN REVIEW
 1058 PARK AVE. LOT B
 1058 PARK AVENUE, PARK CITY, UTAH 84060

COVER SHEET

REVISIONS:

DATE: JULY 12, 2021

PROJECT NUMBER: 2106-02

SHEET NUMBER: Aa

1060 PARK AVE

LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,
TOWNSHIP 2 SOUTH, RANGE 4 EAST,
SALT LAKE BASE AND MERIDIAN
LOTS 9 THRU 12, AND A PORTION
OF THE EAST HALF OF BLOCK 55
SNYDER'S ADDITION TO PARK CITY
EXISTING CONDITIONS AND TOPOGRAPHY
SUMMIT COUNTY, UTAH



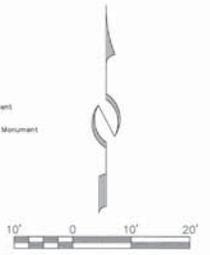
TOWN POINTE CONDOMINIUMS
RECORDED JANUARY 10, 2002
ENTRY NO. 908052

TOWN POINTE CONDOMINIUMS
RECORDED JANUARY 10, 2002
ENTRY NO. 908052

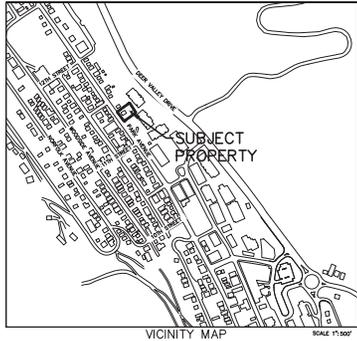
NOTE

1. Refer to Record of Survey S-9753.

- LEGEND**
- Found Monument (As-Noted)
 - Found Street Monument (As-Noted)



<p>(435) 649-9467 CONSULTING ENGINEERS LAND PLANNERS SURVEYORS 223 Main Street, P.O. Box 2084, Park City, Utah 84302-2084</p>	<p>STAFF: CHARLES GALATI RYAN SEITZ JASON WYNNIE CHIP TOMSUDEN TOM LUND</p>	<p>PROPOSED LOT LINE EXHIBIT 1060 PARK AVENUE</p>	<p>SHEET 1 OF 1</p>
	<p>DATE: 6/3/21</p>	<p>FOR: CJG DEVELOPMENT III, LLC JOB NO.: 111-1-21 FILE: X:\SnydersAddition\dwg\svr\svy2019\050319-1060 Park Ave\050319-1060.dwg</p>	



SURVEYORS CERTIFICATE

I, Charles Galati, do hereby certify that I am a Professional Land Surveyor and that I hold License No. 7248891 as prescribed under the laws of the State of Utah. I further certify that by authority of the owner, I have made a survey of the land shown on this plat and described herein, and have combined said land into two (2) lots, hereafter to be known as GASPÀRAC PLAT AMENDMENT and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

LEGAL DESCRIPTION

All of Lots 9, 10, 11, and 12, in Block 55, SNYDERS ADDITION TO PARK CITY, according to the plat thereof on file in the office of the Recorder of Summit County, Utah.
 Also that part of the East 1/2 of Block 55, SNYDERS ADDITION TO PARK CITY, Easterly from Lots 9, 10, 11, and 12, in Block 55 Snyders Addition to Park City, records of Summit County, Utah.

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of the above described tract of land, and hereby causes the same to be subdivided into two lots of record, together with easements as set forth to be hereafter known as GASPÀRAC PLAT AMENDMENT and does hereby dedicate for the perpetual use of the public the areas shown on this plat as intended for public use. The undersigned owner also hereby conveys to any and all public utility companies a perpetual, non-exclusive easement over any public utility easements shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities. The undersigned owner also hereby conveys any other easements as shown on this plat to the parties indicated and for the purposes shown hereon.

In witness whereof, the undersigned set his hand this ____ day of _____ 2021.
 C/JG Development III, LLC, a Utah limited liability company

By: Christopher J. Goff, Manager

ACKNOWLEDGMENT

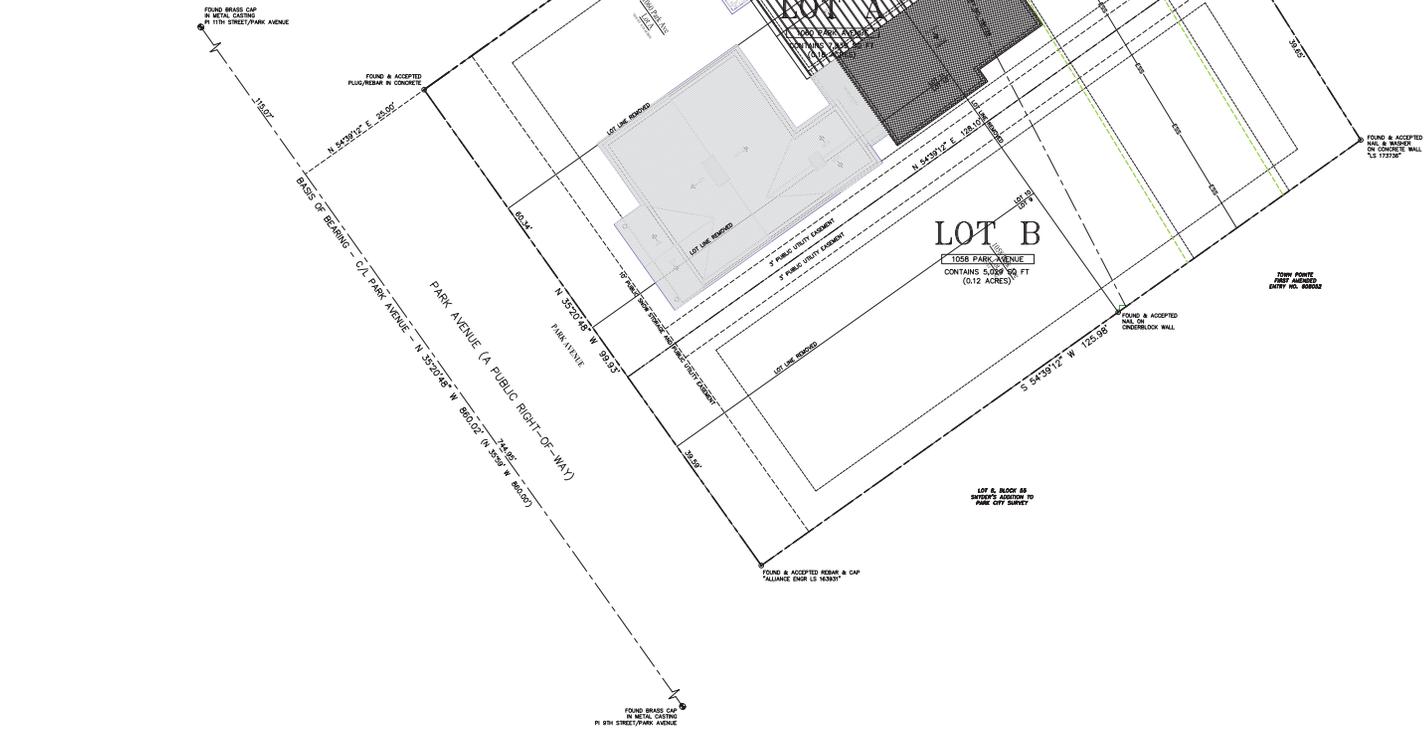
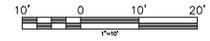
STATE OF _____)
) ss.
 COUNTY OF _____)

On this ____ day of _____, 2021, Christopher J. Goff personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that he is the Manager of C/JG DEVELOPMENT III, LLC, a Utah limited liability company, and that said document was signed by him on behalf of said limited liability company by authority of its Operating Agreement or Resolution of its Members, and he acknowledged to me that he executed the GASPÀRAC PLAT AMENDMENT.

By: Notary Public _____
 Printed Name _____
 Residing In: _____
 My commission expires: _____
 Commission No. _____

NOTES

1. This plat amendment is subject to the Conditions of Approval in Ordinance 2021-22.
2. See Record of Survey S-9753.
3. The applicant shall provide two on-site parking spaces for each lot.

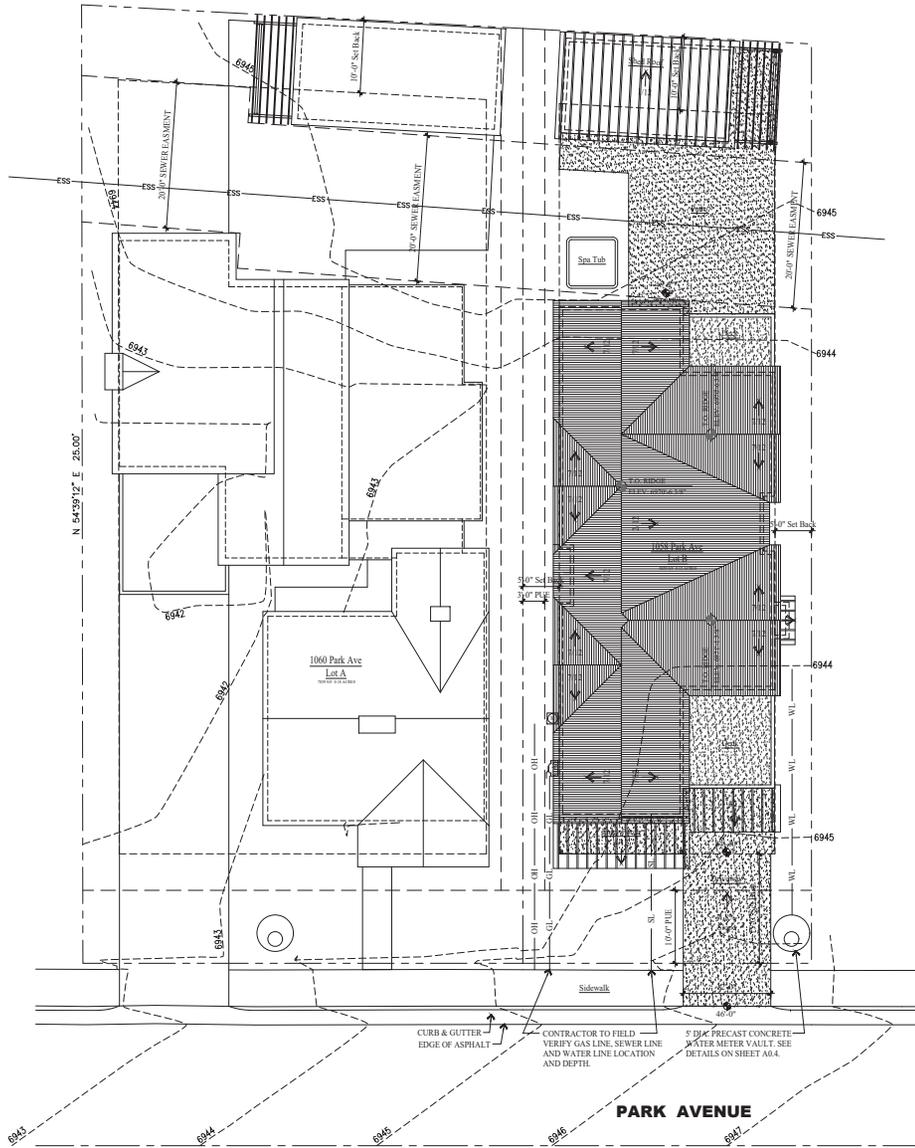


GASPÀRAC PLAT AMENDMENT

LOCATED IN THE NORTHEAST QUARTER OF SECTION 16
 TOWNSHIP 2 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN
 PARK CITY, SUMMIT COUNTY, UTAH

Allynce
 CONSULTING ENGINEERS LAND PLANNERS SURVEYORS
 323 Main Street P.O. Box 2664 Park City, Utah 84060-2664
 (435) 649-9447

SNYDERVILLE BASIN WATER RECLAMATION DISTRICT REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS _____ DAY OF _____, 2021 BY _____ ENGINEERING DEPARTMENT	PLANNING COMMISSION RECOMMENDED BY THE PARK CITY PLANNING COMMISSION THIS 28TH DAY OF APRIL, 2021 BY _____ CHAIR	ENGINEER'S CERTIFICATE I FIND THIS PLAT TO BE IN ACCORDANCE WITH INFORMATION ON FILE IN MY OFFICE THIS _____ DAY OF _____, 2021 BY _____ PARK CITY ENGINEER	APPROVAL AS TO FORM APPROVED AS TO FORM THIS _____ DAY OF _____, 2021 BY _____ PARK CITY ATTORNEY	COUNCIL APPROVAL AND ACCEPTANCE APPROVAL AND ACCEPTANCE BY THE PARK CITY COUNCIL THIS 13TH DAY OF MAY, 2021 BY _____ MAYOR	CERTIFICATE OF ATTEST I CERTIFY THIS PLAT WAS APPROVED BY PARK CITY COUNCIL THIS _____ DAY OF _____, 2021 BY _____ PARK CITY RECORDER	PUBLIC SAFETY ANSWERING POINT APPROVAL APPROVED THIS _____ DAY OF _____, 2021 BY _____ SUMMIT COUNTY GIS COORDINATOR	RECORDED STATE OF UTAH, COUNTY OF SUMMIT, AND FILED AT THE REQUEST OF _____ FEE _____ RECORDER _____ TIME _____ DATE _____ ENTRY NO. _____
							SHEET 1 OF 1 4/11/21 JOB NO.: 11-1-21 FILE: X:\SnydersAddition.dwg\svr\plat2021\110121.dwg



GENERAL NOTES

SITE PLAN NOTES:
 1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR AN APPROVED DRAINAGE COURSE BUT NOT ONTO THE NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. -IRC R401.3

STABILIZATION CONSTRUCTION ENTRANCE:
 FOR A MINIMUM OF 50' FROM ROADWAY, A FILTER FABRIC SHALL BE INSTALLED OVER A COMPACTED SUBGRADE. A 4" LAYER OF 1/2" AGGREGATE SHALL BE PLACED OVER THIS MEMBRANE. DAILY INSPECTION FOR SEDIMENT BUILD UP AND/OR LOSS OF GRAVEL WILL BE ENFORCED, AND REMEDIATED AT ONCE.

GRADING NOTES:
 1. DRAINAGE TO COMPLY WITH IRC CHAPTER 4.
 2. MAXIMUM ALTERED SLOPES AT 2:1.
 3. MINIMUM SLOPE FOR DRAINAGE - 2%.
 4. DRAIN AWAY FROM BUILDING.
 5. CONTAIN DRAINAGE ON PROPERTY.
 6. BOLLIDER RETAINING WALLS NOT TO EXCEED 4'-0" EXPOSED HEIGHT.
 7. EXCAVATION NOT TO EXCEED 2:1 SLOPE WITH OUT A SOILS REPORT.

UTILITY NOTES:
 1. ALL UTILITY LINES TO BE UNDERGROUND.
 2. ABOVE GRADE UTILITY BOX TO BE IN SCREENED LOCATION.

SNOW REMOVAL:
 SNOW PLOWED FROM DRIVE SHALL NOT BE PUSHED ONTO THE STREET.

LEGEND

- WATER SERVICE LID
- UTILITY POLE
- SEWER MANHOLE
- ELECTRIC METER BOX
- GAS METER
- STORM DRAIN MANHOLE
- SEWER CLEAN OUT
- WATER VALVE
- ROAD SIGNAGE
- LOD FENCE
- SURFACE DRAINAGE FLOW
- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- WATER LINE
- SEWER LINE
- GAS LINE
- OVERHEAD ELECTRICAL LINE
- FOUNDATION DRAIN LINE
- FIRE HYDRANT

NOTE:
 1. SWPPP SIGN AND SWPPP DOCUMENT MUST BE ON SITE DURING CONSTRUCTION.
 2. DOWNSTREAM SEDIMENT TRAPS NEED TO EXTEND 10' BOTH SIDES FOR ANGLE TO PREVENT OFFSITE DEPOSITION. FIELD VERIFY.

LOD DISTURBED AREA: 5F

REVISIONS:

DATE: JULY 12, 2021

PROJECT NUMBER: 2106-02

SHEET NUMBER: A0.1



ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"

Jonathan DeGray
 Architect
 P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060
 Tel: 435-687-7923, E-mail: jongrayarch@jongrayarch.com

NEW RESIDENCE
 HISTORIC DISTRICT DESIGN REVIEW
 1058 PARK AVE. LOT B
 1058 PARK AVENUE, PARK CITY, UTAH 84060

ARCHITECTURAL SITE PLAN

THE GRAPHIC MATERIAL AND INFORMATION ON THIS SHEET ARE INSTRUMENTS OF SERVICE, AND IRREVOCABLE AND EXCLUSIVE PROPERTY OF JONATHAN DEGRAY ARCHITECT P.C. REPRODUCTION OR USE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JONATHAN DEGRAY ARCHITECT P.C. ANY PARTY REPRODUCING OR USING THE GRAPHIC MATERIAL AND INFORMATION ON THIS SHEET WITHOUT THE WRITTEN CONSENT OF JONATHAN DEGRAY ARCHITECT P.C. WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

NOTE:
THE LANDSCAPING SHALL HAVE AN IRRIGATION SYSTEM WITH A WATER SENSE LABELED SMART IRRIGATION CONTROLLER. PER LMC 15-5-5 (N).

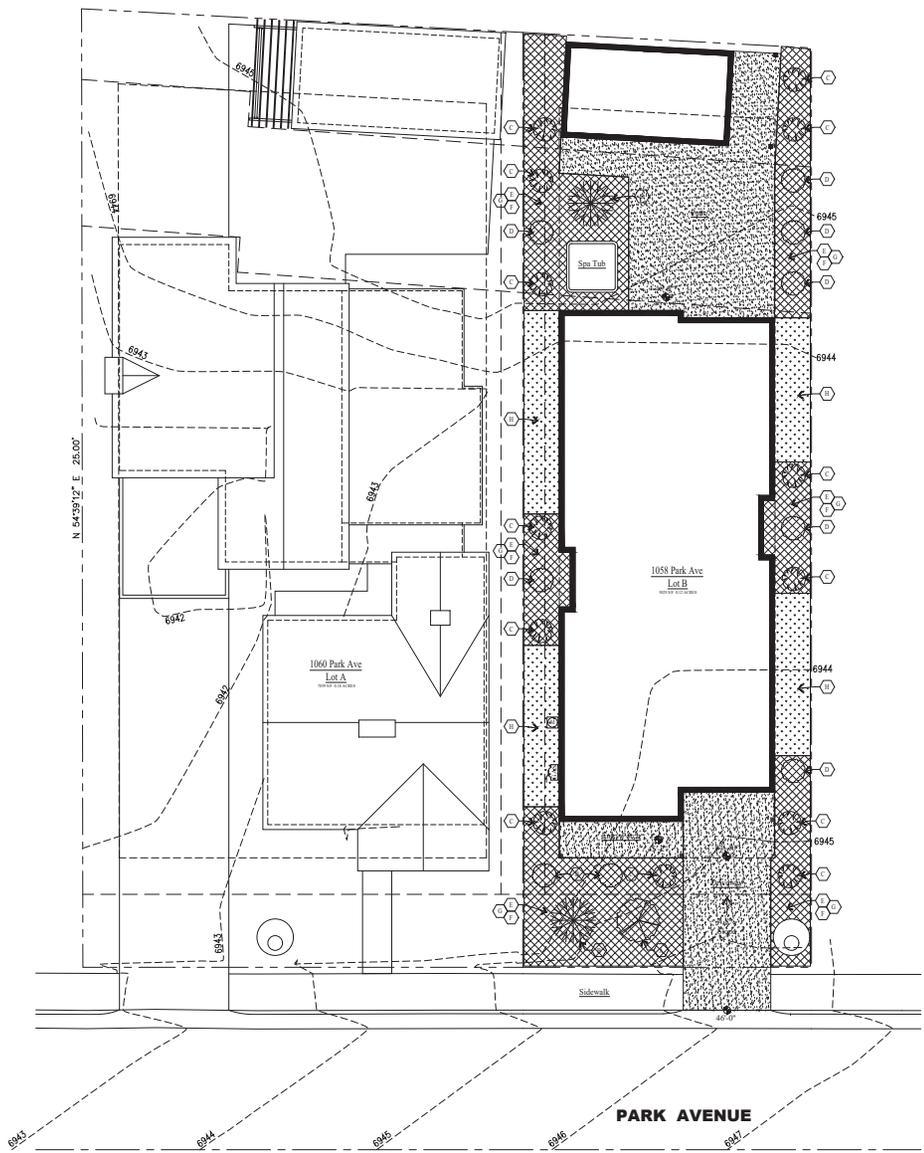
PLANT SCHEDULE

SYMBOL	KEY	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	COMMENTS
DECIDUOUS TREES							
	1	1	Rocky Mtn. Maple	Acer glabrum	3" Dia.	3'-8"	
	2	2	Aspen	Populus tremuloides	3" Dia.	6'-10"	
SHRUBS							
	13	13	Red twig dogwood	Cornus sericea "Baileyi"	5 Gal.		Spacing as noted on plan
	9	9	Red Chokeberry	Aronia arbutifolia	5 Gal.		Spacing as noted on plan
GROUND COVER AND HYDROSEEDING							
	30	30	Mountain Lover	Pachistima Myrsinites	4" Pots	12" x 18"	Distribute Equally
	30	30	Creeping Mahonia	Mahonia Repens	1 Gal.	12" x 18"	Distribute Equally
	1175 S/F		Wood Chips		Small		3" Thick Layer
	450 S/F		Native Grass Seed Mix		1 Bb/1500	Hydroseeded	See seed mix below

NATIVE GRASS SEED MIX
The seed mix shall be utilized in areas specified for native grasses. This mixture shall be applied at a sufficient rate so that germination and subsequent coverage reaches 80% in a representative 10' x 10' area. If coverage does not reach 80% reseeded mix occur. Apply at a rate of 80 lbs./acre on the following percentages:
20% Crested Wheatgrass, 10% Stolonch Wheatgrass, 20% Pubescent Wheatgrass, 15% Perennial Ryegrass, 15% Mountain Bromegrass, 10% Indian Ryegrass, 10% Alpine Bluegrass.
* In addition, add 10 lbs./acre each of Limn. Lewisii and Penstemon. Etonium with native grass seed mixture.

PLANTING NOTES

- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF EXCAVATION OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS RESPONSIBILITY.
- ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMANS STANDARD SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES. IN CASE OF A DISCREPANCY, THE ILLUSTRATED LOCATIONS SHALL DICATE COUNT.
- CONTRACTOR SHALL COORDINATE ALL PLANTING WITH IRRIGATION CONTRACTOR, AS NEEDED.
- IN THE EVENT OF A DISCREPANCY NOTIFY THE ARCHITECT OR OWNER IMMEDIATELY.
- NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT OR OWNER.
- SHRUB BEDS SHALL RECEIVE 6" OF TOPSOIL.
- ALL SHRUB BEDS SHALL HAVE 3" OF DECOMPOSED BARK MULCH INSTALLED.
- SHRUB BED EDGING SHALL BE PRESSURE TREATED WOOD OR "TREN" EDGING. IT SHALL SEPARATE ALL SHRUB BEDS FROM NATIVE GRASS LOCATIONS.
- ALL PLANTS AND ALL PLANT STAKES SHALL BE SET PLUMB.
- ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING AND PROPERLY DISCARDED.
- NO BARE ROOT STOCK SHALL BE USED.



BUILDING SHALL COMPLY WITH THE PROVISIONS IN THE (WU) WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11-21.

1. Section 603.5 is added and shall read as follows:
- 603.5 Home Ignition Zone.**
- 603.5.1 Purpose.** All structures must meet the following wildfire preparation requirements in regards to vegetation:
- 603.5.2 Ignition Zones.** Areas around the structure shall be classified as Immediate (0-5 feet from the structure), Intermediate (5 to 30 feet from the structure), and Extended (30 to 100 feet from the structure).
- 603.5.2.1 Immediate Ignition Zone.** The Immediate Ignition Zone shall extend from zero (0) to five (5) feet from the structure, any overhang, or deck attached to the structure and shall meet the following requirements:
- All dead and dying vegetation must be removed from within five (5) feet of the structure.
 - All vegetation must be on the approved list (Refer to Municipal Code Section 14-1-5).
 - All trees must be trimmed so as to be no closer than 10 feet from an active wood burning chimney. Distance from natural gas direct vent shall follow manufacturer recommendations.
- 603.5.2.2 Intermediate Ignition Zone.** The Intermediate Ignition Zone shall extend from the edge of the Immediate Ignition Zone to a distance not to exceed 30 feet from the ground below the canopy of the tree. It shall include an area outside the established LOD and shall meet the following requirements:
- All vegetation in this zone must be on the approved list. See Municipal Code Section 14-1-5 (Also see 2006 Utah Wildland Urban Interface Code Appendix B).
 - All dead and dying vegetation shall be removed.
 - Grasses must be kept to a maximum of 4 inches in height above ground.
 - Vegetation under trees shall be removed so as to preclude the ladder effect of a ground fire from spreading into the tree crown.
 - Trees taller than 10 feet and less than 15 feet must have all branches removed from within four (4) feet of the ground as measured from the highest point of the ground below the canopy of the tree.
 - Trees greater than 15 feet must have all branches removed from within six (6) feet of the ground as measured from the highest point of the ground below the canopy of the tree.
 - Trees and shrubs must be clustered with the canopies of the clusters being no closer than 10 feet to the next closest cluster.
 - No single tree cluster shall exceed five (5) trees or cover more than 15% of the Intermediate Ignition Zone, whichever is lesser.
- Exception: Structures meeting all of the requirements labeled in sub-section C items 1 through 4 and at least 1 of the items labeled 5 through 9 listed in Section 603.4 are not required to meet items 5 through 9 above. Notwithstanding any exception, all landscaping in the Intermediate Ignition Zone must be such that a ground fire is not likely to spread into the tree canopy.
- 603.5.2.3 Extended Ignition Zone.** The Extended Ignition Zone shall extend from the edge of the Intermediate Ignition Zone to a distance not to exceed 100 feet, which may include an area outside of the established LOD, and shall meet the following requirements:
- All dead and dying vegetation shall be removed.
 - Small conifers growing between trees may be removed in the context of clumping, clustering, and thinning, in accordance with Section 603.4.
 - Trees greater than 15 feet must have all branches removed from within six (6) feet of the ground as measured from the highest point of the ground below the canopy of the tree.
 - Trees and shrubs must be clustered with the canopies of the clusters being no closer than 12 feet to the next closest cluster.
 - No single tree cluster shall exceed 5 trees or cover more than 25% of the Intermediate Ignition Zone, whichever is lesser.
- Exception: Structures meeting all of the items listed in Section 603.4 are not required to meet items 3 through 5 above. Notwithstanding any exception, all landscaping in the Extended Ignition Zone must be such that a ground fire is not likely to spread into the tree canopy.

LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

Jonathan DeGray
Architect
P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060
Tel: 435-686-7923, E-mail: jongrayarch@verizon.net

NEW RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW
1058 PARK AVE, LOT B
1058 PARK AVENUE, PARK CITY, UTAH 84060

LANDSCAPE PLAN

REVISIONS:

DATE:

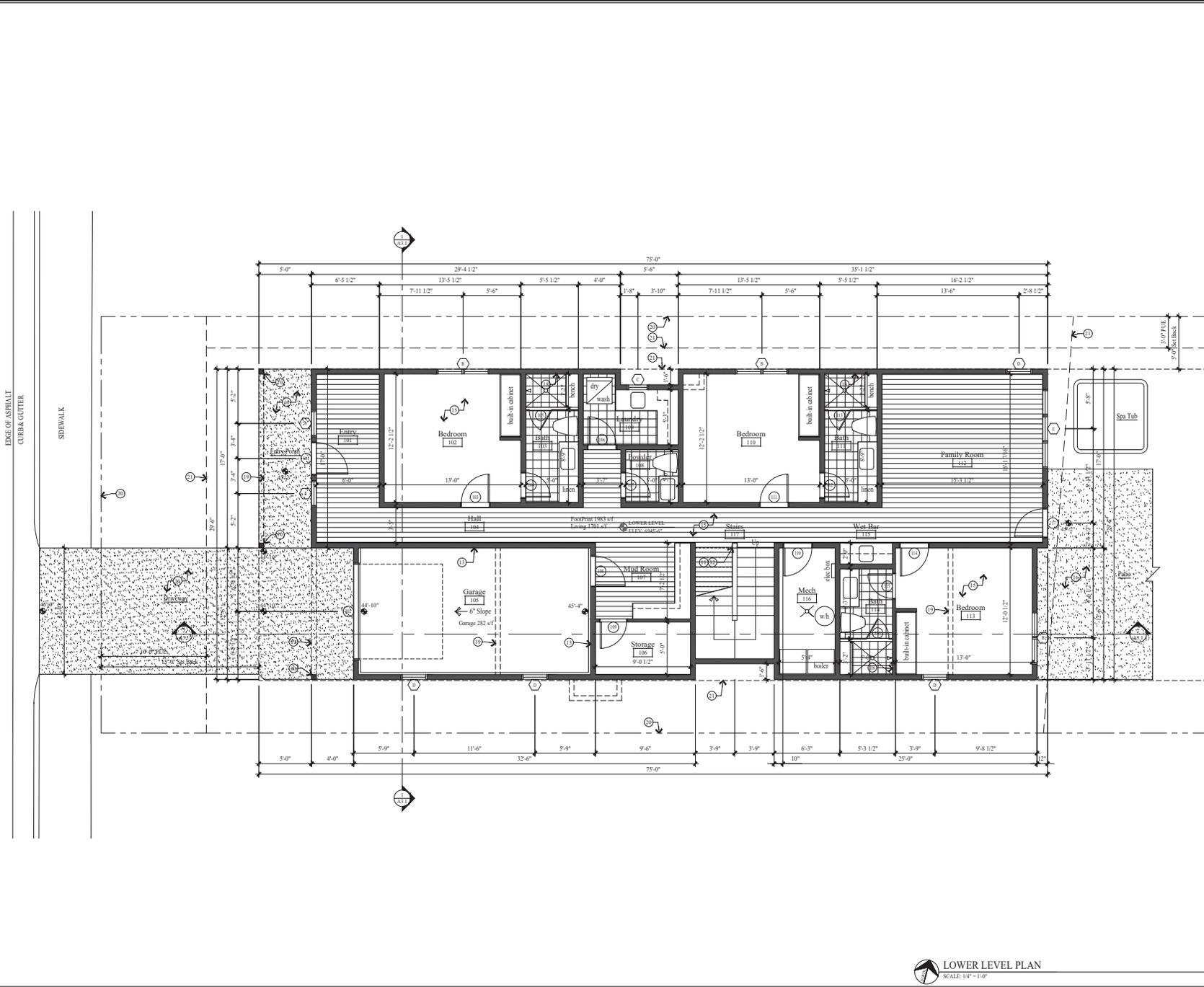
PROJECT NUMBER:

2106-02

SHEET NUMBER:

A0.2

THE GRAPHIC MATERIAL AND DIMENSIONS ON THIS SHEET ARE INSTRUMENTS OF SERVICE AND INTEND TO BE USED IN ACCORDANCE WITH THE PROFESSIONAL ARCHITECT'S LICENSE. ANY REPRODUCTION OR USE OF THIS MATERIAL AND DIMENSIONS WITHOUT THE WRITTEN CONSENT OF JONATHAN DE GRAY ARCHITECT, P.C. IS STRICTLY PROHIBITED.



GENERAL NOTES

- EXISTING MASONRY WALL
 - NEW CONCRETE WALL
 - NEW 2x FRAMED WALL
 - INDICATES EXISTING
 - INDICATES NEW
1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
 2. EXTERIOR WALLS TO BE 2x6 FRAMING W/ RIB INSULATION R-21. TYP. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U-G.I. W/ RIB INSULATION R-15. TYP. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U-G.I. W/ RIB INSULATION R-13. TYP. ALL FLOOR JOIST TO BE 9 1/2" TJI FRAMING U-G.I. W/ RIB INSULATION R-39. TYP. ALL ROOF JOIST TO BE 9 1/2" TJI FRAMING U-G.I. W/ RIB INSULATION R-39. TYP.
 3. FIRE SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE. ANTI-REEZE WILL NO LONGER BE ALLOWED IN FIRE SPRINKLER SYSTEMS.
 4. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N1102.4.1 - N1102.4.4.
 5. HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER ILMC 11-21, H 8014

KEY NOTES

1. CLASS A MIN. REFLECTIVE STANDING SEAM METAL ROOF. METAL ROOF TO BE ICC-ES APPROVED ON ICE AND WATER MEMBRANE ON 5/8" EXTERIOR SHEATHING ON ROOF JOIST. SEE STRUCTURAL FOR SIZE AND SPACING. ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER ILMC 11-21, H 8014.
2. ARCHITECTURAL GRADE COMPOSITION SHALL BE 80% YEAR PRESIDENTIAL LOESS PER SQUARE METER ON 4x4 AND WATER MEMBRANE ON 5/8" EXTERIOR SHEATHING ON ROOF JOIST. SEE STRUCTURAL FOR SIZE AND SPACING.
3. COMPOSITE RIDGE VENT, COBRA OR EQUAL. METAL RIDGE VENT ON METAL ROOF.
4. METAL CHIMNEY PIPE.
5. SNOW RETENTION BARS, 5 x 5 GARD 2.0 OR EQUAL AND BYLON SNOWMELT SYSTEM AT ALL EAVES AND VALLEYS. TYP.
6. GUTTERS AND DOWNSPOUTS TO THE INTO EXISTING FRENCH DRAIN.
7. HATCHED AREA INDICATES ROOF OVER-BUILD SEE STRUCTURAL FOR DETAILS.
8. HEATED WATERPROOF DECK. REINFORCED CONCRETE ON STEEL COMPOSITE DECK. SEE STRUCTURAL FOR SIZE AND SPACING.
9. POLYCAST TRENCH DRAIN SYSTEM OR EQUAL. LE INTO GRAVEL SLUMP.
10. 4x4 TRUSS COLUMNS. PAINT STAIN.
11. 3x4 HIGH RAILING. 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. W/ 3/8" DIA. STEEL CABLE. HORIZONTAL. SPACES LESS THAN 4" THROUGH 5/8" 5" VERTICAL TUBE STEEL POSTS.
12. FOR TYPICAL STAIRWAY, HANDRAILING AND CHAIR RAILING NOTES & DETAILS ON SEE SHEET A5.1.
13. 5/8" TYPE "C" ON GARAGE CEILING AND WALL. SEPARATING THE GARAGE AND LIVING SPACE.
14. HEATILATOR "RAVE 42" DIRECT VENT. FIREPLACE. FRAME ON 4" PLATFORM. SEALED GAS APPLANCE APPROVED FOR SLEEPING AREAS. ANSI Z21.88-2019.
15. 4" REINFORCED CONCRETE SLAB W/ HYDRONIC HEATING ON 2" RIBB INSULATION (CONTINUOUS) ON 4 MIL POLYETHYLENE VAPOR BARRIER JOINTS TO LAP 6" MIN) ON 4" GRAVEL BASE. CLEANED & GRADED.
16. 4" REINFORCED CONCRETE PATIO / PORCH / WALKWAY / DRIVEWAY ON 4" GRAVEL BASE.
17. 1/2" CIP CONCRETE W/ HYDRONIC HEATING ON 3/4" PLYWOOD ON FLOOR JOIST. SEE STRUCTURAL FOR SIZE AND SPACING.
18. TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER CEMENT OR GLASS MAT GYP. BACKER.
19. DASHED LINES INDICATES WALL BEAM ABOVE PROPERTY LINE.
20. SET BACK / EASMENT LINE.
21. HEATILATOR "RAVE 42" DIRECT VENT. FIREPLACE. FRAME ON 4" PLATFORM. SEALED GAS APPLANCE APPROVED FOR SLEEPING AREAS. ANSI Z21.88-2019.
22. 2x4 HIGH GARD WALL. W/ 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. FOR EXTERIOR SIDING. SEE ELEVATIONS FOR TYPE.

LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"

Jonathan DeGray
Architect

NEW RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW
1058 PARK AVE. LOT B
1058 PARK AVENUE, PARK CITY, UTAH 84060

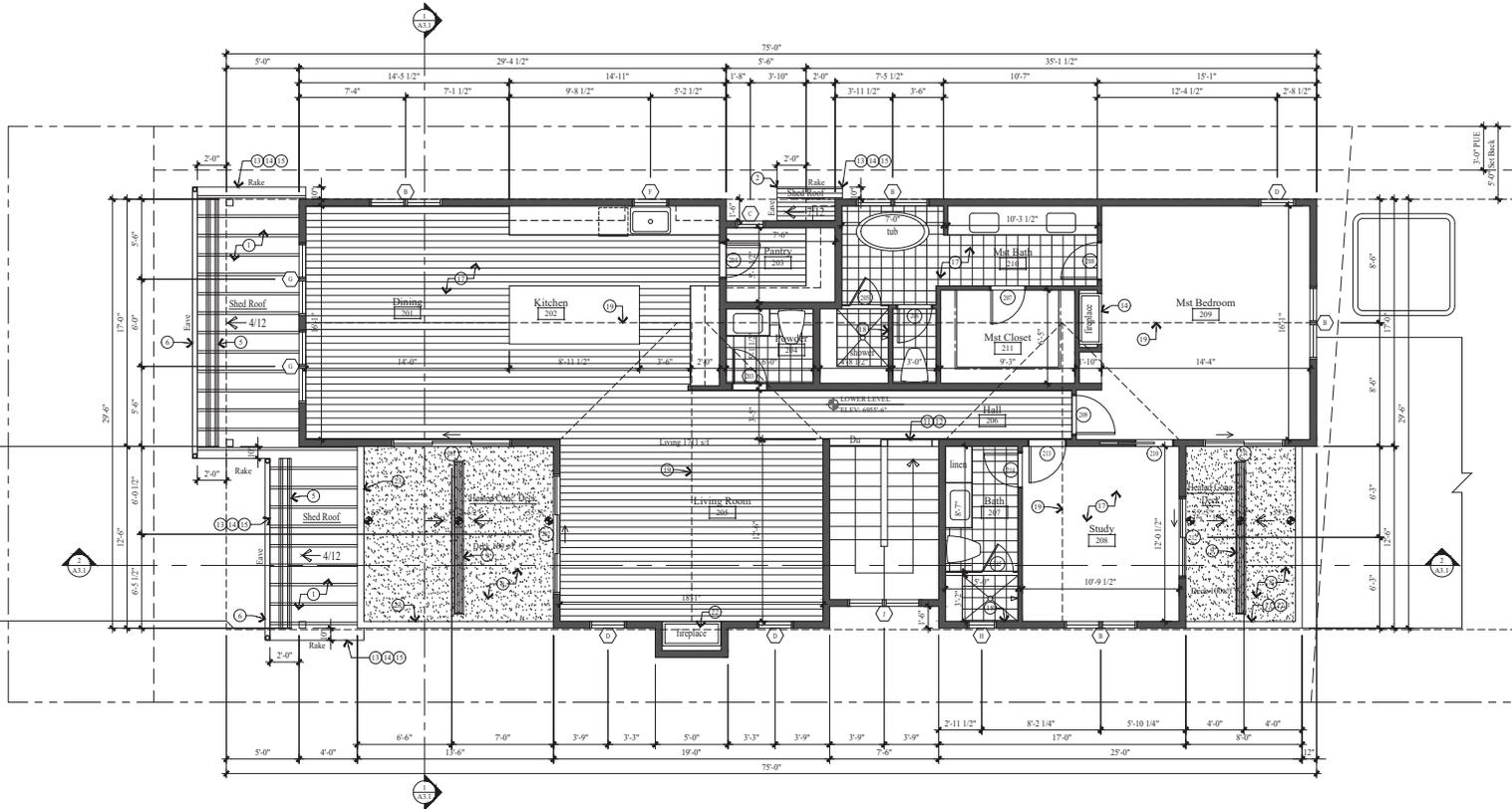
LOWER LEVEL PLAN

DATE: JULY 12, 2021

PROJECT NUMBER: 2106-02

SHEET NUMBER: A1.1

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GENERAL NOTES

- EXISTING MASONRY WALL
 - NEW CONCRETE WALL
 - NEW 3/4" FRAMED WALL
 - (E) INDICATES EXISTING
 - (N) INDICATES NEW
1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
 2. EXTERIOR WALLS TO BE 2x6 FRAMING W/ RIB INSULATION R-21. TYP. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.G.A. W/ RIB INSULATION R-15. TYP. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING, U.G.A. W/ RIB INSULATION R-31. TYP. ALL FLOOR JOIST TO BE 9 1/2" TJI FRAMING U.G.A. W/ RIB INSULATION R-39. TYP. ALL ROOF JOIST TO BE 9 1/2" TJI FRAMING U.G.A. W/ RIB INSULATION R-39. TYP.
 3. FIRE SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE. ANTI-REEZE WILL NO LONGER BE ALLOWED IN FIRE SPRINKLER SYSTEMS.
 4. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N1102.4.1 - N1102.4.4.
 5. HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER I.M.C. 11-21.H.003.4

KEY NOTES

1. CLASS A MIN REFLECTIVE STANDING SEAM METAL ROOF. METAL ROOF TO BE ICES APPROVED ON ICE AND WATER MEMBRANE ON 5" EXTERIOR SHEATHING ON ROOF JOIST. SEE STRUCTURAL FOR SIZE AND SPACING. ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER I.M.C. 11-21.H.003.4.
2. ARCHITECTURAL GRADE COMPOSITION SHINGLES 5 YEAR PRESIDENTIAL CLASS PER SQUARE. MEN ON KE AND WATER MEMBRANE ON 5" EXTERIOR SHEATHING ON ROOF JOIST. SEE STRUCTURAL FOR SIZE AND SPACING.
3. COMPOSITE RIDGE VENT, COBRA OR EQUAL. METAL RIDGE VENT ON METAL ROOF.
4. METAL CHIMNEY PIPE.
5. SNOW RETENTION BARS, 5 x 5 x 2.0 OR EQUAL AND DYLEN SNOWMELT SYSTEM AT ALL EAVES AND VALLIES. TYP.
6. GUTTERS AND DOWNSPOUTS TO BE INTO EXISTING FRENCH DRAIN.
7. HATCHED AREA INDICATES ROOF OVER-BUILD. SEE STRUCTURAL FOR DETAILS.
8. HEATED WATERPROOF DECK. REINFORCED CONCRETE ON STEEL COMPOSITE DECK. SEE STRUCTURAL FOR SIZE AND SPACING.
9. POLYCAST TRENCH DRAIN SYSTEM OR EQUAL. TIE INTO GRAVEL SLUMP.
10. 6x6 TRIMMER COLUMNS. PAINT STAIN.
11. 3x6" HIGH RAILING. 2x4 SHAPED HARDWOOD CONTINUOUS TOP CAP. W/ 3/8" DIA. STEEL CABLE. HORIZONTAL. SPACES LESS THAN 4" THROUGH 5'x5" VERTICAL TIE STEEL POSTS.
12. FLOOR TYPICAL STAIRWAY, HANDRAILING AND CHAIR RAILING NOTES & DETAILS ON SEE SHEET A5.1.
13. 5/8" TYPE "C" ON GARAGE CEILING AND WALL. SEPARATING THE GARAGE AND LIVING SPACE.
14. HEATILATOR "RAVE 42" DIRECT VENT. FIREPLACE. FRAME ON 1/2" PLATFORM. SEALED GAS APPLANCE. APPROVED FOR SLEEPING AREAS. ANS I Z21.88-2019.
15. 4" REINFORCED CONCRETE SLAB W/ HYDRALINE HEATING ON 1" RIB INSULATION (CONTINUOUS) ON 4" MIL POLYETHYLENE VAPOR RETARDER JOINTS TO LAP 6" MIN / ON 4" GRAVEL BASE CLEANED & GRADED.
16. 4" REINFORCED CONCRETE PATIO / PORCH / WALKWAY / DRIVEWAY ON 4" GRAVEL BASE.
17. 1 1/2" C/P CONCRETE W/ HYDRALINE HEATING ON 3/4" PLYWOOD ON FLOOR JOIST. SEE STRUCTURAL FOR SIZE AND SPACING.
18. TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, TUBS CEMENT OR GLASS MAT GYP. BACKER.
19. DASHED LINES INDICATES WALL BEAM ABOVE PROPERTY LINE.
20. SET BACK / EASMENT LINE.
21. HEATILATOR "RAVE 436-C" DIRECT VENT. FIREPLACE. FRAME ON 1/2" PLATFORM. SEALED GAS APPLANCE APPROVED FOR SLEEPING AREAS. ANS I Z21.88-2019.
22. 2x4" HIGH GROUND WALL. W/ 2x4 SHAPED HARDWOOD CONTINUOUS TOP CAP. FOR EXTERIOR SIDING. SEE ELEVATIONS FOR TYPE.

MAIN LEVEL PLAN AND LOW ROOF PLAN
SCALE: 1/8" = 1'-0"

Jonathan DeGray
Architect

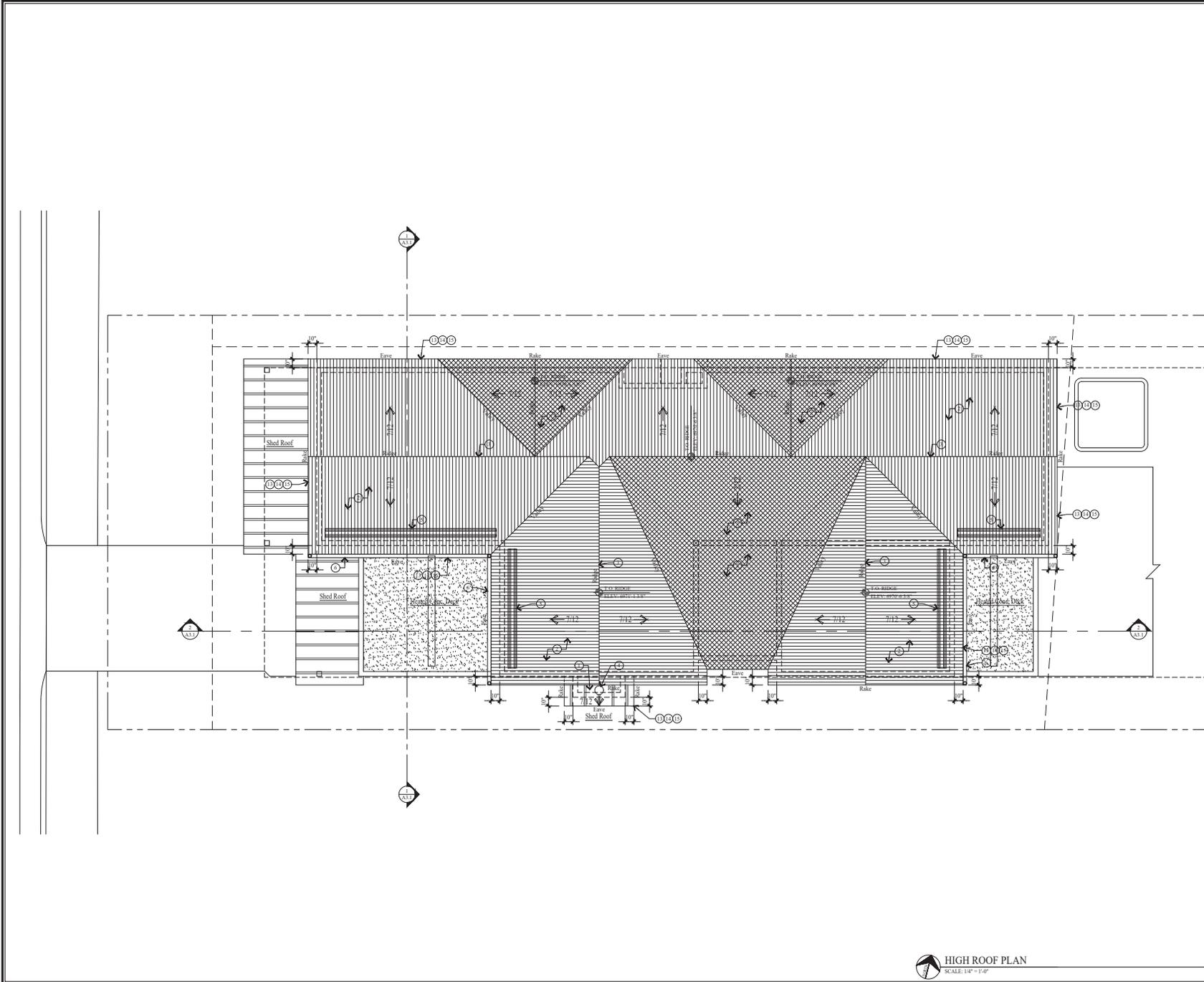
P.O. Box 1074, 614 Main Street, Suite 302, Park City, Utah 84060
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NEW RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW
1058 PARK AVE. LOT B
1058 PARK AVENUE, PARK CITY, UTAH 84060

MAIN LEVEL PLAN
LOW ROOF PLAN

DATE: JULY 12, 2021
PROJECT NUMBER: 2106-02
SHEET NUMBER: A1.2

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GENERAL NOTES

- EXISTING MASONRY WALL
 - NEW 2" FRAMED WALL
 - (E) INDICATES EXISTING
 - (N) INDICATES NEW
1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
 2. EXTERIOR WALLS TO BE 2x6 FRAMING W/ BIB INSULATION R-21. TYP. ALL INTERIOR WALLS TO BE 2x4 FRAMING U.G.A. W/ BIB INSULATION R-15. TYP. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x6 FRAMING U.G.A. W/ BIB INSULATION R-21. TYP. ALL FLOOR JOIST TO BE 9/12" TJI FRAMING U.G.A. W/ BIB INSULATION R-39. TYP. ALL ROOF JOIST TO BE 9/12" TJI FRAMING U.G.A. W/ BIB INSULATION R-39. TYP.
 3. FIRE SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE. ANTI-REEZE WILL NO LONGER BE ALLOWED IN FIRE SPRINKLER SYSTEMS.
 4. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N1102.4.1 - N1102.4.4.
 5. HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER I.M.C. 11-21, R 803.4

KEY NOTES

1. CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF. METAL ROOF TO BE ICC-ES APPROVED ON ICE AND WATER MEMBRANE ON 5/8" EXTERIOR SHEATHING ON ROOF JOIST. SEE STRUCTURAL FOR SIZE AND SPACING. ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER I.M.C. 11-21, R 803.4
2. ARCHITECTURAL GRADE COMPOSITION SHINGLE 150 YEAR PRESIDENTIAL CLASS PER SQUARE. METAL ON ICE AND WATER MEMBRANE ON 5/8" EXTERIOR SHEATHING ON ROOF JOIST. SEE STRUCTURAL FOR SIZE AND SPACING.
3. COMPOSITE RIDGE VENT, COBRA OR EQUAL. METAL RIDGE VENT ON METAL ROOF.
4. METAL CHIMNEY PIPE.
5. SNOW RETENTION BARS, 5 x 5 GARD 2.0 OR EQUAL, AND BYTLEN SNOWMELT SYSTEM AT ALL EAVES AND VALLEYS. TYP.
6. GUTTERS AND DOWNSPOUTS TO BE INTO EXISTING FRENCH DRAIN.
7. HATCHED AREA INDICATES ROOF OVER-BUILD. SEE STRUCTURAL FOR DETAILS.
8. HEATED WATERPROOF DECK. REINFORCED CONCRETE ON STEEL COMPOSITE DECK. SEE STRUCTURAL FOR SIZE AND SPACING.
9. POLYCAST TRENCH DRAIN SYSTEM OR EQUAL. TIE INTO GRAVEL SLUMP.
10. 6x6 THIMBER COLUMNS. PAINT STAIN.
11. 36" HIGH RAILING. 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. W/ 3/8" DIA. STEEL CABLE. HORIZONTAL, SPACES LESS THAN 4". THROUGH 5/8" VERTICAL TUBE STEEL POSTS.
12. TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A5.1.
13. 1/2" TYPE "C" ON GARAGE CEILING AND WALL. SEPARATING THE GARAGE AND LIVING SPACE.
14. HEATILATOR "RAVE 42" DIRECT VENT FIREPLACE. FRAME ON 10" PLATFORM. SEALED GAS APPLIANCE APPROVED FOR SLEEPING AREAS. ANSI Z21.88-2019.
15. 4" REINFORCED CONCRETE SLAB W/ HYDRALINE HEATING ON 2" RIB INSULATION (CONTINUOUS) ON 6 MIL POLYETHYLENE VAPOR RETARDER (JOINTS TO LAP 6" MIN) ON 4" GRAVEL BASE. CLEANED/GRAD.
16. 4" REINFORCED CONCRETE PATIO / PORCH / WALKWAY / DRIVEWAY ON 4" GRAVEL BASE.
17. 1/2" CONCRETE W/ HYDRALINE HEATING ON 3/4" PLYWOOD ON FLOOR JOIST. SEE STRUCTURAL FOR SIZE AND SPACING.
18. TIRK AND SHOWER WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER CEMENT OR GLASS MAT GYP. BACKER.
19. DASHED LINES INDICATES WALL BEAM ABOVE PROPERTY LINE.
20. SET BACK - EASMENT LINE.
21. HEATILATOR "RAVE 436-C" DIRECT VENT FIREPLACE. FRAME ON 10" PLATFORM. SEALED GAS APPLIANCE APPROVED FOR SLEEPING AREAS. ANSI Z21.88-2019.
22. 42" HIGH GUARD WALL. W/ 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. FOR EXTERIOR SIDING. SEE ELEVATIONS FOR TYPE.

HIGH ROOF PLAN
SCALE: 1/8" = 1'-0"

Jonathan DeGray
Architect

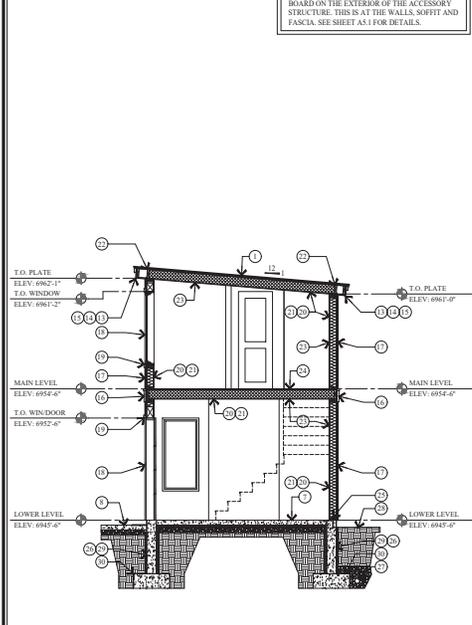
NEW RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW
1058 PARK AVE. LOT B
1058 PARK AVENUE, PARK CITY, UTAH 84060

HIGH ROOF PLAN

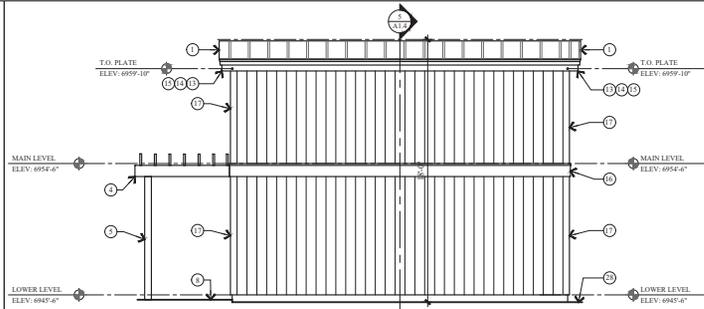
DATE: JULY 12, 2021
PROJECT NUMBER: 2106-02
SHEET NUMBER: A1.3

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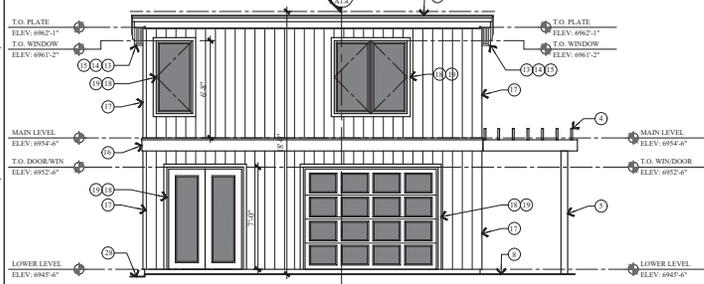
NOTE:
 1 LAYER OF TYPE "X" EXTERIOR GRADE GYPSUM BOARD ON THE EXTERIOR OF THE ACCESSORY STRUCTURE. THIS IS AT THE WALLS, SOFFIT AND FASCIA. SEE SHEET A5.1 FOR DETAILS.



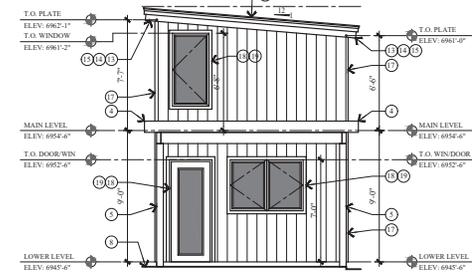
5 BUILDING SECTION
 SCALE: 1/8" = 1'-0"



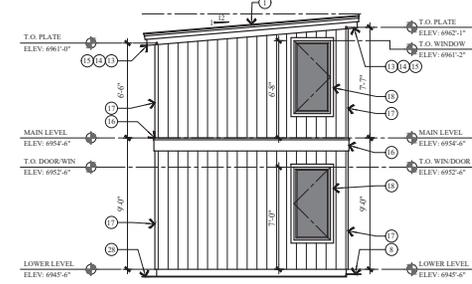
1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



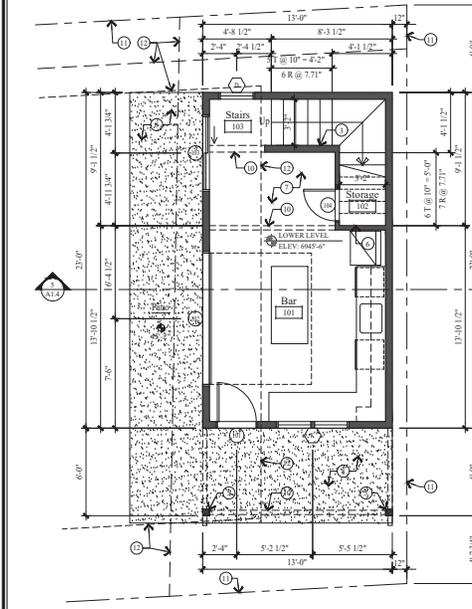
4 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



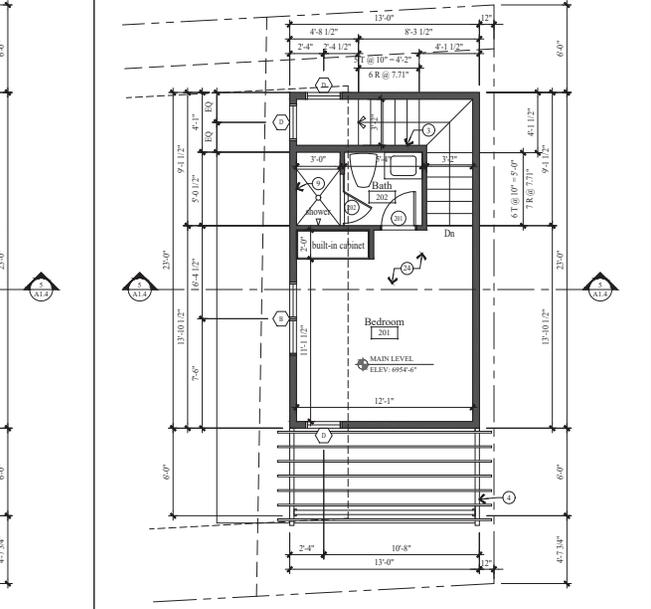
2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



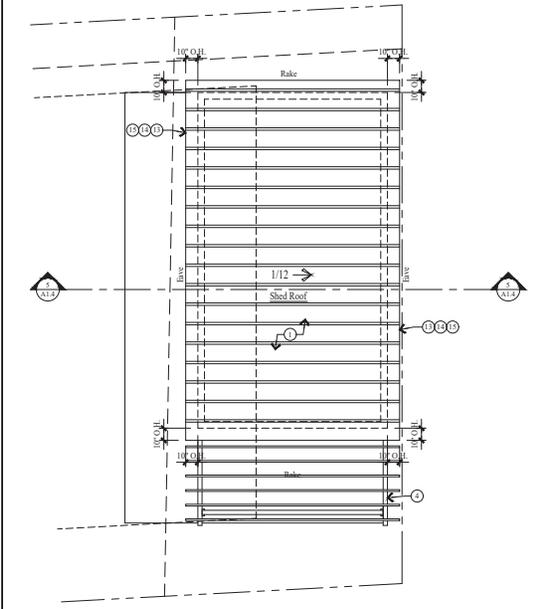
3 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



LOWER LEVEL - ACCESSORY STRUCTURE
 SCALE: 1/8" = 1'-0"



MAIN LEVEL - ACCESSORY STRUCTURE
 SCALE: 1/8" = 1'-0"



ROOF PLAN - ACCESSORY STRUCTURE
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

- NEW 2x FRAMED WALL
- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
- EXTERIOR WALLS TO BE 2x6 FRAMING W/ R-15 INSULATION R-21. TYP. ALL INTERIOR WALLS TO BE 2x4 FRAMING, U.O.W. W/ RIB INSULATION R-15. TYP. ALL INTERIOR PLUMBING AND BEARING WALLS TO BE 2x4 FRAMING, U.O.W. W/ RIB INSULATION R-21. TYP. ALL FLOOR JOIST TO BE 7/4" LVL FRAMING U.O.W. 7" CLOSED CELL INSULATION R-39. TYP. ALL ROOF JOIST TO BE 7/4" LVL FRAMING U.O.W. 7" CLOSED CELL FOAM INSULATION R-39. TYP.
- FIRE SPRINKLERS TO BE ON THE WARM SIDE OF THE BUILDING ENVELOPE. ANTFREEZE WILL NO LONGER BE ALLOWED IN FIRE SPRINKLER SYSTEMS.
- AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTIONS N1102.4.1 - N1102.4.4.
- TWO INSPECTIONS ARE REQUIRED (FOAM AND BALANCE OF INSULATION), UNVENTED CONDITIONED ATTIC ASSEMBLIES.
- HOME HARDENING SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER IBC 12.3.1.0603.4.

KEY NOTES

- CLASS A NON-REFLECTIVE STANDING SEAM METAL ROOF TO BE APPROVED ON ICE AND WATER MEMBRANE ON 5/8" EXTERIOR SHEATHING OR ROOF JOIST - SEE STRUCTURAL FOR SIZE AND SPACING. ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER IBC 12.3.1.0603.4.
- NOTE
- FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTICES & DETAILS ON SEE SHEET A5.1
- TIMBER TRELLIS: 2x10 CEDAR @ 12" O.C. ON 2x10 CEDAR BEAMS - STAIN/PAINTE.
- USE TRIMMER COLUMNS - PAINT STAIN.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- 4" REINFORCED CONCRETE SLAB W/ HYDRALINE HEATING ON 2" RIB INSULATION (CONTINUOUS) ON 4 MIL POLYETHYLENE VAPOUR RETARDER (JOINS TO LAP 6" MIN) ON 4" GRAVEL BASE CLEAN/GRADDED.
- 4" REINFORCED CONCRETE PATIO / PORCH / WALKWAY ON 4" GRAVEL BASE.
- TIRS AND SHOWNERS WITH TRIMED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBRE CEMENT OR GLASS MAT GYP. BACKER.
- DASHED LINES INDICATES WALL BEAM ABOVE PROPERTY LINE.
- SET BACK - EASEMENT LINE.
- 1 1/2" x 1 1/2" CONTINUOUS METAL DRIP EDGE.
- 1/4" CEDAR SOFFIT, VENTED - PAINT STAIN.
- 2x4 ON 1x6 BUILT UP FASCIA - PAINT STAIN.
- DRYVELD 2x3 ON 2x10 CEDAR TRIM BOARD W/ METAL FLASHING.
- 1x4 CEDAR VERTICAL TAG SIDING - STAINED ON TYPICAL HOME PAPER ON 1/2" EXTERIOR SHEATHING ON 2x6 STUD WALL @ 16" O.C.
- WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE.
- WINDOW & DOOR TRIM @ VERTICAL TAG SIDING, 2x3 HEAD, JAMB & SILL - PAINT STAIN.
- 1/2" GYPSUM BOARD ON 4 MIL POLYETHYLENE VAPOUR RETARDER AT ROOF JOIST TRUSS AND EXTERIOR WALLS.
- INSULATION - SEE GENERAL NOTES #1 ON FLOOR PLANS.
- SOLID BLOCKING AND HURRICANE HOLD DOWN @ EACH RAFTER OR SIMPSON VPA.
- FIRE RATED SPACERS AS SOFFIT, FLOOR AND CEILING GIRD LINES, AT 10 FT. VERTICALLY AND HORIZONTALLY, AND AT ANY OTHER LOCATIONS NOT SPECIFICALLY MENTIONED WHICH COULD AFFORD PASSAGE FOR FLAMES - IRC R602.11
- 3/4" PLYWOOD ON 1 1/4" LVL FLOOR JOIST - SEE STRUCTURAL FOR SPACING AND DETAILS.
- TREATED WOOD SILL PLATE W/ 2" ANCHOR BOLTS EMBEDDED 7" INTO CONCRETE, SPACED 24" O.C. UNDO OVERLAP. PLATE WASHERS SHALL 3/2"x1/4" AND USED ON EACH BOLT - SEE STRUCTURAL SHEAR WALL SCHEDULE.
- DRAINAGE MATT ON WATERPROOF MEMBRANE FILTER FABRIC OVER PERMEABLE GRAVEL W/ 4" PERF. FOOTING DRAIN, DAYLIGHTED OR TO INTO STORM DRAIN.
- FINISH GRADE TO SLOPE AWAY FROM HOUSE A MIN. OF 6" WITHIN THE FIRST 10'. IRC R401.3
- FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING.

Jonathan DeGray
 Architect

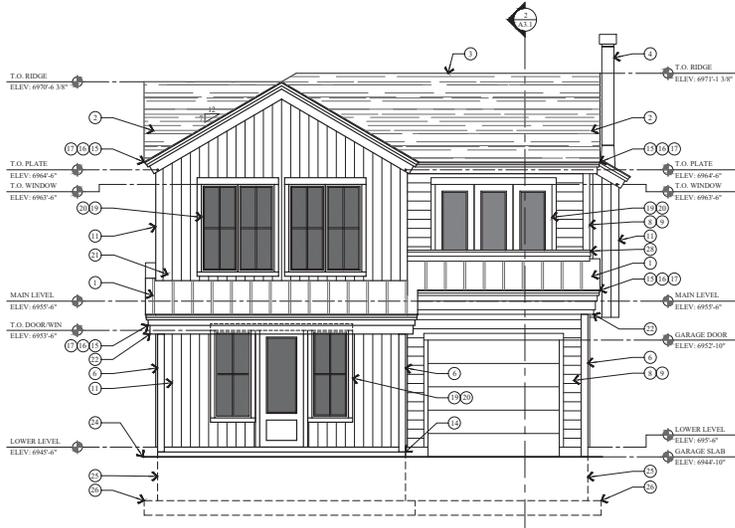
P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060
 Tel. 435-646-7263, E-mail: jongrayarch@meville.com

NEW RESIDENCE
 HISTORIC DISTRICT DESIGN REVIEW
 1058 PARK AVE. LOT B
 1058 PARK AVENUE, PARK CITY, UTAH 84060

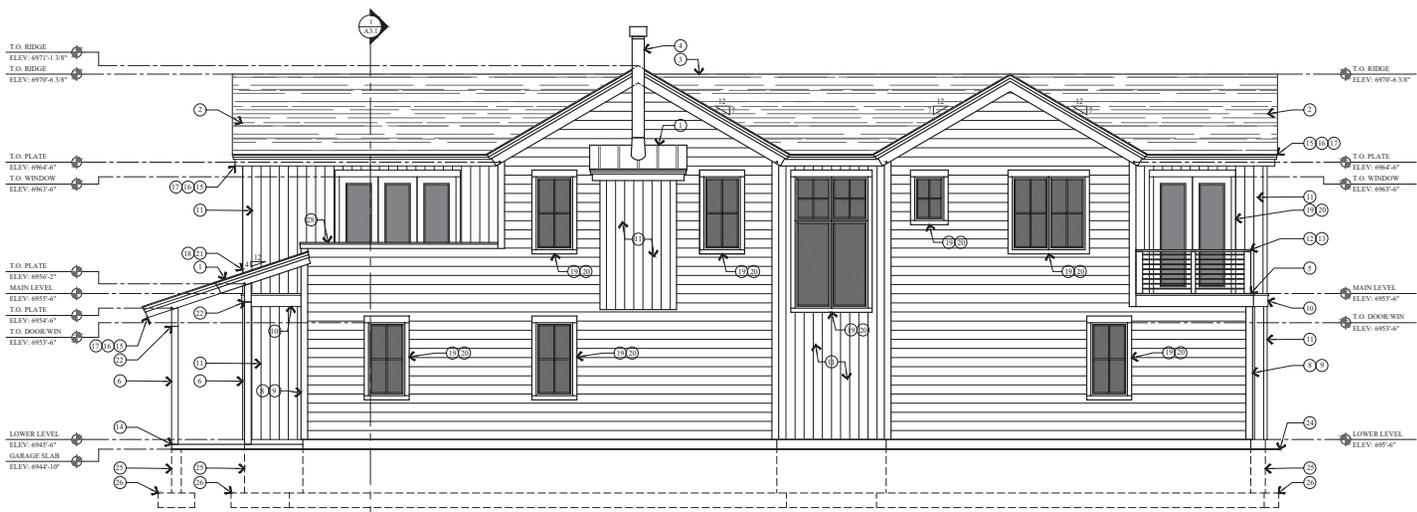
ACCESSORY STRUCTURE
 PLANS AND ELEVATIONS

DATE: JULY 12, 2021
 PROJECT NUMBER: 2106-02
 SHEET NUMBER: A1.4

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1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

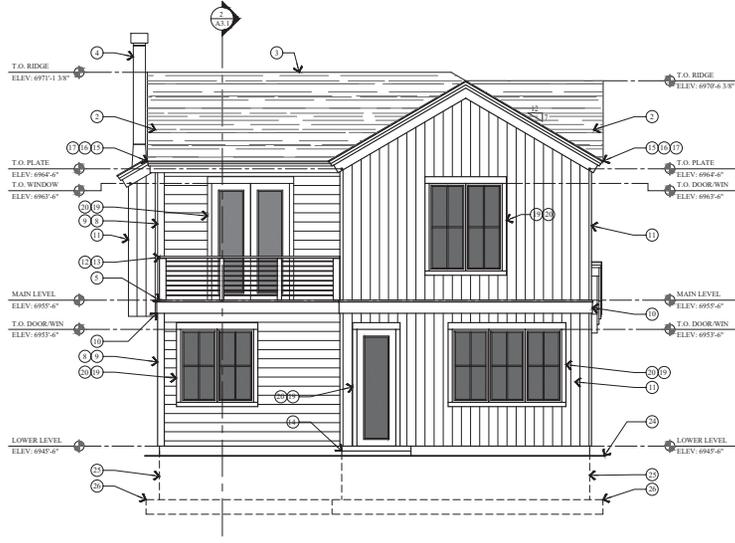
- 1 CLASS A NON-REFLECTIVE STANDING-SEAM METAL ROOF. METAL ROOF TO BE ACCESS APPROVED ON R.E. AND WATER MEMBRANE ON 5" EXTERIOR SHEATHING ON ROOF JOIST. SEE STRUCTURAL FOR SIZE AND SPACING. ROOF MATERIAL SHALL COMPLY WITH THE WILDLAND-URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11.21.16054.
- 2 ARCHITECTURAL GRADE COMPOSITION SHINGLE. 30-YEAR PRESIDENTIAL TL (35SP PER SQUARE) MEN ON #1 AND WATER MEMBRANE ON 5" EXTERIOR SHEATHING ON ROOF JOIST. SEE STRUCTURAL FOR SIZE AND SPACING.
- 3 COMPOSITE RIDGE VENT, COBRA OR EQUAL. METAL RIDGE VENT ON METAL ROOF.
- 4 METAL CHIMNEY PIPE.
- 5 HEATED WATERPROOF DECK. REINFORCED CONCRETE ON STEEL COMPOSITE DECK. SEE STRUCTURAL FOR SIZE AND SPACING.
- 6 2x6 TRIMMER COLLARS - PAINT STAIN.
- 7 4" REINFORCED CONCRETE PATIO / PORCH / WALKWAY / DRIVEWAY ON 4" GRAVEL BASE.
- 8 1x6 CEDAR HORIZONTAL LAP SIDING - STAINED ON TYVEK HOMEWRAP ON 12" EXTERIOR SHEATHING ON 2x6 STUD WALL @ 16" O.C.
- 9 2x4 CEDAR OUTSIDE CORNER BOARD. 2x2 CEDAR INSIDE CORNER BOARD - STAINED.
- 10 BEVELED 2x3 ON 2x10 CEDAR TRIM BOARD W/ METAL FLASHING.
- 11 1x4 CEDAR VERTICAL TAG SIDING - STAINED ON TYVEK HOMEWRAP ON 12" EXTERIOR SHEATHING ON 2x6 STUD WALL @ 16" O.C.
- 12 3/8" IRON RAILING. 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. W/ 3/8" DIA. STEEL CABLE. HORIZONTAL. SPACED LESS THAN 4" THROUGH 5"x5" VERTICAL TUBE STEEL POSTS.
- 13 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET A5.1.
- 14 4" REINFORCED CONCRETE PATIO / PORCH / WALKWAY / DRIVEWAY ON 4" GRAVEL BASE.
- 15 2" x 3" 12" CONTINUOUS METAL Drip Edge.
- 16 1x4 CEDAR SOFFIT. VENTED. PAINT STAIN.
- 17 2x4 ON 1x10 BUILT-UP FASCIA - PAINT STAIN.
- 18 FLASHING AND COUNTER FLASHING - TYPICAL.
- 19 WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE.
- 20 WINDOW & DOOR TRIM - 2x6 HEAD, 2x3 JAMB & SILL - PAINT STAIN.
- 21 ROOF TO WALL SURFACE. EXTEND BUTYLANE MEMBRANE OVER ROOF DECK & UP WALL SURFACE 2'-0".
- 22 STRUCTURAL BEAM - SEE STRUCTURAL DRAWINGS FOR SIZE AND DETAILS.
- 23 EXISTING GRADE LINE.
- 24 FINISH GRADE TO SLOPE AWAY FROM HOUSE A MIN. 6" WITHIN THE FIRST 10'. IRC 608.1.
- 25 FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- 26 FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- 27 LINE 27'-0" HEIGHT ABOVE EXISTING GRADE.
- 28 4" HIGH GUARD WALL W/ 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. FOR EXTERIOR SIDING - SEE ELEVATIONS FOR TYPE.

Jonathan DeGray
Architect

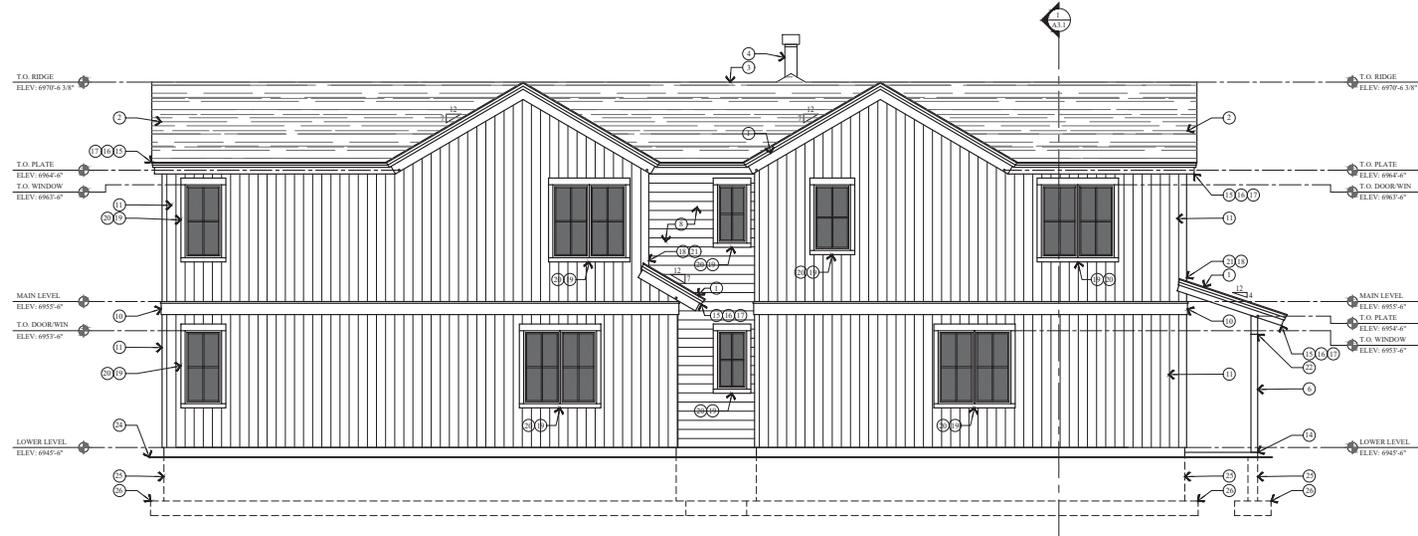
NEW RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW
1058 PARK AVE. LOT B
1058 PARK AVENUE, PARK CITY, UTAH 84060

WEST ELEVATION
SOUTH ELEVATION

DATE: JULY 12, 2021
PROJECT NUMBER: 2106-02
SHEET NUMBER: A2.1



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 CLASS A NON-REFLECTIVE STANDING-SEAM METAL ROOF. METAL ROOF TO BE CLIPS APPROVED ON R.E. AND WATER MEMBRANE ON 5\"/>
- 2 ARCHITECTURAL GRADE COMPOSITION SHINGLES 30 YEAR PRESIDENTIAL TL 13539 PER SQUARE FEET ON R.E. AND WATER MEMBRANE ON 5\"/>
- 3 COMPOSITE RIDGE VENT, COBRA OR EQUAL. METAL RIDGE VENT ON METAL ROOF.
- 4 METAL CHIMNEY PIPE.
- 5 HEATED WATERPROOF DECK. REINFORCED CONCRETE ON STEEL COMPOSITE DECK. SEE STRUCTURAL FOR SIZE AND SPACING.
- 6 2x6 TRIMMER COLLARS - PAINT STAIN.
- 7 4\"/>
- 8 1x6 CEDAR HORIZONTAL LAP SIDING - STAINED ON TYVEK HOMEWRAP ON 12\"/>
- 9 2x4 CEDAR OUTSIDE CORNER BOARD. 2x2 CEDAR INSIDE CORNER BOARD - STAINED.
- 10 BEVELED 2x3 ON 2x10 CEDAR TRIM BOARD W/ METAL FLASHING.
- 11 1x6 CEDAR VERTICAL TAG SIDING - STAINED ON TYVEK HOMEWRAP ON 12\"/>
- 12 3x6 HICK HALLING. 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. W/ 3/8\"/>
- 13 4\"/>
- 14 2x3 12\"/>
- 15 2x4 ON 1x10 BUILT-UP FASCIA - PAINT STAIN.
- 16 FLASHING AND COUNTER FLASHING - TYPICAL.
- 17 WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE.
- 18 WINDOW & DOOR TRIM - 2x6 HEAD, 2x3 JAMB & SILL - PAINT STAIN.
- 19 ROOF TO WALL SURFACE. EXTEND BUTYLANE MEMBRANE OVER ROOF DECK & UP WALL SURFACE 2\"/>
- 20 STRUCTURAL BEAM - SEE STRUCTURAL DRAWINGS FOR SIZE AND DETAILS.
- 21 EXISTING GRADE LINE.
- 22 FINISH GRADE TO SLOPE AWAY FROM HOUSE A MIN. 6\"/>
- 23 FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- 24 FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- 25 LINE 27'-0\"/>
- 26 4\"/>

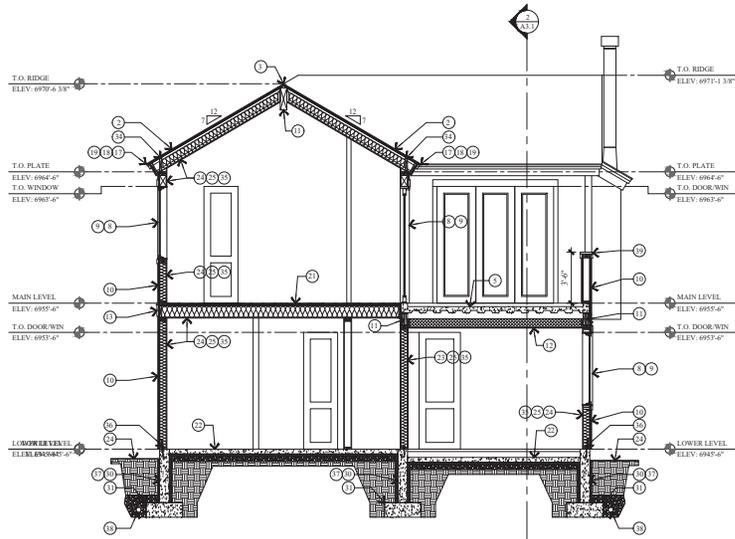
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NEW RESIDENCE
 HISTORIC DISTRICT DESIGN REVIEW
 1058 PARK AVE. LOT B
 1058 PARK AVENUE, PARK CITY, UTAH 84060

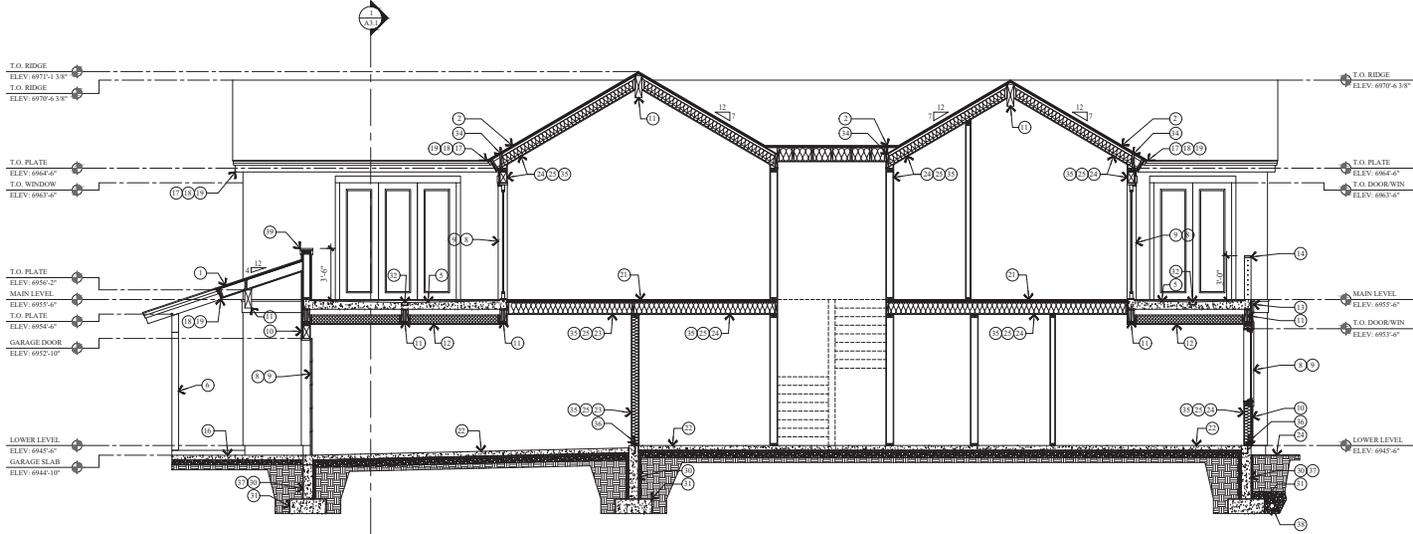
EAST ELEVATION
 NORTH ELEVATION

DATE:	JULY 12, 2021
PROJECT NUMBER:	2106-02
SHEET NUMBER:	A2.2

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1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 CLASS A NON-REFLECTIVE STANDING-SEAM METAL ROOF. METAL ROOF TO BE CECS APPROVED. ON R/E AND WATER MEMBRANE ON S/S. EXTERIOR SHEATHING ON ROOF JOIST - SEE STRUCTURAL FOR SIZE AND SPACING. ROOF MATERIAL SHALL COMPLY WITH THE WELLS - URBAN INTERFACE CODE AS ADOPTED BY THE STATE OF UTAH AND AMENDED BY PARK CITY PER LMC 11.21.16814.
- 2 ARCHITECTURAL GRADE COMPOSITION SHINGLE. 50 YEAR PRESIDENTIAL. 1.0535 PER SQUARE. MIN. ON R/E AND WATER MEMBRANE ON S/S. EXTERIOR SHEATHING ON ROOF JOIST - SEE STRUCTURAL FOR SIZE AND SPACING.
- 3 COMPOSITE RIDGE VENT, COBRA OR EQUAL. METAL RIDGE VENT ON METAL ROOF.
- 4 METAL CHIMNEY PIPE.
- 5 HEATED WATERPROOF DECK. REINFORCED CONCRETE ON STEEL COMPOSITE DECK - SEE STRUCTURAL FOR SIZE AND SPACING.
- 6 2x6 TRIMMER COLLARS - PAINT/STAIN.
- 7 BEVELED 2x3 ON 2x10 CEDAR TRIM BOARD W/ METAL FLASHING.
- 8 WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE.
- 9 WINDOW & DOOR TRIM - 2x6 HEAD, 2x3 JAMB & SILL - PAINT/STAIN.
- 10 EXTERIOR SIDING - SEE ELEVATIONS FOR TYPE AND SHEET AS.1 FOR DETAILS.
- 11 STRUCTURAL BEAM - SEE STRUCTURAL DRAWINGS FOR SIZE AND DETAILS.
- 12 FURRED DOWN CEILING @ COMPOSITE DECK W/ 2x8 JOIST @ 16" O.C. W/ 7" CLOSED CELL FOAM INSULATION @ 49" TYP.
- 13 BEVELED 2x3 ON 2x10 CEDAR TRIM BOARD W/ METAL FLASHING.
- 14 3/4" HIGH RAILING, 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. W/ 3/8" DIA. STEEL CABLE. HORIZONTAL, SPACED LESS THAN 4". THROUGH 1/2" VERTICAL. TIE STEEL POSTS.
- 15 FOR TYPICAL STAIRWAY, HANDRAILING AND GUARDRAILING NOTES & DETAILS ON SEE SHEET AS.1.
- 16 4" REINFORCED CONCRETE PATIO / PORCH / WALKWAY / DRIVEWAY ON 4" GRAVEL BASE.
- 17 2x3 1/2" CONTINUOUS METAL Drip EDGE.
- 18 1x4 CEDAR SOFFIT, VENTED - PAINT/STAIN.
- 19 2x4 ON 1x10 BUILT-UP FASCIA - PAINT/STAIN.
- 20 FLASHING AND COUNTER FLASHING - TYPICAL.
- 21 1 1/2" CONCRETE W/ HYDRAULIC HEATING ON 3/4" FLOOR ON LAOK JOIST - SEE STRUCTURAL FOR SIZE AND SPACING.
- 22 4" REINFORCED CONCRETE SLAB W/ HYDRAULIC HEATING ON 2" HD INSULATION (CONTINUOUS) ON 6 MIL POLYETHYLENE VAPOR RETARDER (JOISTS TO LAP 6" MIN) ON 4" GRAVEL BASE. CLEAN/GRAD.
- 23 3/8" TYPE "A" ON GARAGE CEILING AND WALL SEPARATING THE GARAGE AND LIVING SPACE.
- 24 1/2" GYPSUM BOARD ON 1x6 POLYETHYLENE VAPOR RETARDER AT ROOF JOIST/TRUSS AND EXTERIOR WALLS.
- 25 INSULATION - SEE GENERAL NOTES #1 ON FLOOR PLANS.
- 26 ROOF TO WALL SURFACE. EXTEND BUTYLANE MEMBRANE OVER ROOF DECK & UP WALL SURFACE 24".
- 27 LINE 27'-0" HEIGHT ABOVE EXISTING GRADE.
- 28 EXISTING GRADE LINE.
- 29 FINISH GRADE TO SLOPE AWAY FROM HOUSE A MIN. OF 6" WITHIN THE FIRST 10'. IRC #401.3
- 30 FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- 31 FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- 32 POLYCAST TRENCH DRAIN SYSTEM OR EQUAL. TIE INTO GRAVEL SLUMP.
- 33 ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGES AND FURRING WALLS MUST BE PRESERVATIVELY TREATED OR FOUNDATION GRADE REDWOOD.
- 34 SHED BRACKING AND RIBS ARE HOLD DOWN AT EACH RAFTER OR SIMPSON VPA.
- 35 FIRE BLOCK STUD SPACES AT SOFFIT, FLOOR AND CEILING JOIST LINES. AT 9FT. VERTICALLY AND HORIZONTALLY, AND AT ANY OTHER LOCATIONS NOT SPECIFICALLY MENTIONED WHICH WOULD APPLIED PASSAGE FOR FLAMES - IRC R302.11
- 36 TREATED WOOD SILL PLATE W/ 12" ANCHOR BOLTS IS EMBEDDED 7" INTO CONCRETE. SPACED 32" O.C. UNO ON PLANS. PLATE WASHERS SHALL 1 1/2" x 4" AND USED ON EACH BOLT. SEE STRUCTURAL SHEAR WALL SCHEDULE.
- 37 DRAINAGE MATT ON WATERPROOF MEMBRANE
- 38 FILTER FABRIC OVER FREE DRAINING GRAVEL. 4" FIBER FOOTING DRAIN, DAYLIGHTED OR TIE INTO STORM DRAIN.
- 39 42" HIGH GUARD WALL W/ 2x SHAPED HARDWOOD CONTINUOUS TOP CAP. FOR EXTERIOR SIDING - SEE ELEVATIONS FOR TYPE.

Jonathan DeGray
Architect

NEW RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW
1058 PARK AVE. LOT B
1058 PARK AVENUE, PARK CITY, UTAH 84060

BUILDING SECTIONS

DATE: JULY 12, 2021
PROJECT NUMBER: 2106-02
SHEET NUMBER: A3.1

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ARCHITECTURAL NOTES

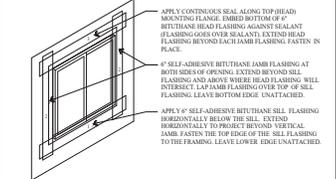
1. ALL WORKS SHALL COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE. STRUCTURAL SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
2. ALL SUBMITTALS AND CHANGES TO PLANS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO BEING SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. HALLWAYS, CORRIDORS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT NOT LESS THAN 7 FEET MEASURED FROM THE FINISHED FLOOR TO THE FINISHED CEILING. BATHROOMS CAN BE AT 6'-8" NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN 7 FT. WITH NO PORTION OF THE REQUIRED FLOOR AREA LESS THAN 3 FT. IN HEIGHT. -IRC R305
3. ASPHALT SHINGLES SHALL NOT BE INSTALLED ON ROOFS HAVING A SLOPE LESS THAN 4 TO 12 UNLESS DOUBLE UNDERPAPMENT IS INSTALLED IN ACCORDANCE WITH IRC SECTION R905.2.7
4. ICE BARRIER THAT CONSISTS OF TWO LAYERS OF UNDERLAMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LEU OF UNDERLAMENT AND EXTENDED FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. -IRC R905.2.7.1
5. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING R701.1
7. APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AIAA 711. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHING AT ALL OF THE A. EXTERIOR WINDOW AND DOOR OPENINGS, FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTIONS LIPS ON BOTH SIDES UNDER STUCCO COPINGS AND SILLS. C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. D. CONTINUOUSLY ABOVE ALL PROJECTIONS WOOD TRIM. E. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. F. AT WALL AND FLOOR INTERSECTIONS. G. AT BUILT-IN GUTTERS. -IRC R701.8
8. ELEVATORS, WHERE PROVIDED, PASSENGER ELEVATORS, LIMITED USE OR LIMITED APPLICATION ELEVATORS OR PRIVATE RESIDENCE ELEVATORS SHALL COMPLY WITH ASME A17.1. -IRC R321.1

FRAMING NOTES

1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. A. WOOD PARTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18 INCHES OR WOOD GIRDERS WHEN CLOSER THAN 12 INCHES TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION. B. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM THE EXPOSED GROUND. C. SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM THE GROUND BY AN IMPERVIOUS MOISTURE BARRIER. D. THE END OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1 INCH ON TOPS, SIDES AND ENDS. E. WOOD BENCH, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING WALLS A CLEARANCE OF LESS THAN 1 INCHES FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER. F. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE EXPOSED FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. G. WOOD FLOORING, STRIPS OR OTHER WOOD FRAMING MEMBERS, ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FLOORING STRIPS OR FRAMING MEMBERS. -IRC R311.1
2. ACCESSIBLE FLOOR FLOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 1" X 2" ACCESS OPENING. -IRC R404. FOR ACCESS TO MECHANICAL EQUIPMENT IN THESE AREAS SEE IRC M185.1.4
3. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. -IRC R907.1. SEE M138.1.3 FOR ACCESS TO FURNACES AND OTHER MECHANICAL EQUIPMENT IN ATTIC.
4. PROVIDE 2" ON-CENTER BLOCKING FOR VERTICAL SIDING. -IRC TABLE R301.4 FOOTNOTES.
5. PROVIDE ROOF SHEATHING RATING AND NAILING SCHEDULE AS PER ENGINEERING DESIGN, OR MINIMUM 5/8" 40D RATING IF NO PROFESSIONAL DESIGN IS PROVIDED.

TYPER AIR BARRIER INSTALLATION:

1. INSTALL AIR BARRIER AFTER SHEATHING IS INSTALLED AND BEFORE WINDOWS AND DOORS ARE INSTALLED. INSTALL LOWER LEVEL BARRIER PRIOR TO UPPER LAYERS TO ENSURE PROPER SHINGLING OF LAYERS.
2. OVERLAP AIR BARRIER AT CORNERS OF BUILDING BY A MINIMUM OF 12 INCHES.
3. OVERLAP AIR BARRIER VERTICAL SEAMS BY A MINIMUM OF 4 INCHES.
4. ENSURE BARRIER IS FLUSH AND LEVEL WITH FOUNDATION, AND UNROL EXTENDING AIR BARRIER OVER WINDOW AND DOOR OPENINGS.
5. ATTACH AIR BARRIER TO WOOD INSULATED SHEATHING BOARD OR OTHER OPENING WITH PLASTIC CARNAUBS EVERY 12" TO 16" ON VERTICAL. STUD LINE WITH WOOD STUD FRAMING AND CARNAUBS WITH BARRIER TO STUD FRAMING. WHEN ATTACHING TO WOOD SHEATHING, A MINIMUM 1.5 INCH CROWN STAPLE MAY BE USED, WHEN ATTACHING TO MASONRY, THE ADHESIVE RECOMMENDATION SHALL BE FOLLOWED.
6. PREPARE WINDOW AND DOOR ROUGH OPENINGS AS FOLLOWS:
A. PREPARE EACH WINDOW ROUGH OPENING BY CUTTING A MODIFIED "P" PATTERN IN THE AIR BARRIER.
1. HORIZONTALLY CUT AIR BARRIER ALONG BOTTOM OF HEADER.
2. VERTICALLY CUT AIR BARRIER DOWN THE CENTER OF WINDOW OPENING FROM THE TOP OF THE WINDOW TO THE BOTTOM OF THE WINDOW OPENING.
3. DIAGONALLY CUT AIR BARRIER FROM THE BOTTOM OF THE VERTICAL CUT TO THE LEFT AND RIGHT CORNERS OF OPENING.
4. FOLD SIDE AND BOTTOM LAYERS INTO WINDOW OPENING AND FASTEN EVERY 4 INCHES.
B. PREPARE EACH ROUGH DOOR OPENING BY CUTTING A STANDARD "P" PATTERN IN THE AIR BARRIER.
1. HORIZONTALLY CUT AIR BARRIER ALONG BOTTOM OF DOOR FRAME HEADER AND ALONG TOP OF SILL.
2. VERTICALLY CUT AIR BARRIER DOWN THE CENTER OF DOOR OPENING FROM THE TOP OF THE DOOR OPENING (HEADER) DOWN TO THE BOTTOM OF THE DOOR OPENING (SILL).
3. DIAGONALLY CUT AIR BARRIER FROM THE BOTTOM OF THE VERTICAL CUT TO THE LEFT AND RIGHT CORNERS OF OPENING AND FASTEN EVERY 4 INCHES.
7. TAPE ALL HORIZONTAL AND VERTICAL SEAM OF AIR BARRIER WITH DUPONT TYVEK TAPE.
8. SEAL ALL TEARS AND CUTS IN AIR BARRIER WITH DUPONT TYVEK TAPE.

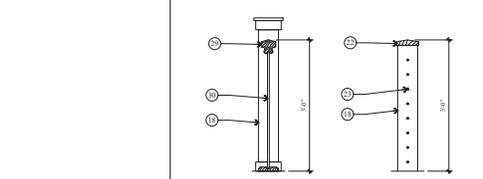


14 VAPOR BARRIER SILL, JAMB AND HEAD FLASHING
A5.1 NO SCALE

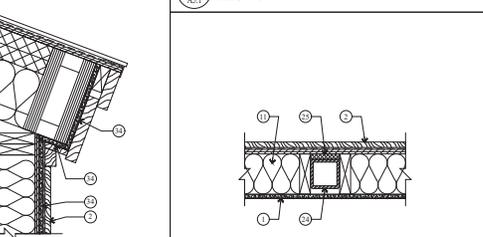
STAIRWAY HANDRAILING/GUARDRAILING NOTES:

1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE OF STAIRWAYS AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 34 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES. -IRC R311.7.1
2. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. -IRC R311.7.2
3. THE MAXIMUM RISER HEIGHT SHALL BE 7 INCHES. THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITH ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4 INCH. -IRC R311.7.4.1
4. THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL FACES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE GREATEST TREAD DEPTH SHALL BE MEASURED WITH ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4 INCH. -IRC R311.7.4.2
5. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. -IRC R311.7.2
6. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF THE RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. -IRC R311.7.7.1
7. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 INCH BETWEEN THE WALL AND THE HANDRAILS.
EXCEPTIONS:
1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWL POST AT THE TURN.
2. THE USE OF A VOLTILE, TURNOUT, STARTING LANDING OR STARTING NEWL SHALL BE ALLOWED OVER THE LOWEST TREAD. -IRC R311.7.7.2
8. ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.
TYPE I: HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6 INCHES WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 800 INCH.
TYPE II: HANDRAILS WITH A PERIMETER GREATER THAN 4 INCHES SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITH AN DISTANCE OF 1/2 INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 1/2 INCH WITH 1/4 INCH BELOW THE WIDEST PORTION OF THE PROFILE. THE REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 1 INCH TO A LEVEL THAT IS NOT LESS THAN 1 INCH BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 INCHES TO A MAXIMUM OF 2 1/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.10 INCH. -IRC R311.7.7.3
9. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. -IRC R312.1
10. GUARDS SHALL NOT BE LESS THAN 36 INCHES HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. -IRC R312.2
11. GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A 36 INCHES IN DIAMETER. -IRC R312.3
12. STAIR TREAD NOSING: THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH. A NOSING NOT LESS THAN 3/4 INCH BUT NOT MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SLOPED RISERS. THE GREATEST WOOD PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSING SHALL NOT EXCEED 1/4 INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES TO 90 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN THE RISERS DOES NOT PERMIT THE PASSAGE OF A 4 INCH DIAMETER SPHERE. (UTAH STATE AMENDMENT) EXCEPTIONS:
A. A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 10 INCHES.
B. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES OR LESS. NOTE: THIS MEANS THAT CONCRETE STAIRS, WITHOUT NOSINGS, MUST HAVE A TREAD DEPTH OF 10 INCHES.

11 TYPICAL HANDRAIL/GUARDRAIL DETAILS
A5.1



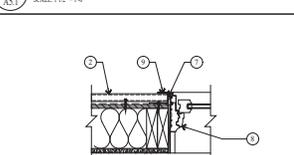
12 THREML BREAK DETAIL @ TUBE STEEL COLUMN
A5.1



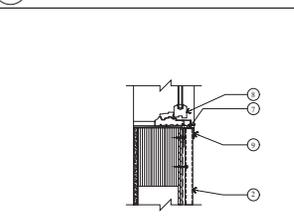
10 TYP. STAIR TREAD/RISER DETAIL
A5.1



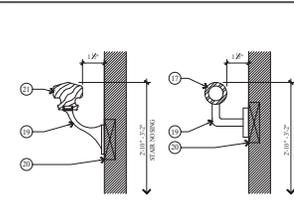
6 HEAD DETAIL
A5.1



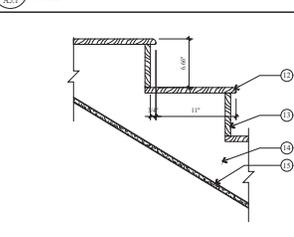
7 JAMB DETAIL
A5.1



8 SILL DETAIL
A5.1



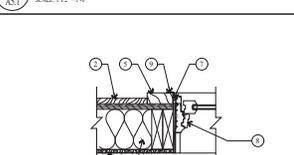
9 TYPICAL HANDRAIL DETAIL
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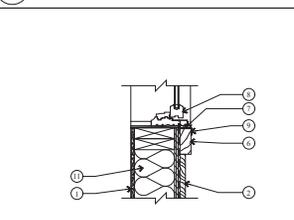
10 TYP. STAIR TREAD/RISER DETAIL
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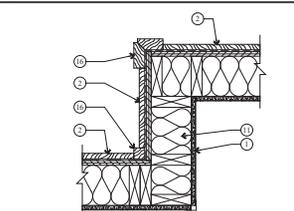
1 HEAD DETAIL
A5.1



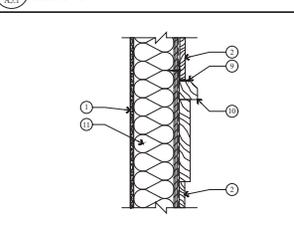
2 JAMB DETAIL
A5.1



3 SILL DETAIL
A5.1



4 INSIDE AND OUTSIDE CORNER TRIM DETAIL
A5.1



5 ACCENT BAND DETAIL
A5.1



KEY NOTES

- 1 1/2" GYPSUM BOARD ON 2x6 STUDS @ 16" O.C.
- EXTERIOR SIDING ON AIR VAPOR BARRIER ON 1 1/2" EXT. SHEATHING. SEE ELEVATIONS FOR SIDING TYPE.
- HEAD FLASHING TRIM.
- 2x4 WINDOW DOOR HEAD - STAINED
- 2x4 WINDOW DOOR JAMB - STAINED
- 2x4 WINDOW SILL - STAINED
- BACKER ROD AND CALK.
- WOOD ALUMINUM CLAD WINDOW W/ INSULATED GLASS - SEE SCHEDULE.
- METAL FLASHING.
- BEVELED 2x2 ON 2x2 CEDAR TRIM BOARD W/ METAL FLASHING.
- EXTERIOR WALLS TO BE 2x6 FRAMING W/ BIB INSULATION R-3.5 TYP.
- 3/4" HARDWOOD TREAD. SEE STAIR NOTES.
- 3/4" HARDWOOD TREAD. SEE STAIR NOTES.
- 2x12 STRINGERS.
- 2x12 GYPSUM BOARD.
- 2x4 CEDAR OUTSIDE CORNER BOARD, 2x2 CEDAR INSIDE CORNER BOARD - STAINED
- 1 1/2" DIA. STEEL PIPE - PAINTED.
- 6x6 END POST.
- HANDRAIL BRACKET.
- SOLID BACKING - TYP.
- HARDWOOD STANDARD MILL SHAPE HANDRAIL - STAINED
- 36" HIGH 2x4 SHAPED HARDWOOD CONT.
- 3/8" DIA. STEEL CABLE HORIZONTAL, SPACED LESS THAN 6" THROUGH 6x6 POSTS.
- TUBE STEEL COLUMN - SEE STRUCTURAL.
- 3/4" RIGID INSULATION.
- 1 1/2" STEEL CHANNEL STRINGER.
- 3/8" X 1/8" 1x12 GFR TREADS.
- 2x2x6" STEEL ANGLE W/ 2 X 2x4x2" LAG BOLTS.
- 36" HIGH WOOD TOP RAIL HAND GRIP TO BE STD. MILL SHAPE CONTINUOUS.
- 1 1/2" DIA. STEEL BALLAST, VERTICAL SPACED LESS THAN 4".
- HEATED AND REINFORCED CONCRETE STAIRS.
- 1/2" BUCK WELDED TO BOTTOM OF 2" x 12" TUBE STEEL STRINGERS.
- 2x12" TUBE STEEL STRINGERS.
- 5/8" TYP. "X" EXTERIOR GRADE GYP. BD.

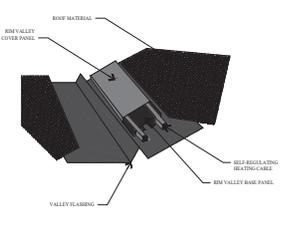
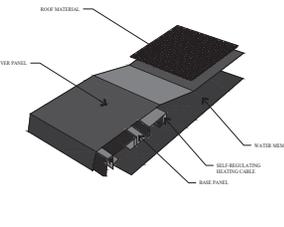
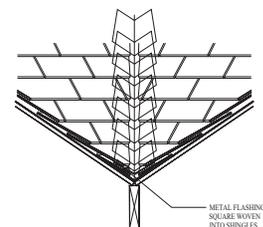
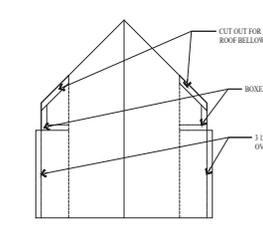
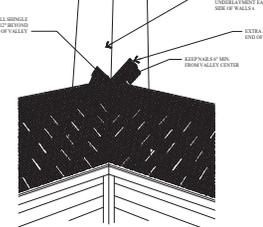
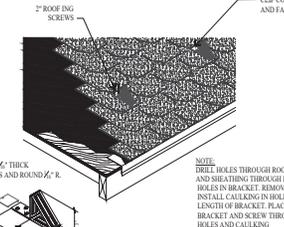
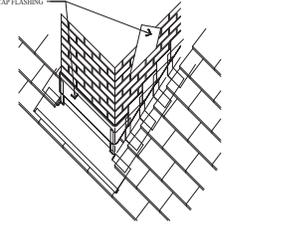
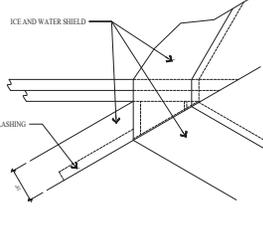
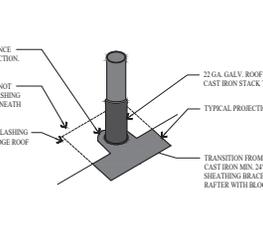
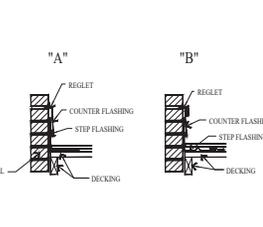
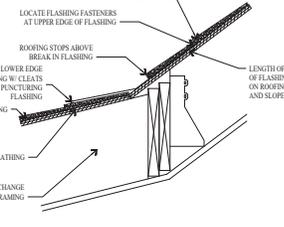
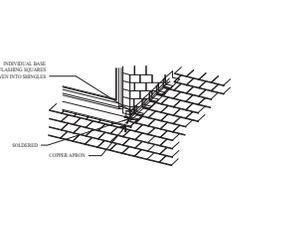
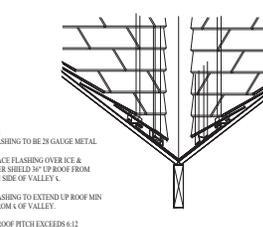
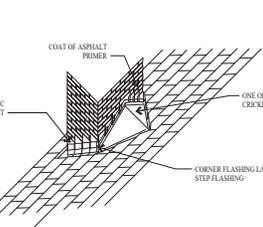
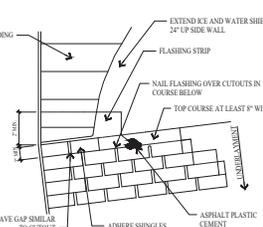
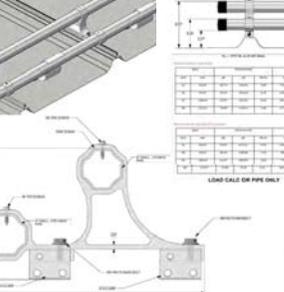
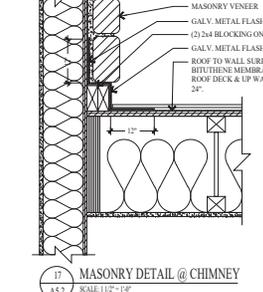
Jonathan DeGray
Architect
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Tel: 435-647-7923, E-mail: jon@jondgray.com

NEW RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW
1058 PARK AVENUE, LOT B
1058 PARK AVENUE, PARK CITY, UTAH 84060

ARCHITECTURAL NOTES
DETAILS

REVISIONS:
DATE: JULY 12, 2021
PROJECT NUMBER: 2106-02
SHEET NUMBER: A5.1

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 <p>1 VALLEY SNOW MELT DETAIL A5.2 NO SCALE</p>	 <p>2 EAVE SNOW MELT DETAIL A5.2 NO SCALE</p>	 <p>3 CLOSED VALLEY FLASHING A5.2 NO SCALE</p>	 <p>4 DORMER ROOF A5.2 NO SCALE</p>	 <p>5 WOVEN VALLEY DETAIL A5.2 NO SCALE</p>
 <p>6 SNOW BRACKET DETAIL A5.2 NO SCALE</p>	 <p>7 CHIMNEY FLASHING A5.2 NO SCALE</p>	 <p>8 DORMER FLASHING DETAIL A5.2 NO SCALE</p>	 <p>9 VENT FLASHING DETAIL A5.2 NO SCALE</p>	 <p>10 RAKE WALL FLASHING DETAIL A5.2 NO SCALE</p>
 <p>11 ROOF PITCH TRANSACTION DETAIL A5.2 NO SCALE</p>	 <p>12 FLASHING DETAIL A5.2 NO SCALE</p>	 <p>13 OPEN VALLEY DETAIL A5.2 NO SCALE</p>	 <p>14 CHIMNEY CRICKET FLASHING A5.2 NO SCALE</p>	 <p>15 ROOF/WALL FLASHING DETAIL A5.2 NO SCALE</p>
 <p>16 SNOW RETENTION BARS DETAIL A5.2 NO SCALE</p>		 <p>17 MASONRY DETAIL @ CHIMNEY A5.2 SCALE: 1/2" = 1'-0"</p>		

Jonathan DeGray
Architect

NEW RESIDENCE
HISTORIC DISTRICT DESIGN REVIEW
1058 PARK AVE. LOT B
1058 PARK AVENUE, PARK CITY, UTAH 84060

ROOF FLASHING DETAILS

REVISIONS:

DATE: JULY 12, 2021

PROJECT NUMBER: 2106-02

SHEET NUMBER:

A5.2

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ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR		WALLS				CEILING		REMARKS
		MATL	BASE	NORTH	EAST	SOUTH	WEST	HEIGHT	MATL	
LOWER LEVEL										
101	ENTRY	WOOD	WOOD	GSP	GTP	GTP	GTP	F-0112"	GSP	
102	BEDROOM	CABRET	WOOD	GSP	GTP	GTP	GTP	F-0112"	GTP	
103	BATH	FILE	FILE	GTP	GTP	GTP	GTP	F-0112"	GTP	
104	HALL	WOOD	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
105	GARAGE	CONCRETE	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	5/8" TYPE 'X' Gypsum BOARD
106	STORAGE	CONCRETE	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
107	MUDROOM	WOOD	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
108	POWDER	FILE	FILE	GTP	GTP	GTP	GTP	F-0112"	GTP	
109	LARDER	FILE	FILE	GTP	GTP	GTP	GTP	F-0112"	GTP	
110	BEDROOM	CABRET	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
111	BATH	FILE	FILE	GTP	GTP	GTP	GTP	F-0112"	GTP	
112	FAMILY ROOM	WOOD	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
113	BEDROOM	CABRET	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
114	BATH	FILE	FILE	GTP	GTP	GTP	GTP	F-0112"	GTP	
115	WET BAR	WOOD	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
116	KITCH	CONCRETE	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
117	STAIRS	WOOD	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
MAIN LEVEL										
201	DINING	WOOD	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
202	KITCHEN	WOOD	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
203	PANTRY	WOOD	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
204	POWDER	FILE	FILE	GTP	GTP	GTP	GTP	VARIABLES	GTP	
205	LYING ROOM	WOOD	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
206	HALL	WOOD	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
207	BATH	FILE	FILE	GTP	GTP	GTP	GTP	VARIABLES	GTP	
208	STUDY	WOOD	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
209	MSL BEDROOM	CABRET	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
210	MSL BATH	FILE	FILE	GTP	GTP	GTP	GTP	VARIABLES	GTP	
211	MSL LORET	CABRET	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
LOWER LEVEL - ACCESSORY										
101	BIB	WOOD	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
102	STORAGE	WOOD	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
103	STAIRS	WOOD	WOOD	GTP	GTP	GTP	GTP	F-0112"	GTP	
MAIN LEVEL - ACCESSORY										
201	BEDROOM	CABRET	WOOD	GTP	GTP	GTP	GTP	VARIABLES	GTP	
202	BATH	FILE	FILE	GTP	GTP	GTP	GTP	VARIABLES	GTP	

MARK	TYPE	SIZE		TYPE	FRAME MATL	EXTERIOR FINISH	INTERIOR FINISH	GLAZING	REMARKS
		WIDTH	HEIGHT						
A	2'0"	6'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		
B	5'0"	5'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		
C	2'0"	2'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		0.25" x 5/8" CASMENT MULLED-SEE ELEVATION
D	2'0"	5'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		
E	7'0"	5'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		0.25" x 5/8" CASMENT MULLED-SEE ELEVATION
F	2'0"	2'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		
G	5'0"	6'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		0.25" x 6" CASMENT MULLED-SEE ELEVATION
H	2'0"	7'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		
J	5'0"	6'0"	CASEMENT TRANSOM	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		0.25" x 7'0" TRANSOM 0.25" x 6" CASMENT MULLED-SEE ELEV.
K	5'0"	7'0"	CASEMENT	WOOD ALUM CLAD	MANUFACTURE	STAIN & VARNISH	INSULATED-LOW E		0.25" x 6" CASMENT MULLED-SEE ELEVATION

WINDOW NOTES

1. ALL WINDOWS OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION.
2. GLAZING IN HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. IRC SECTION R308.3 AND R308.4.
3. ALL WINDOWS IN BATHROOMS MUST BE TEMPERED GLASS.
4. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARC OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FEET STAIRS, OR GLAZING WITHIN 5 FEET OF SPAS OR POOLS, CERTAIN FIXED PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. IRC R-308.
5. EGRESS WINDOWS: FINISH SILL HT. MIN 48" FROM FLOOR MIN. CLEAR OPENING OF 5.7 S'4" MIN NET CLEAR OPENING 20" WIDTH AND 24" HT.
6. ALL WINDOWS TO HAVE A MIN. U-VALUE OF .31.

DOOR SCHEDULE										
MARK	TYPE	SIZE		DOOR MATL	DOOR FINISH	FRAME MATL	FRAME FINISH	HDWR TYPE	REMARKS	
		WIDTH	HEIGHT							
LOWER LEVEL										
101	ENTRY	3'0"	6'0"	1 3/4"	WOOD/GASS	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	INSL-LOW E-TEMP WEATHER STRIP-THRESHOLD-SEE ELEV.
102	OVERHEAD DOOR	8'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	GARAGE	AUTO DOOR OPENER
103	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
104	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
105	SHOWER	2'2"	7'0"	1/2"	GLASS	CLEAR			SHOWER	TEMP-ETRO/GLASS
106	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	
107	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
108	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	20 MIN. SELF LATCHING-SMOKE SEAL-THRESHOLD
109	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	
110	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
111	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
112	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
113	SHOWER	2'2"	7'0"	1/2"	GLASS	CLEAR			SHOWER	TEMP-ETRO/GLASS
114	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
115	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
116	SHOWER	2'2"	7'0"	1/2"	GLASS	CLEAR			SHOWER	TEMP-ETRO/GLASS
117	FRENCH	2'0"	6'0"	1 3/4"	WOOD/ALUM	STAIN & VARNISH	WOOD/ALUM	STAIN & VARNISH	LOCKSET	INSL-LOW E-TEMP WEATHER STRIP-THRESHOLD-SEE ELEV.
MAIN LEVEL										
201	PATIO	6'0"	6'0"	1 3/4"	WOOD/ALUM	STAIN & VARNISH	WOOD/ALUM	STAIN & VARNISH	LOCKSET	INSL-LOW E-TEMP WEATHER STRIP-THRESHOLD-SEE ELEV.
202	PATIO	6'0"	6'0"	1 3/4"	WOOD/ALUM	STAIN & VARNISH	WOOD/ALUM	STAIN & VARNISH	LOCKSET	INSL-LOW E-TEMP WEATHER STRIP-THRESHOLD-SEE ELEV.
203	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
204	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	
205	SHOWER	2'2"	7'0"	1/2"	GLASS	CLEAR			SHOWER	TEMP-ETRO/GLASS
206	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
207	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	
208	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
209	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
210	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	POCKET DOOR
211	PATIO	6'0"	6'0"	1 3/4"	WOOD/ALUM	STAIN & VARNISH	WOOD/ALUM	STAIN & VARNISH	LOCKSET	INSL-LOW E-TEMP WEATHER STRIP-THRESHOLD-SEE ELEV.
212	PATIO	6'0"	6'0"	1 3/4"	WOOD/ALUM	STAIN & VARNISH	WOOD/ALUM	STAIN & VARNISH	LOCKSET	INSL-LOW E-TEMP WEATHER STRIP-THRESHOLD-SEE ELEV.
213	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
214	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
215	SHOWER	2'2"	7'0"	1/2"	GLASS	CLEAR			SHOWER	TEMP-ETRO/GLASS
ACCESSORY - LOWER LEVEL										
101	FRENCH	2'0"	6'0"	1 3/4"	WOOD/ALUM	STAIN & VARNISH	WOOD/ALUM	STAIN & VARNISH	LOCKSET	INSL-LOW E-TEMP WEATHER STRIP-THRESHOLD-SEE ELEV.
102	OVERHEAD DOOR	8'0"	6'0"	1 3/4"	ALUM/GLASS	CLEAR	ALUM/GLASS	CLEAR	GARAGE	AUTO DOOR OPENER
103	PATIO	6'0"	6'0"	1 3/4"	WOOD/ALUM	STAIN & VARNISH	WOOD/ALUM	STAIN & VARNISH	LOCKSET	INSL-LOW E-TEMP WEATHER STRIP-THRESHOLD-SEE ELEV.
104	STYLE & RAIL	2'2"	7'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	
ACCESSORY - MAIN LEVEL										
301	STYLE & RAIL	2'0"	6'0"	1 3/4"	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	
302	SHOWER	2'2"	6'0"	1/2"	GLASS	CLEAR			SHOWER	TEMP-ETRO/GLASS

DOOR NOTES

1. ALL DOOR OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION.
2. ALL DOORS TO BE 1 3/4" SOLID CORE UNLESS NOTED OTHERWISE.
3. ALL SHOWER DOORS AND GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. IRC SECTION R308.3 AND R308.4.
4. FRENCH/PATIO/TERRACE/ANNONA DOORS TO BE SUPPLIED BY WINDOW MANUFACTURE TO HAVE A U-VALUE OF .31 MINIMUM.
5. AUTOMATIC GARAGE DOOR OPENERS SHALL BE TESTED IN ACCORDANCE WITH UL325 - IRC 309.4.

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NEW RESIDENCE
 HISTORIC DISTRICT DESIGN REVIEW
 1058 PARK AVE. LOT B
 1058 PARK AVENUE, PARK CITY, UTAH 84060

DOOR, WINDOW AND ROOM
 SCHEDULES

DATE: JULY 12, 2021
 PROJECT NUMBER: 2106-02
 SHEET NUMBER: A6.1

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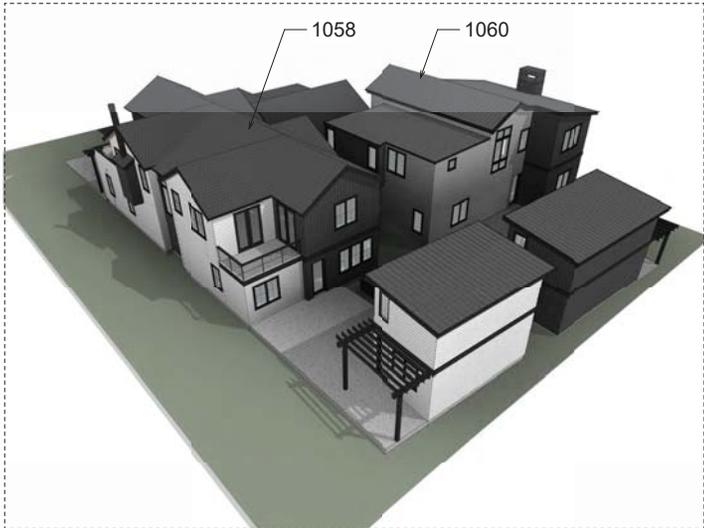
WEST



NORTH



SOUTH



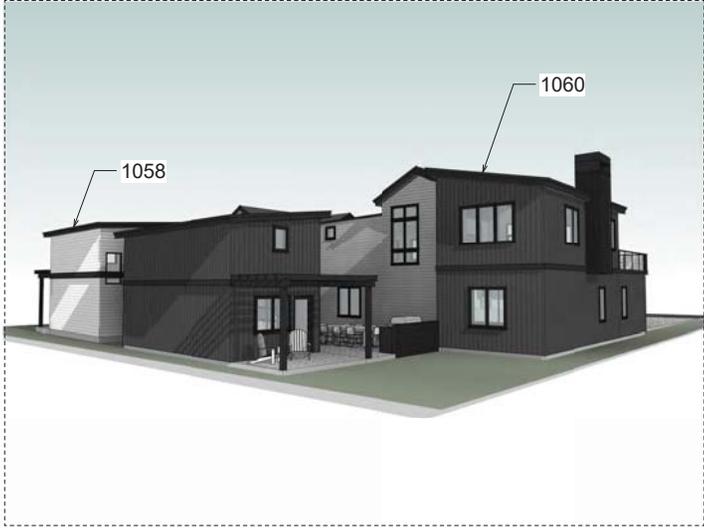
EAST

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PROJECT INFORMATION 1058 & 1060 PARK AVE PARK CITY, UT 84060	
SHEET DESCRIPTION BIRDSEYE IMAGES	
REVISIONS:	
DATE:	
PROJECT NUMBER:	
SHEET NUMBER:	AI-01

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WEST



NORTH



SOUTH



EAST

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PROJECT LOCATION
1058 & 1060 PARK AVE
PARK CITY, UT 84060

PROJECT LOCATION

GROUND VIEW IMAGES

REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

AI-02

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SHEET DESCRIPTION
STREETSCAPE

REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

AI-03