



**PARK CITY PLANNING DEPARTMENT ADMINISTRATIVE PUBLIC HEARING MEETING  
SUMMIT COUNTY, UTAH  
October 20, 2022**

**REGULAR AGENDA - 12:00 PM**

**668 Coalition View Court - Administrative Permit** - The Applicant Requests the Planning Director Approve a Portion of a Retaining Wall That Exceeds Four Feet in Height in the Front Setback. PL-22-05384  
(A) Public Hearing; (B) Action  
[668 Coalition View Court Staff Report](#)  
[Exhibit A: Draft Final Action Letter](#)  
[Exhibit B: Applicant's Narrative](#)  
[Exhibit C: Approved Landscaping Plans](#)

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or [planning@parkcity.org](mailto:planning@parkcity.org) at least 24 hours prior to the meeting.

**\*Parking is available at no charge for Council meeting attendees who park in the China Bridge parking structure.**

# Planning Department Staff Report



**Subject:** 668 Coalition View Court  
**Application:** PL-22-05385  
**Author:** Spencer Cawley, Planner II  
**Date:** October 20, 2022  
**Type of Item:** Administrative Permit

## Recommendation

Staff recommends the Planning Director (I) hold a public hearing and (II) consider approving an Administrative Permit for a retaining wall that exceeds four feet in the Front Setback subject to the Findings of Fact, Conclusions of Law, and Conditions of Approval as outlined in the Draft Final Action Letter (Exhibit A).

## Description

Applicant: Leonardo Trautwein  
Location: 668 Coalition View Court  
Zoning District: Residential Development  
Adjacent Land Uses: Single-Family Dwellings; Multi-Unit Dwellings; Open Space  
Reason for Review: The Planning Department reviews and approves Administrative Permits<sup>1</sup>

## Abbreviations

CUP Conditional Use Permit  
LMC Land Management Code  
RD Residential Development

*Terms that are capitalized as proper nouns throughout this staff report are defined in LMC § [15-15-1](#).*

## Background

668 Coalition Court is in the Residential Development (RD) Zoning District and is Lot 11 of the Snow Park Subdivision. This Lot is identified with Summit County as Parcel Number SP-11.

On April 30, 2022, the Applicant received a Building Permit to landscape their property. As part of the landscape plan, the Applicant proposed to remove and replace an existing railroad tie retaining wall along the driveway. Upon final inspection, the new wall reached more than four feet in height within the Front Setback. The following is taken from the Applicant's statement (Exhibit B):

*The first two sections of the retaining wall are under or at four feet. The third section is higher than four feet (precise measurement is 73 inches). To make [this wall] compliant, we would have to cut and remove the top 25 inches, which*

---

<sup>1</sup> LMC [§ 15-1-8\(E\)](#)

*is roughly the top four timbers.*

*Unfortunately, this is not possible due to my neighbors retaining wall... If we remove the [top 25 inches] from my retaining wall, his retaining wall would collapse over my driveway/lot.*

The following image, taken from the Building Permit final inspection photos, shows the Applicant's retaining wall on the left and the neighbor's rock retaining wall above, and to the right.



These images, taken from the Applicant's narrative, show the section of the wall that is above four feet in height:



On September 16, 2022, the Applicant submitted an Administrative Permit to the

Planning Department. Staff determined the Application was complete on September 22, 2022.

**Analysis**

**(I) The request for a retaining wall complies with the Residential Development (RD) Zoning District requirements pursuant to LMC § 15-2.13-3.**

The Front Setback must be open and free of any Structure. However, the height of a retaining wall in the Front Setback may exceed four feet, measured from Final Grade, subject to approval by the Planning Director and City Engineer.<sup>2</sup>

The height of retaining walls is measured from Final Grade within the required Setbacks. The table below shows the requirements for Setbacks in the RD Zoning District:<sup>3</sup>

RD Zoning District Setback Requirement	Analysis of Proposal
Front: 20 feet	Exceeds four feet in height but does not exceed six feet in height.  <b>Administrative Permit Required</b>
Rear: 15 feet	Not Applicable
Side: 15 feet	Not Applicable

**(II) The proposal meets the standards of LMC [§ 15-4-2\(A\)\(1\)](#), *Fences and Retaining Walls*.**

The height of retaining walls in the Front Setback may exceed four feet, measured from Final Grade, subject to approval by the Planning Director and City Engineer, and may exceed six feet in height subject to an Administrative Conditional Use Permit.

The Applicant’s retaining wall is approximately six feet tall in the Front Setback. The retaining wall does not exceed six feet in height at any point.

**Department Review**

The Planning Department and Engineering Department reviewed this Application.

**Notice**

Staff mailed notice to adjacent property owners on October 10, 2022. Notice to the

---

<sup>2</sup> LMC [§ 15-4-2\(A\)\(1\)](#)

<sup>3</sup> LMC [§ 15-2.13-3](#)

property was posted on October 10, 2022.<sup>4</sup>

### **Public Input**

Staff did not receive any public input at the time this report was published.

### **Alternatives**

- The Planning Director may approve the Administrative Permit;
- The Planning Director may deny the Administrative Permit and direct staff to make Findings for the denial; or
- The Planning Director may request additional information and continue the discussion to a date certain.

### **Exhibits**

Exhibit A: Draft Final Action Letter  
Exhibit B: Applicant's Statement  
Exhibit C: Approved Landscaping Plan

---

<sup>4</sup> LMC [§ 15-1-21](#).



**Planning Department**

October 20, 2022

Leonardo Trautwein  
PO Box 2021  
Park City, UT 84060  
(646) 306-1657

**NOTICE OF PLANNING DIRECTOR ACTION**

**Description**

Address: 668 Coalition View Court  
Zoning District: Residential Development  
Application: Administrative Permit  
Project Number: PL-22-05385  
Action: APPROVED WITH CONDITIONS (See Below)  
Date of Final Action: October 20, 2022  
Project Summary: The Applicant Requests an Administrative Permit For A Portion of A Landscaping Retaining Wall That Is Taller Than Four Feet In Height In the Front Setback.

**Action Taken**

On October 20, 2022, the Planning Director conducted a public hearing and approved an Administrative Permit according to the following Findings of Fact, Conclusions of Law, and Conditions of Approval.

**Findings of Fact**

1. The property is located at 668 Coalition View Court and is in the Residential Development Zoning District
2. The Lot is identified with Summit County as Parcel Number SP-11
3. On April 30, 2022, the Applicant received a Building Permit to landscape their property
4. A new retaining wall was installed along the driveway as part of the landscaping project



**Planning Department**

5. Upon final inspection, the new wall reached more than four feet in height within the Front Setback.
6. The wall does not exceed six feet.

**Conclusions of Law**

1. The application is consistent with LMC Chapter 15-2.13, *Residential Development (RD) District*, and LMC § 15-4-2(A)(1), *Fences and Retaining Walls*
2. The effects of any difference in Use or scale have been mitigated through careful

**Conditions of Approval**

1. No signs or lighting are proposed with this Permit.
2. No exterior lighting is proposed or approved with this Permit. Exterior lighting must be Fully Shielded and cannot exceed 3,000 degrees Kelvin. Any exterior lighting must be reviewed and approved by the Planning Department prior to installation.

If you have questions or concerns regarding this Final Action Letter, please call (435)-615-5065 or email [spencer.cawley@parkcity.org](mailto:spencer.cawley@parkcity.org).

Sincerely,

Gretchen Milliken  
Planning Director

CC: Spencer Cawley, Project Planner

September 6, 2022

To the Park City Planning Department-

My name is Leo Trautwein and I'm the homeowner at 668 Coalition View Ct, Park City-Utah. Last year, we received permit (Permit #: 20-399) to initiate landscaping work at our property, which included rebuilding our driveway and retaining wall that goes around the driveway.

During final inspection, Heather Wasden pointed out that a small section of the retaining wall, which is within 20 feet from front property line, is higher than it should be. Heather is accurate as per pictures below.



Picture 1: 20ft mark from property line



Picture 2: Retaining wall section higher than 4ft.

As per Picture 1, the measurement tape is at 20ft from front property line. The first two sections of the retaining wall are under or at 4ft (Picture 3 below). The third section, highlighted at Picture 2, is higher than 4 ft (precise measurement is 73 inches as per Picture 4 below). To make it compliant, we would have to cut and remove the top 25 inches of the third section, which is roughly the top 4 timbers (highlighted at Picture 2).



Picture 3: First 2 sections under 48 inches



Picture 4: Third section at 73 inches

Unfortunately, this is not possible due to my neighbors retaining wall. If you look at the Pictures 5, 6 and 7 below, you will notice a segment of his retaining wall rests on ours at around 6 ft. If we remove the 4 top timbers from my retaining wall, his retaining wall would collapse over my driveway/lot. In other words, my retaining wall and his are “holding each other up”. This is the reason we had to make it ~2ft taller.



*Picture 5: Far view from both walls*



*Picture 6: Far view from both walls*



*Picture 7: Close view of walls meeting point*

I'm also attaching the drawings submitted for permit which unfortunately failed to show the 3<sup>rd</sup> section of the retaining wall above 4 feet. This is something we found out during construction.

I already discussed the matter with my neighbor, Frank Watanabe (656 Coalition View Ct) and he has no objection to keeping the retaining walls as is. He can be reached via email at [fwatanabe@usa.net](mailto:fwatanabe@usa.net) or cellphone at 805.559.1754. The other neighboring lot is

at 667 Coalition View Ct. The owner is Sydney Reed but I haven't had the chance to discuss this matter with her. I don't expect her to object to this anyway.

I'm submitting this letter, completed administrative permit/conditional use permit, completed public notice template and the original approved drawings with the request to approve the retaining wall as built so this permit can be closed.

I'm available for any questions via email at [trautwein@gmail.com](mailto:trautwein@gmail.com) and cellphone at (646) 306-1597.

Thanks for your time.

Leo Trautwein

# WOODEN WALL

668 COALITION VIEW COURT  
PARK CITY UT 84060

PROJECT: 1818  
CONSTRUCTION DOCS

09.10.2019

## PRIMARY CONTACT



LANDSCAPE ARCHITECT + PLANNER  
750 KEARNS BLVD. PARK CITY UT. 84060  
OFFICE: 435.649.3856 EMAIL: HELLO@BOCKHOLTLA.COM

### PROJECT DESCRIPTION

HAVING RECENTLY COMPLETED A RENOVATION OF AN EXISTING HOME, THE TRAUTWEIN'S ARE NOW TURNING THEIR ATTENTION TOWARDS CREATING FUNCTIONAL OUTDOOR SPACES, WHILE INCREASING ACCESSIBILITY, AND RESTORING DISTURBANCES TO THE LAND.

THIS PROJECT CONSISTS OF BUT IS NOT LIMITED TO: SITE DEMOLITION, TREE REMOVAL, EXCAVATION AND HAUL OFF, DRIVEWAY REPLACEMENT, MECHANICAL SYSTEMS, PAVING, GRADE RETENTION, CARPENTRY, IMPORT OF FILL BOTH ENGINEERED AND ORGANIC, LANDSCAPE AND IRRIGATION SYSTEMS.

## JURISDICTION APPROVALS AREA



## LOCATION MAP



### LOT INFORMATION

PARCEL NUMBER SP-11

ACCOUNT NUMBER 30837

JURISDICTION: PARK CITY MUNICIPAL CORPORATION

ZONE: RD RESIDENTIAL DEVELOPMENT.

OWNER: TRAUTWEIN, LEONARDO H/W (JT)  
852 N. ROCKWELL ST  
CHICAGO IL 60622-4555

PHYSICAL ADDRESS:  
668 COALITION VIEW CT

LOT: 11, SUBDIVISION: SNOW PARK  
PARCEL SIZE : 0.4845 ACRES

\*THERE IS A GRANT OF ACCESS EASEMENT ENTRY NO. 237272 BOOK 350, PG 748 ON THE LOT AND IS SHOWN IN THE SITE PLAN L-200

## SHEET INDEX

SHEET	SHEET TITLE	REV 1 DATE	REV 2 DATE	REV 3 DATE	REV 4 DATE
CV	COVER SHEET				
001	REFERENCED SURVEY				
L-001	GENERAL INFORMATION				
L-002	CONSTRUCTION MITIGATION				
L-100	SITE DEMOLITION				
L-200	SITE PLAN				
L-401	SITE DETAILS				
L-402	SITE DETAILS				
L-500	PLANTING PLAN				
L-600	PLANTING DETAILS				
S-1	STURCTURAL				

### LANDSCAPE ARCHITECT'S STATEMENT

I, SETH J. BOCKHOLT DO HEREBY CERTIFY THAT I AM A LICENSED LANDSCAPE ARCHITECT IN THE STATE OF UTAH, LICENSE NO. 6024059-5301, AS PRESCRIBED UNDER THE LAWS OF UTAH. I FURTHER CERTIFY THAT I AM FULLY RESPONSIBLE FOR THE DESIGN OF THE DRIVEWAY, DRAINAGE, AND OTHER IMPROVEMENTS/ DEVELOPMENT OF THE LAND SHOWN ON THE SITE PLAN.

*Seth J. Bockholt*  
SETH J. BOCKHOLT

EXP. 05/31/2020

## RECEIVED BY STAMP



## CONSULTANTS

### LANDSCAPE ARCHITECTURAL

Seth Bockholt, PLA  
Bockholt INC.  
750 Kearns Blvd #230  
Park City, UT 84060  
(801) 602-9951  
seth@bockholtla.com



### STRUCTURAL ENGINEERING

John Riley, PE  
Epic Engineering  
50 E. 100 South  
Heber City, UT 84032  
(508) 264-0074  
jriley@epiceng.net

### LAND SURVEYOR

Shane Johanson, PLS  
Johanson Survey  
PO Box 18941  
Salt lake City UT 84118  
(801) 815-2541  
sjohansoneng@gmail.com



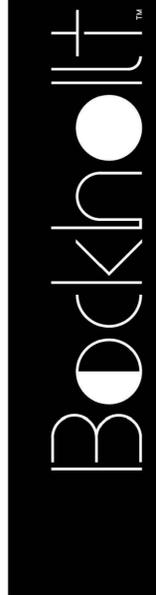
# WOODEN WALL

668 COALITION VIEW COURT  
PARK CITY UT 84060

PROJECT: 1818  
CONSTRUCTION DOCS

10.9.2019

GENERAL INFORMATION



LANDSCAPE ARCHITECT  
750 KEARNS BLVD.  
PARK CITY UT. 84060  
OFFICE: 435.649.3856  
EMAIL: SETH@BOCKHOLT.LA.COM



L-001

### ABBREVIATIONS

AD	AREA DRAIN	MIN	MINIMUM
ALUM	ALUMINUM	MTL	METAL
ASSY	ASSEMBLY	NIC	NOT IN CONTRACT
AWG	AMERICAN WIRE GAUGE	NOM	NOMINAL
BASMT	BASEMENT	NOT TO SCALE	NOT TO SCALE
BOT	BOTTOM	OC	ON CENTER
BS	BOTTOM OF STEPS	OD	OUTER DIAMETER
CB	CATCH BASIN	PC	POLY CARBONATE
CIP	CAST IN PLACE	PCC	PRE-CAST CONCRETE
CHNL	CHANNEL	PL	PROPERTY LINE
CJ	CONTROL JOINT	PLUMB	PLUMBING
CL	CENTER LINE	PT	PRESSURE TREATED
CMU	CONCRETE MASONRY UNIT	PFP	PROTECT IN PLACE
CO	CLEAN OUT	PNT	PAINT OR PAINTED
COL	COLUMN	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	RD	ROOF DRAIN
CONT	CONTINUOUS	REF	REFERENCE
BOW	BOTTOM OF WALL	REV	REVISION
DEMO	DEMOLISH OR DEMOLITION	RIM	RIM ELEVATION
DIA	DIAMETER	SPEC	SPECIFIED /SPECIFICATION
DI	DRAIN INLET	SSTL	STAINLESS STEEL
DIM	DIMENSION	STD	STANDARD
DN	DOWN	STRUCT	STRUCTURE OR STRUCTURAL
DWG	DRAWING	TAP	TAPED HOLE, DRILLED
EJ	EXPANSION JOINT	T&G	TONGUE AND GROOVE
ELEC	ELECTRICAL	TELE	TELEPHONE
ELEV	ELEVATION	THR	THREAD
EXIST	EXISTING	THRU	THROUGH
EXP JT	EXPANSION JOINT	TO	TOP OF
EXT	EXTERIOR	TOC	TOP OF CONCRETE
FD	FLOOR DRAIN	TOW	TOP OF WALL
FIXT	FIXTURE	TB	TOP OF BERM
FLR	FLOOR	TC	TOP OF CURB
FFE	FINISH FLOOR ELEVATION	TEC	TOP OF POOL COPING
FG	FINISH GRADE	TF	TOP OF FOOTING
FL	FLOW LINE	TG	TOP OF GRATE
FND	FOUNDATION	TS	TOPS OF STEPS
GA	GAUGE	TW	TOP OF WALL
GB	GRADE BREAK	TYP	TYPICAL
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
HP	HIGH POINT	WL	WATER LEVEL
IAW	IN ACCORDANCE WITH		
ILO	IN LIEU OF		
INV	INVERT ELEVATION		
MAX	MAXIMUM		
MECH	MECHANICAL		
MEMBR	MEMBRANE		
MH	MANHOLE		

### LEGEND

HATCH SYMBOL	MATERIAL DESCRIPTION	HATCH SYMBOL	MATERIAL DESCRIPTION
	BRICK OR STONE CLADDING ALSO CAN IDENTIFY AREA FOR DEMOLITION IN PLAN VIEW		GEOTEXTILE
	BITUMINOUS PAVING		GABION OR HILFIKER
	CAST IN PLACE CONCRETE		DIRECTION OF SURFACE DRAINAGE
	CONCRETE MASONRY UNIT		SPOT ELEVATION (PROPOSED)
	UNDISTURBED SUBGRADE, OR COMPACTED FILL		CATCH BASIN RIM AND INVERT ELEVATIONS
	LOOSE AMENDED OR IMPORTED TOPSOIL		STORM DRAIN SIZE, TYPE AND SLOPE
	ORGANIC MULCH		STORM DRAIN MANHOLE
	MINERAL MULCH		SANITARY SEWER LINE
	STONE		SANITARY SEWER MANHOLE
	BRICK		NATURAL GAS LINE
	PRECAST CONCRETE		WATER MAIN LINE
	METAL		FIRE HYDRANT
	ROUGH WOOD		SECTION FLAG
	FINISHED WOOD		MATCH LINE
	GRAVEL OR CRUSHED ROCK		REVISION CLOUD
	PLASTER, SAND, GROUT OR MORTAR		SHEET CALLOUT OR ENLARGED AREA PLAN

PRECEDENCE OVER SCALE, LARGER SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.

CONTRACTOR TO LAY OUT HARDSCAPE ELEMENTS AND VERIFY LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. HARDSCAPE ELEMENTS ARE DIMENSIONED ON THE LANDSCAPE LAYOUT PLAN. ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS OR OTHER DRAWINGS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY FOR PROPER CLARIFICATION OR ADJUSTMENT.

FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDING IMPROVEMENTS, AND RELATED WORK, REFER TO THE ARCHITECTURAL DRAWINGS.

WHERE DIMENSIONS ARE CALLED AS "EQUAL," SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.

MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINES IS AS INDICATED.

INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.

PROVIDE EXPANSION JOINTS WHERE CONCRETE FLATWORK MEETS VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDING ELEMENTS.

### IRRIGATION

THE CONTRACTOR SHALL NOTIFY BLUE STAKES 3 DAYS BEFORE ANY EXCAVATION FOR PLANTING BEGINS.

THE CONTRACTOR SHALL HAND DIG ANY PLANTING PITS WITHIN THE 3' OFFSET LIMITS OF ANY MARKED UTILITY.

THE CONTRACTOR MUST BE PROACTIVE IN THEIR ACQUISITION OF THE LISTED COMPONENTS.

THE CONTRACTOR SHALL PERFORM A PRESSURE TEST AND CONFIRM THE DESIGN PRESSURE OR INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCY.

THE CONTRACTOR SHALL INSTALL ALL MAIN LINES 2' DEEP AND ALL LATERAL LINES 1' DEEP.

THE IRRIGATION CONTRACTOR MUST COORDINATE WITH THE CONCRETE AND PAVING CONTRACTORS TO INSTALL SLEEVES RELATED TO IRRIGATION PRIOR TO PAVING.

THE IRRIGATION CONTRACTOR SHALL INCLUDE THE POWER TO THE CONTROLLER IN THEIR SCOPE OF WORK AND BID.

BACKFILL ALL TRENCHES WITH CLEAN SOIL FREE FROM ROCKS OVER 1" IN SIZE. USE IMPORTED SOILS OR SAND IF NECESSARY.

THE IRRIGATION CONTRACTOR SHALL INCLUDE ONE WINTERIZATION OF THE SYSTEM AND ONE SPRING START-UP IN THEIR SCOPE AND BID FOR THIS WORK.

### CONCRETE WASHOUT

LOCATE WASHOUT AREA A MINIMUM OF 50 FEET FROM OPEN CHANNELS, STORM DRAIN INLETS, WETLANDS OR WATER BODIES. LOCATE WASHOUT AREA SO THAT IT IS ACCESSIBLE TO CONCRETE EQUIPMENT (SERVICE WITH A MINIMUM 10 FOOT WIDE GRAVEL ACCESS WAY)

MINIMUM DIMENSIONS FOR CONSTRUCTED CONCRETE WASHOUT AREAS ARE 6FEET BY 6 FEET BY 3 FEET DEEP, WITH A MINIMUM 10MIL POLYETHYLENE LINER, 2:1 SIDE SLOPES, AND A 1 FOOT HIGH BY 1 FOOT WIDE COMPACTED FILL BERM.

THE LINER MUST BE FREE OF TEARS OR HOLES

PROVIDE A SIGN DESIGNATING THE WASHOUT AREA,

CW ADAPTED FROM COLORADO URBAN STORM DRAINAGE CRITERIA MANUAL, VOL. 3

TO, AT HIS OWN EXPENSE LOCATE ALL EXISTING OVERHEAD AND UNDERGROUND INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND IS TO TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THEM. THE CONTRACTOR IS TO USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT AND IS TO BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.

THE CONTRACTOR IS TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT ALL EXISTING STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE FROM DAMAGE. ALL SUCH IMPROVEMENTS WHICH ARE DAMAGED BY THE CONTRACTORS ARE TO BE REPAIRED OR REPLACED SATISFACTORILY TO THE OWNING COMPANY OR INDIVIDUAL AT THE EXPENSE OF THE CONTRACTOR

### SNOW REMOVAL

SNOW PLOWED FROM DRIVE SHALL NOT BE PUSHED ONTO THE STREET

### PLANTING

THE CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE LOCATION OF ALL UNDERGROUND UTILITIES. THEY SHALL NOTIFY BLUE STAKES 3 DAYS BEFORE ANY EXCAVATION FOR PLANTING BEGINS.

THE CONTRACTOR SHALL HAND DIG ANY PLANTING PITS WITHIN THE 3' OFFSET LIMITS OF ANY MARKED UTILITY.

THE CONTRACTOR MUST BE PROACTIVE IN THEIR ACQUISITION OF THE LISTED SPECIES. ALL PLANTS MUST CONFORM TO ALL STATE REQUIREMENTS FOR NURSERY STOCK.

THE CONTRACTOR SHALL PROVIDE A SOILS TEST FOR THE SITE IF ONE HAS NOT YET BEEN PROVIDED. AND REPORT THE FINDINGS TO THE LANDSCAPE ARCHITECT 3 DAYS PRIOR TO PLANTING OR PLACING TOPSOIL.

THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 2 DAYS PRIOR TO WHEN PLANTS WILL BE LAID OUT SO THAT THE LANDSCAPE ARCHITECT MAY ADJUST THEM ONSITE AS REQUIRED.

IF TREES AND PLANTS ARE TO BE STOCKPILED ONSITE, A TEMPORARY IRRIGATION SYSTEM ON AN AUTOMATIC TIMER MUST BE SET UP PRIOR TO THEIR DELIVERY. ANY PLANTS ON SITE NOT SUFFICIENTLY MAINTAINED WILL BE REJECTED AT THE FULL DISCRETION OF THE LANDSCAPE ARCHITECT.

ALL PLANTS SHALL BE TRUE TO NAME AND SIZE OR AN ACCEPTED SUBSTITUTE APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST REPLACE ANY PLANT MATERIAL FOUND TO BE FOREIGN TO THIS LIST. CONTRACTOR MUST SUBMIT SUBSTITUTIONS IN WRITING AND PROVIDE PRECEDENCE.

UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL AMEND AND TILL EXISTING SOILS TO A DEPTH OF AT LEAST 6" OBTAIN A NEUTRAL PH WITH APPROXIMATELY 4% MINIMUM ORGANIC CONTENT.

DO NOT STAKE TREES UNLESS THEY ARE PLACED ON 30% SLOPE OR GREATER. OR IN AREAS OF HIGH WIND SUCH AS RIDGE LINES.

CONTRACTOR WILL INSTALL ALL PLANTINGS PER THE DETAILS PROVIDED.

ALL PLANTING PITS ARE TO BE 3 TIMES AS LARGE AS PLANT ROOTBALL OR CONTAINER.

CONTRACTOR INSTALLING PLANTS WILL BE RESPONSIBLE FOR THEM FOR ONE YEAR AFTER INSTALLATION. REPLACEMENTS SHALL BE THE SAME SPECIES AND SIZE.

ALL SHRUB/TREE AREAS TO HAVE 3"-5" OF ORGANIC MULCH. GROUND COVER AREAS TO HAVE 1"-2" ORGANIC MULCH.

### LAYOUT

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE

PERFORMANCE OF THE THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

LANDSCAPE ARCHITECT WILL BE RESPONSIBLE FOR CONSTRUCTION REVIEW FOR CONTRACTOR'S PERFORMANCE AND IS NOT RESPONSIBLE TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.

BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE EROSION STORM WATER POLLUTION PREVENTION PLAN AND/OR PERMIT.

THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR VARIATIONS.

EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE PERMANENTLY REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.

UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF CONTRACTOR.

IF APPROPRIATE, REFER TO THE ENVIRONMENTAL PLANS AND SPECIFICATIONS FOR HAZARDOUS MATERIAL REMEDIATION.

CONTRACTOR TO PROVIDE WHEN NECESSARY PROTECTION TO ALLOW SAFE PASSAGE OF PEOPLE OR VEHICLES AROUND SELECTIVE DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF BUILDING. ANY BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS & FLAGMEN. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE UTAH DEPARTMENT OF TRANSPORTATION STANDARDS.

DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.

REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE.

EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN APPROVED LANDFILL.

DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.

SEE LANDSCAPE ARCHITECTURAL PLANS FOR HARDSCAPE APPLICATION INFORMATION.

### GRADING

ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE TO THE STREET OR ON APPROVED DRAINAGE COURSE BUT NOT ONTO THE NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'. -IRC R401.3

### UTILITY

ALL NEW UTILITIES ARE TO BE UNDERGROUND

ABOVE GRADE UTILITY BOX TO BE IN SCREENED LOCATION

VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE LOCATION OF UTILITIES

THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES OR PIPES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON THE PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR IS

REGARDING RE-VEGETATION OF DISTURBED AREAS.

CONSTRUCTION SIGN SHALL INCLUDE: CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER. NAME, ADDRESS, AND PHONE NUMBER OF PERSON RESPONSIBLE FOR THE PROJECT. PHONE NUMBER OF PARTY TO CALL IN CASE OF EMERGENCY

### SWPP

AREA TO BE DISTURBED SHALL BE MAINTAINED AS THE CONSTRUCTION LIMIT LINE OR LIMITS OF DISTURBANCE AS SHOWN.

ON SITE SOILS QUALITY: CONTRACTOR IS TO COORDINATE SOILS REPORT WITH LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL ERECT A SILT FENCE AND STRAW WATTLE ON DOWNHILL SIDE OF DISTURBANCE BOUNDARY.

SAND BAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH STRAW BALES

AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE LOCATIONS.

STORM WATER SHALL BE DIVERTED TO EXISTING DRAINAGE SYSTEMS. EXISTING LINES SHALL BE INSPECTED PRIOR TO COMPLETION AND CLEANED IF NECESSARY.

THE NATURE OF THIS PROJECT WILL CONSIST OF SURFACE FEATURE DEMOLITION, HARDSCAPE CONSTRUCTION & SOFTSCAPE CONSTRUCTION.

CONTRACTOR WILL CONSTRUCT STABILIZED CONSTRUCTION ACCESS AND PARKING. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND /OR LANDSCAPE PLAN.

ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED.

DAILY INSPECTIONS BY THE PROJECT SUPERINTENDENT, BI-WEEKLY INSPECTIONS BY THE CONTRACTOR'S COMPLIANCE OFFICER, AND MONTHLY INSPECTIONS BY THE OWNER'S CONSTRUCTION MANAGER MUST BE MADE TO DETERMINE THE EFFECTIVENESS OF THE SWPPP.

### SITE DEMO

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES.

CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE

### GENERAL

THIS DESIGN IS AN ORIGINAL PUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED, AND/OR USED WITHOUT THE WRITTEN CONSENT OF BOCKHOLT INC.

ANY QUANTITIES OR DIMENSIONS GIVEN HERE ARE SCHEMATIC IN PLAN SPACE AND MAY VARY FROM ACTUAL OR REAL FIGURES. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL ACTUAL AND REAL CONDITIONS, AND CONSULT THE LANDSCAPE ARCHITECT IF THERE IS ANY CONCERN.

ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.

THE CONTRACTOR SHALL NOTIFY BLUE STAKES OR OTHER PROPER GOVERNING AGENCIES PRIOR TO ANY WORK. USUALLY 3 DAYS IS REQUIRED BETWEEN TIME OF NOTICE TO TIME THE UTILITIES ARE PROPERLY MARKED, BUT THIS MAY VARY.

THE CONTRACTOR SHALL HAND DIG WITHIN THE UTILITY OFFSET ZONE.

THE CONTRACTOR SHALL BE ENTIRELY AND SOLELY RESPONSIBLE TO REPAIR OR REPLACE AND DAMAGED OR DESTROYED EXISTING AND NEWLY INSTALLED FEATURES. THE OWNER SHALL HAVE THE FINAL SAY REGARDING WHAT IS DAMAGED OR DESTROYED AND WHEN IT HAS BEEN REPAIRED OR REPLACED.

THE CONTRACTOR SHALL INFORM THE LANDSCAPE ARCHITECT IF THERE IS ANY NEED OR DESIRE TO DEVIATE FROM THESE PLANS. IF ANY WORK IS COMPLETED THAT DEVIATES FROM THESE PLANS OR THE LANDSCAPE ARCHITECTS DESIGN INTENT, THEN THE CONTRACTOR IS INFORMED THAT SUCH WORK IS AT THEIR OWN RISK.

ANY WORK DEVIATING FROM THESE PLANS MAY BE REQUIRED TO BE CHANGED, MODIFIED, OR REPLACED TO BRING THE WORK INTO ACCEPTANCE AT THE CONTRACTORS EXPENSE.

ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.

IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUBCONTRACTORS, TRADES AND SUPPLIERS TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS. AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS.

SOME PLANS OR DETAILS SHOWN HEREIN MAY NOT BE DRAWN TO SCALE OR SHOWN IN THEIR EXACT LOCATION. SOME ELEMENTS OF THIS DESIGN MAY BE SCHEMATIC IN NATURE. IF THERE IS ANY QUESTION REGARDING THE EXACT LOCATION OR ASSEMBLY OF ANY FEATURE THE CONTRACTOR SHALL REQUEST SUCH INFORMATION FROM THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

SOME WORK REQUIRED TO COMPLETE THIS DESIGN MAY NOT BE SHOWN, HOWEVER IT IS THE RESPONSIBILITY OF THE CONTRACTOR, WITHIN REASON, TO FORESEE OR ACCOUNT FOR SUCH WORK.

### CONST. MITIGATION

NO CONSTRUCTION UNDER LOW LIGHT CONDITIONS

DUST TO BE KEPT TO MINIMUM. BROOM CLEAN DAILY. MISTING DURING CONSTRUCTION TO MITIGATE DUST IF NECESSARY

CONSTRUCTION ACTIVITY SHALL NOT EXCEED NOISE STANDARDS AS SPECIFIED IN CODE SECTION 6-3-9.

HOURS OF OPERATION SHALL NOT EXCEED 7AM-9PM MONDAY-SATURDAY AND 9AM-6PM ON SUNDAY

SEE PLANTING PLAN FOR INFORMATION

The graphics and designs on this sheet are instruments of service and remain at all times the property of Bockholt Inc. Reproduction or reuse of the material and design contained herein is prohibited without the written consent of Bockholt Inc. © 2019 Bockholt Inc. ALL RIGHTS RESERVED

10/9/2019 10:35:23 AM, ANSI full bleed D (22.00 x 34.00 Inches), 1:1

DRAWING TITLE

# TOPOGRAPHIC SURVEY

CLIENT CONTACT

Tyler Smithson, PLA Landscape Architect + Planner

tyler@bockholtla.com  
www.Bockholtinc.com

LOT 11 SNOW PARK SUBDIVISION  
LOCATED WITHIN, SUMMIT COUNTY, UTAH. A PART OF THE S.W. 1/4 SEC. 15, T. 2. S., R. 4. E. S.L.B.&M.

PROPERTY DESCRIPTION

Lot 11 of the Snow Park Subdivision on file within the official records of Summit County, Utah.  
Containing 0.48 +/- Acres

SURVEYOR'S NARRATIVE

This Survey was performed at the request of Leo Trautwein For the purpose to locate contours and elevations of the ground in relationship to the intended positioning of this lot. Also for the possible purpose of lot sales, future building and landscaping.  
The basis of bearing was derived from the found rear property corners, and utilized on this survey as SOUTH as shown in the Snow Park Subdivision on file within the official records of Summit County, and shown hereon.  
Shown are Two foot Contours Highlighted at Ten foot Intervals as labeled. Found rebar (possibly original staking) have been tied, utilized and shown on this survey. The elevation base is determined by the field G.P.S. Projection Based on Utah North NAD 1983 Projection then rounded off to the nearest 10 foot mark for a more efficient Bench Mark base. The project bench mark is 7160.00' = Found 3/4" rebar and cap set by Alliance Eng. located at rear Northeast corner of this lot as shown.

NOTE:

1. Surveyor has made no investigation or independent search for easements of record encumbrances restrictive covenants ownership title evidence, or any other facts, conflicts, or discrepancies which may be disclosed by the details of a currant title insurance policy.
2. See city and county planning, and zoning maps for information regarding setback, side yard, and rear yard instances as well as other building, use restrictions, and requirements.
3. Utility pipes, wires, etc. may not be shown on this map, contractors builders and excavators shall verify the location of all existing utilities prior to construction, and/or excavation. Contact blue stakes and refer to utility maps for additional information.
4. Subdivision plat notes, pertaining to this lot and other restrictions obligations, covenants etc. that may affect the design and use of this lot, see subdivision.

SURVEYOR'S CERTIFICATE

I, R. Shane Johanson, do hereby certify that I am a Professional Land Surveyor, holding certificate No. 7075114, as prescribed under the laws of the State of Utah, and that I have made a survey of the described tract of land as shown on this plat and that this survey retraces lot lines and may have adjusted said lot lines to coincide with found evidence and other interpolations based from ground measurements and found records. Furthermore I recognize that other unwritten rights of ownership or lines of possession may exist, I do not imply to certify any of those rights, unless agreed upon by the appropriate parties.

REVISIONS:

REV #	DESCRIPTION	DATE

**JOHANSON** SURVEY • DESIGN • SEPTIC • PLANNING  
PROFESSIONAL LAND SURVEYORS **SURVEYING**

P.O. BOX 18941  
SALT LAKE CITY, UTAH 84118  
Shane Johanson P.L.S. 801-815-2541

COPYRIGHT

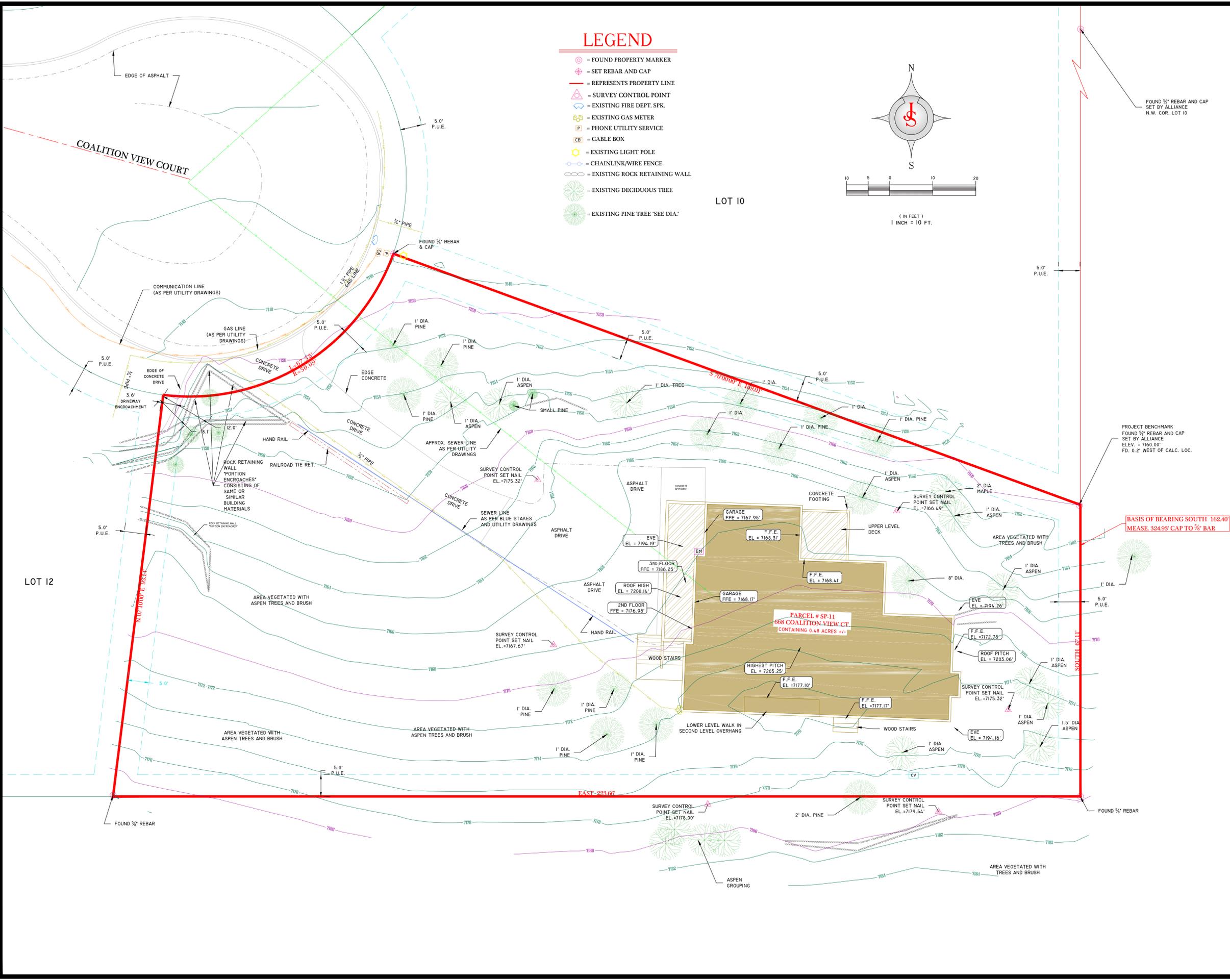
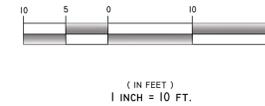
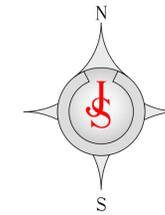
This drawing is and at all times remains the exclusive property of Johanson Surveying shall not be used with out complete authorization and written support.



STAMP PROJECT NO. S-18-113  
DATE: 9-21-2018  
DRAWN BY: NATHAN BSEISO O.S.P. III  
CHKD BY: SHANE R. JOHANSON P.L.S.  
SHEET NUMBER SHEET-001

## LEGEND

- = FOUND PROPERTY MARKER
- ⊕ = SET REBAR AND CAP
- = REPRESENTS PROPERTY LINE
- △ = SURVEY CONTROL POINT
- ⚡ = EXISTING FIRE DEPT. SPK.
- ⊕ = EXISTING GAS METER
- P = PHONE UTILITY SERVICE
- CB = CABLE BOX
- ⊕ = EXISTING LIGHT POLE
- ⊕ = CHAINLINK/WIRE FENCE
- ⊕ = EXISTING ROCK RETAINING WALL
- 🌳 = EXISTING DECIDUOUS TREE
- 🌲 = EXISTING PINE TREE 'SEE DIA.'



# WOODEN WALL

668 COALITION VIEW COURT  
PARK CITY UT 84060

PROJECT: 1818  
Which one is this?

10/7/19

CONST. MITIGATION



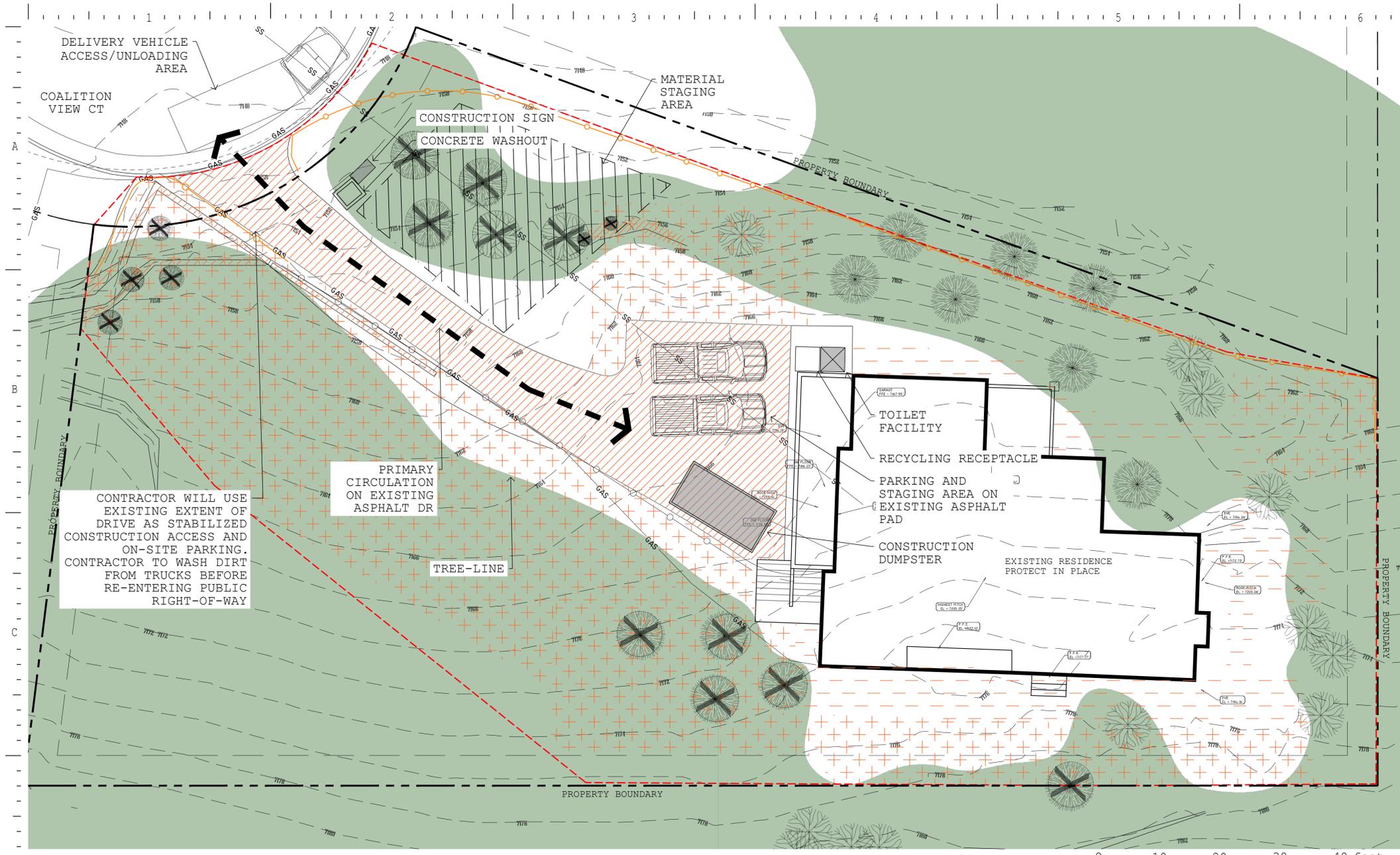
LANDSCAPE ARCHITECT  
750 KEARNS BLVD.  
PARK CITY UT. 84060  
OFFICE: 435.649.3856  
EMAIL: SETH@BOCKHOLTLA.COM



L-002

### SWPPP

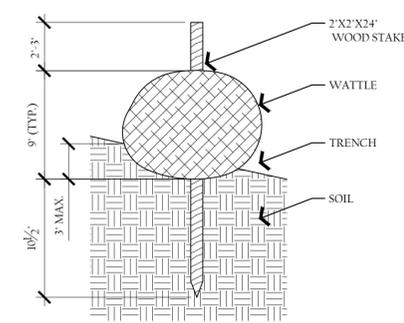
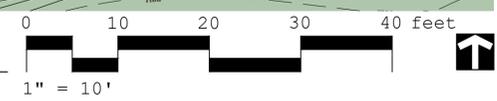
1. AREA TO BE DISTURBED SHALL BE MAINTAINED AS THE CONSTRUCTION LIMIT LINE OR LIMITS OF DISTURBANCE AS SHOWN.
2. ON SITE SOILS QUALITY: CONTRACTOR IS TO COORDINATE SOILS REPORT WITH LANDSCAPE ARCHITECT.
3. THE CONTRACTOR SHALL ERECT A SILT FENCE AND STRAW WATTLE ON DOWNHILL SIDE OF DISTURBANCE BOUNDARY.
4. SAND BAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH STRAW BALES
5. AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE LOCATIONS.
6. STORM WATER SHALL BE DIVERTED TO EXISTING DRAINAGE SYSTEMS. EXISTING LINES SHALL BE INSPECTED PRIOR TO COMPLETION AND CLEANED IF NECESSARY.
7. THE NATURE OF THIS PROJECT WILL CONSIST OF SURFACE FEATURE DEMOLITION, HARDSCAPE CONSTRUCTION & SOFTSCAPE CONSTRUCTION.
8. CONTRACTOR WILL CONSTRUCT STABILIZED CONSTRUCTION ACCESS AND PARKING. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
9. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
10. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
12. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND /OR LANDSCAPE PLAN.
13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED.
14. DAILY INSPECTIONS BY THE PROJECT SUPERINTENDENT, BI-WEEKLY INSPECTIONS BY THE CONTRACTOR'S COMPLIANCE OFFICER, AND MONTHLY INSPECTIONS BY THE OWNER'S CONSTRUCTION MANAGER MUST BE MADE TO DETERMINE THE EFFECTIVENESS OF THE SWPPP



A SWPPP CONSTRUCTION MITIGATION PLAN

### LEGEND

- LIMIT OF DISTURBANCE - - - - -
- STRAW WATTLE - o - o - o - o -
- EXISTING TREE-LINE



### NOTES

1. WOOD STAKES SHALL BE 1"X2"X34" OR 24' PLACED ON CONTOUR AND STAKED AT 4' ON CENTER AND IN LOW POINTS TO ASSURE CONTACT WITH THE GROUND
2. NO DAYLIGHT SHALL BE SEEN UNDER THE WATTLE AFTER INSTALLATION
3. WHEN INSTALLING RUNNING LENGTHS OF STRAW WATTLE, BUTT THE SECOND WATTLE TIGHTLY AGAINST THE FIRST. STAKE THE WATTLES AT EACH END AND FOUR FOOT ON CENTERS
4. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE, LEAVING 2'-3" OF THE STAKE PROTRUDING ABOVE THE WATTLE
5. WHEN WATTLE IS INSTALLED ON FLAT GROUND DRIVE THE STAKES STRAIGHT DOWN. WHEN INSTALLING WATTLES ON SLOPES DRIVE STAKES PERPENDICULAR TO THE SLOPE
6. ENDS OF WATTLES TO BE TURNED SLIGHTLY UP SLOPE

### C1 STRAW WATTLE

11/2" x 1'-0"

P-RE-TRA-74

10/9/2019 10:57:12 AM, ANSI full bleed D (22.00 x 34.00 Inches), 1:1  
The graphics and designs on this sheet are instruments of service and remain at all times the property of Bockholt Inc. Reproduction or reuse of the material and design contained herein is prohibited without the written consent of Bockholt Inc. © 2019 Bockholt Inc. ALL RIGHTS RESERVED

# WOODEN WALL

668 COALITION VIEW COURT  
PARK CITY UT 84060

PROJECT: 1818  
CONSTRUCTION DOCS

10/7/19

SITE DEMO



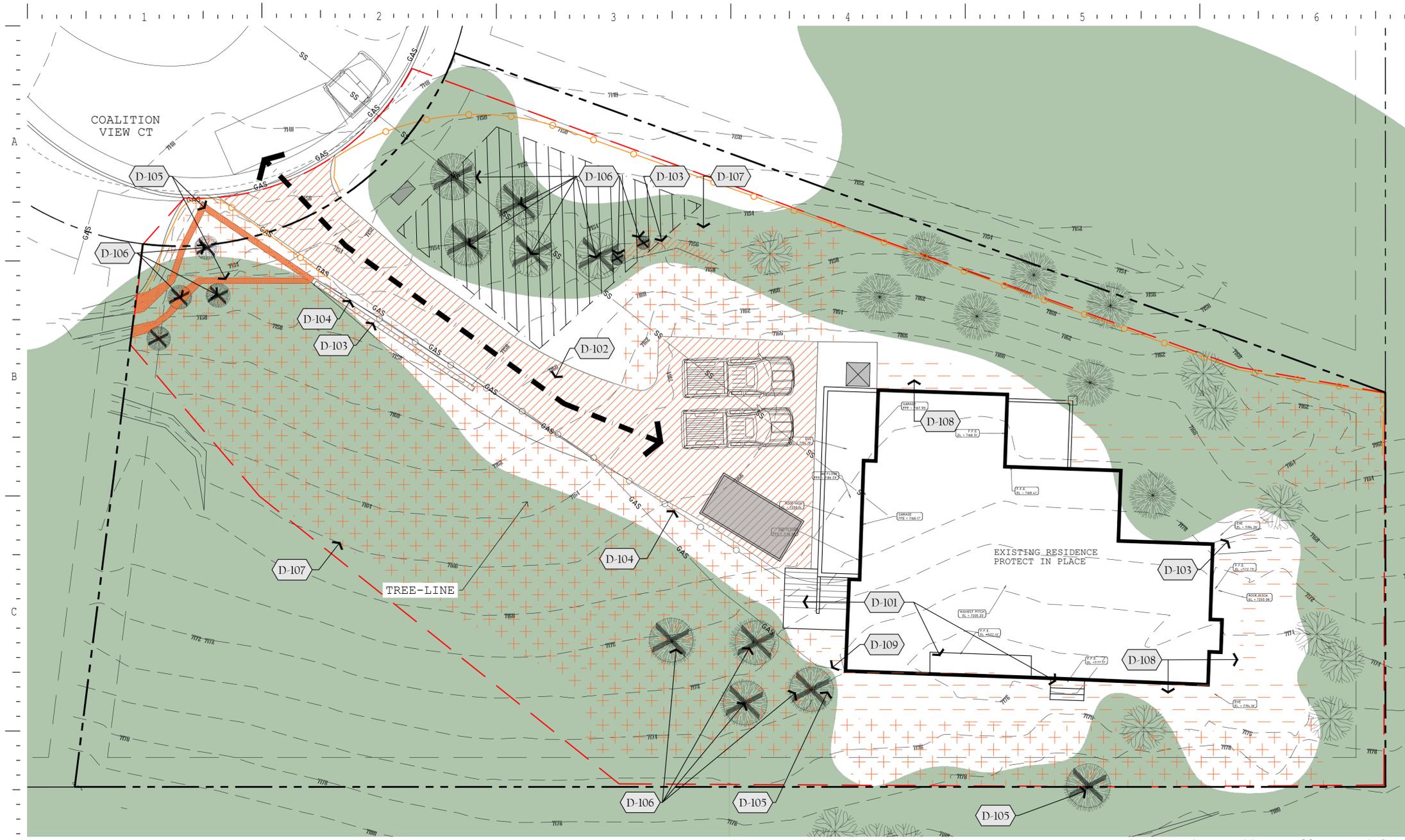
LANDSCAPE ARCHITECT  
750 KEARNS BLVD.  
PARK CITY UT. 84060  
OFFICE: 435.649.3856  
EMAIL: SETH@BOCKHOLTLA.COM



L-100

### SITE DEMO

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES.
2. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
3. LANDSCAPE ARCHITECT WILL BE RESPONSIBLE FOR CONSTRUCTION REVIEW FOR CONTRACTOR'S PERFORMANCE AND IS NOT RESPONSIBLE TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
4. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE EROSION STORM WATER POLLUTION PREVENTION PLAN AND/OR PERMIT.
5. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR VARIATIONS.
6. EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE PERMANENTLY REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.
7. UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF CONTRACTOR.
8. IF APPROPRIATE, REFER TO THE ENVIRONMENTAL PLANS AND SPECIFICATIONS FOR HAZARDOUS MATERIAL REMEDIATION.
9. CONTRACTOR TO PROVIDE WHEN NECESSARY PROTECTION TO ALLOW SAFE PASSAGE OF PEOPLE OR VEHICLES AROUND SELECTIVE DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF BUILDING. ANY BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS & FLAGMEN. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE UTAH DEPARTMENT OF TRANSPORTATION STANDARDS.
10. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
11. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE.
12. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN APPROVED LANDFILL.
13. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
14. SEE LANDSCAPE ARCHITECTURAL PLANS FOR HARDSCAPE APPLICATION INFORMATION.



**A** SITE DEMOLITION PLAN

### URBAN WILD-LAND INTERFACE VEGETATION MANAGEMENT PLAN:

TREES IDENTIFIED FOR DEMOLITION HAVE BEEN DETERMINED TO BE DEAD OR CANDIDATES FOR CLEARING SLASH AND SNAGS TO MITIGATE THE SPREAD OF A WILDFIRE.

14 TREES ARE PROPOSED FOR REMOVAL. THERE ARE 20 NEW TREES BEING PLANTED TO OFFSET THE REMOVAL. SEE PLANTING PLAN L-400.

### REFERENCE NOTES SCHEDULE

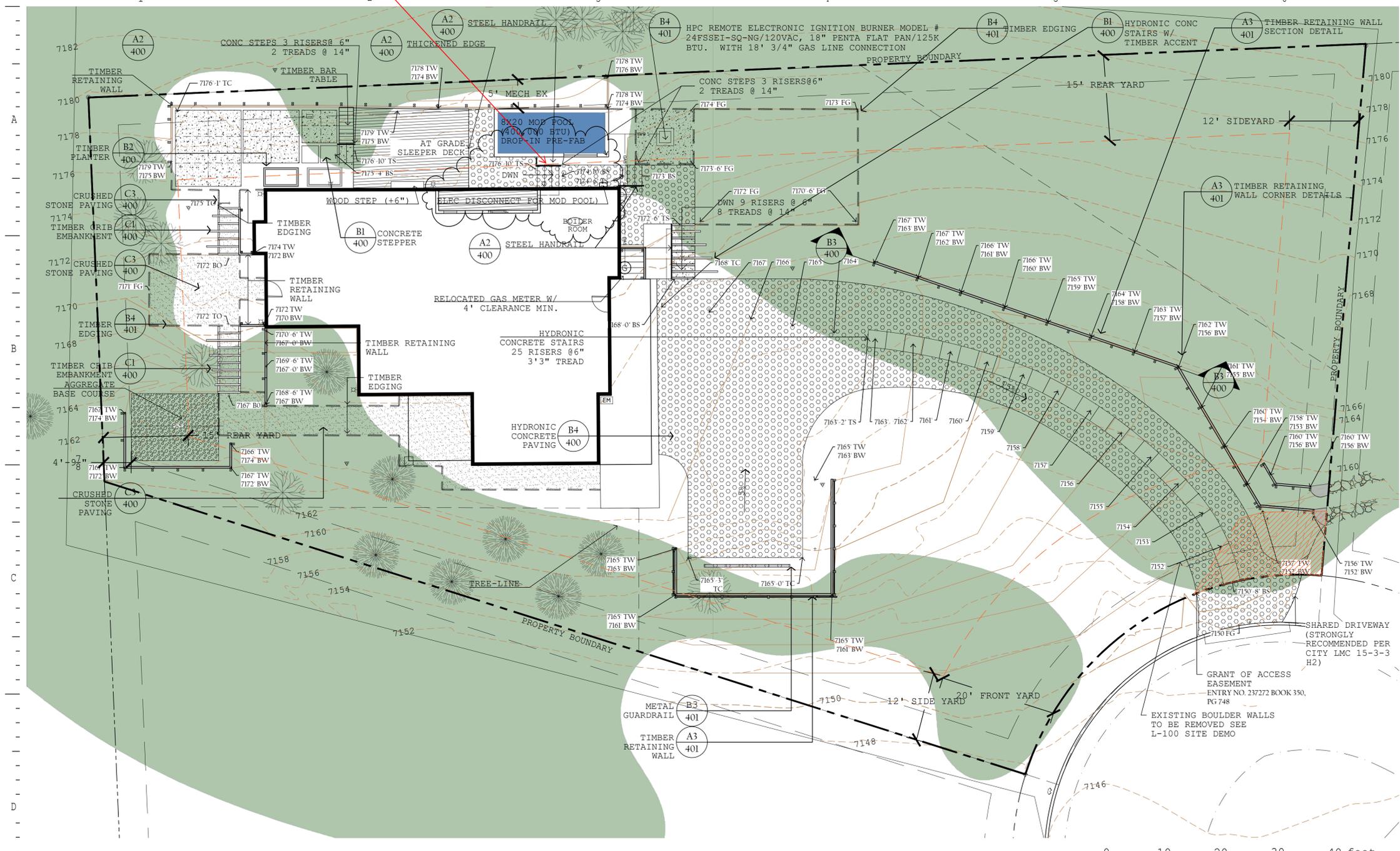
SYMBOL	DEMOLITION DESCRIPTION	QTY
D-101	DEMO EXISTING STAIRS	8
D-102	DEMO DRIVEWAY	1,823 sf
D-103	DEMO RETAINING WALL	59 sf
D-104	REMOVE HANDRAIL	93 lf
D-105	DEMO STONE WALL, SALVAGE STONE, REBUILD PER SITE PLAN	90 sf
D-106	DEMO TREE	15
D-107	CLEAR AND GRUB	4,566 sf
D-108	PREP AREA FOR CONSTRUCTION	1,455 sf
D-109	RELOCATE EXISTING GAS METER	1

10/9/2019 10:45:06 AM, ANSI full bleed D (22.00 x 34.00 Inches), 1:1

The graphics and designs on this sheet are instruments of service and remain at all times the property of Bockholt Inc. Reproduction or reuse of the material and design contained herein is prohibited without the written consent of Bockholt Inc. © 2019 Bockholt Inc. ALL RIGHTS RESERVED

The graphics and designs on this sheet are instruments of service and remain at all times the property of Bockholt Inc. Reproduction or reuse of the material and design contained herein is prohibited without the written consent of Bockholt Inc. © 2019 Bockholt Inc. ALL RIGHTS RESERVED

All metal within 5' of waters edge is required to be bonded



- GRADING**
1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE TO THE STREET OR ON APPROVED DRAINAGE COURSE BUT NOT ONTO THE NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'. -IRC R401.3
- UTILITY**
1. ALL NEW UTILITIES ARE TO BE UNDERGROUND
  2. ABOVE GRADE UTILITY BOX TO BE IN SCREENED LOCATION
  3. VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE LOCATION OF UTILITIES
  4. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES OR PIPES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON THE PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR IS TO, AT HIS OWN EXPENSE LOCATE ALL EXISTING OVERHEAD AND UNDERGROUND INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND IS TO TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THEM. THE CONTRACTOR IS TO USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT AND IS TO BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
  5. THE CONTRACTOR IS TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT ALL EXISTING STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE FROM DAMAGE. ALL SUCH IMPROVEMENTS WHICH ARE DAMAGED BY THE CONTRACTORS ARE TO BE REPAIRED OR REPLACED SATISFACTORILY TO THE OWNING COMPANY OR INDIVIDUAL AT THE EXPENSE OF THE CONTRACTOR
- SNOW REMOVAL**
1. SNOW PLOWED FROM DRIVE SHALL NOT BE PUSHED ONTO THE STREET
- LAYOUT**
1. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGER SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
  2. CONTRACTOR TO LAY OUT HARDSCAPE ELEMENTS AND VERIFY LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. HARDSCAPE ELEMENTS ARE DIMENSIONED ON THE LANDSCAPE LAYOUT PLAN. ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS OR OTHER DRAWINGS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY FOR PROPER CLARIFICATION OR ADJUSTMENT.
  3. FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDING IMPROVEMENTS, AND RELATED WORK, REFER TO THE ARCHITECTURAL DRAWINGS.
  4. WHERE DIMENSIONS ARE CALLED AS "EQUAL," SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.
  5. MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINES IS AS INDICATED.
  6. INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.
  7. PROVIDE EXPANSION JOINTS WHERE CONCRETE FLATWORK MEETS VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDING ELEMENTS.
  8. NET NEW AREA TO BE DISTURBED (4,300 SF) SHALL BE MAINTAINED AS THE CONSTRUCTION LIMIT LINE OR LIMITS OF DISTURBANCE AS SHOWN.

LEO TRAUTWEIN  
**WOODEN WALL**  
 668 COALITION VIEW COURT  
 PARK CITY UT 84060  
 PROJECT: 1818  
 CONSTRUCTION DOCS  
 11/13/19

SITE PLAN



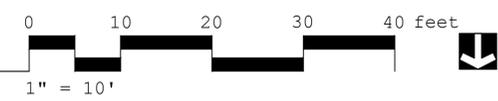
LANDSCAPE ARCHITECT  
 750 KEARNS BLVD.  
 PARK CITY UT. 84060  
 OFFICE: 435.649.3856  
 EMAIL: SETH@BOCKHOLT.TLA

L-200

**A SITE PLAN**

**LEGEND**

- LIMIT OF DISTURBANCE
- STRAW WATTLE
- EXISTING ASPEN CANOPY
- HYDRONIC ETCHED CONC.
- WOOD DECKING
- ETCHED CONC
- AGGREGATE BASE COURSE



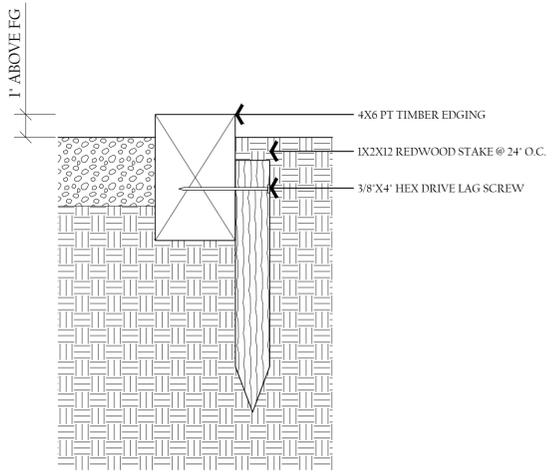
11/13/2019 3:08:02 PM, ANSI full bleed D (22.00 x 34.00 inches), 1:1

# WOODEN WALL

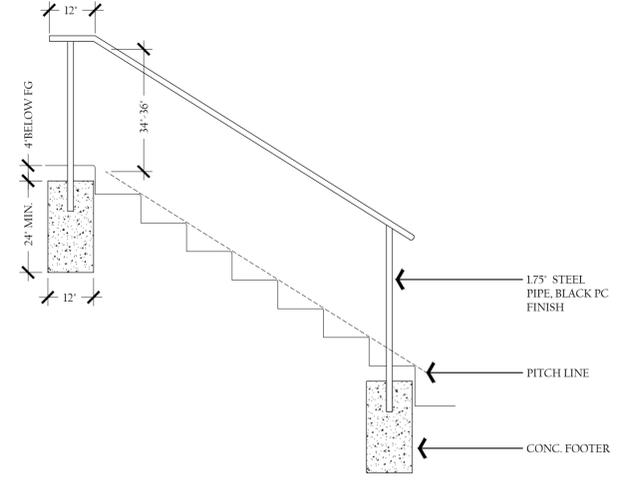
668 COALITION VIEW COURT  
PARK CITY UT 84060

PROJECT: 1818  
CONSTRUCTION DOCS

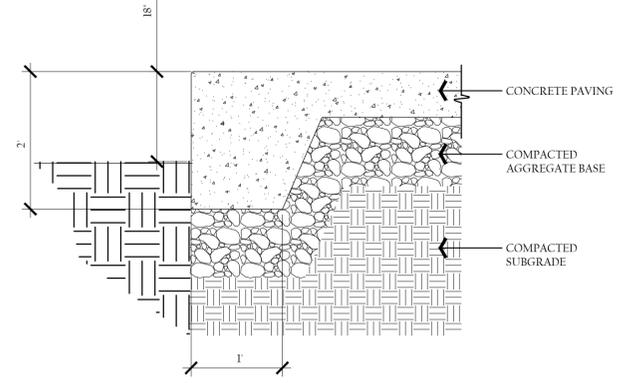
10/7/19



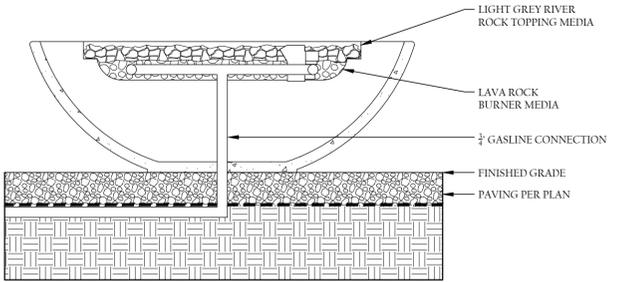
**A1** **TIMBER EDGING**  
3'-1-0" P-RE-TRA-06



**A2** **HANDRAIL @ STAIRS**  
1/2'-1-0" P-RE-TRA-39

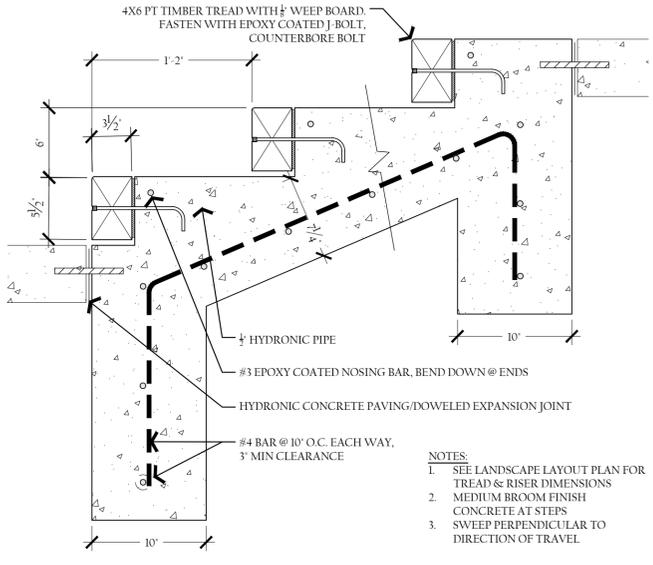


**A3** **CONCRETE PAVING - THICKENED EDGE**  
1/2'-1-0" P-RE-TRA-12

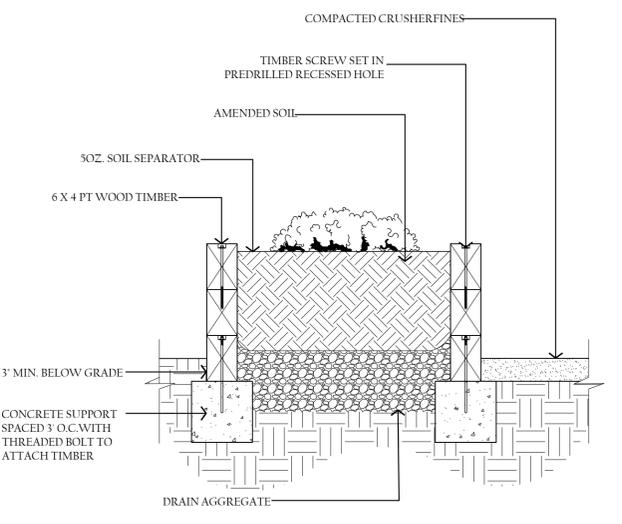


NOTES:  
1. FIRE BOWL BY OWNERS DIRECTIVE  
2. INSTALL PER MANUFACTURERS RECOMMENDATIONS FOR HIGH ALTITUDE INSTALLATION  
3. CONNECT GAS, BURNER, & ELECTRONIC IGNITION PER LOCAL CODE

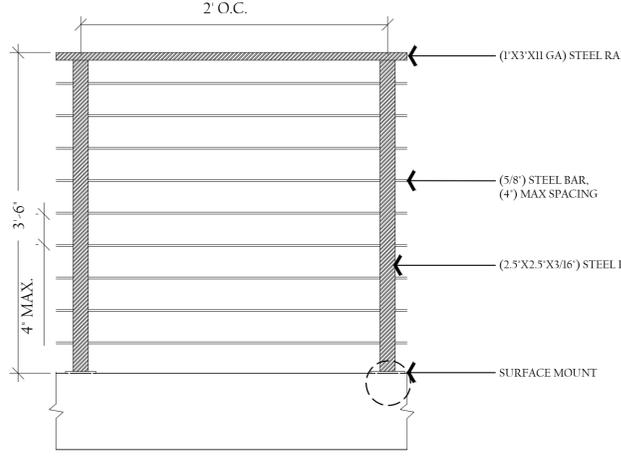
**A4** **FIRE PIT WITH ELECTRONIC IGNITION**  
1/2'-1-0"



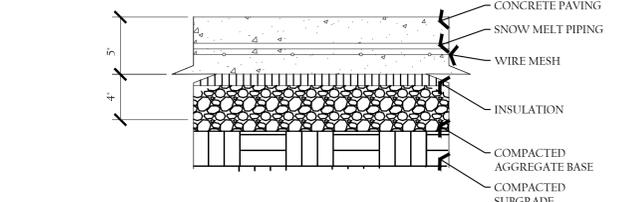
**B1** **HYDRONIC CONCRETE STAIRS W/ TIMBER ACCENT**  
11/2'-1-0" P-RE-TRA-05



**B2** **TIMBER RAISED PLANTER**  
1'-1-0" P-RE-TRA-01

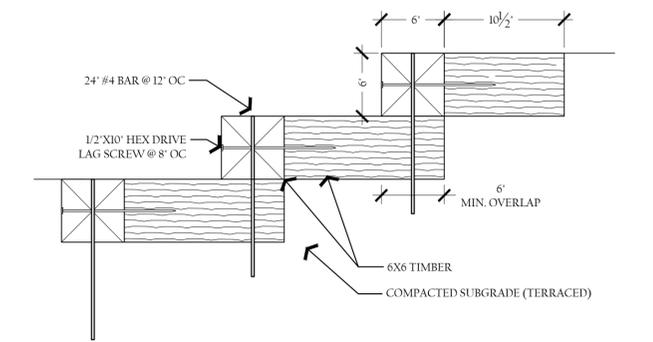


**B3** **METAL GUARDRAIL**  
1'-1-0" P-RE-TRA-18



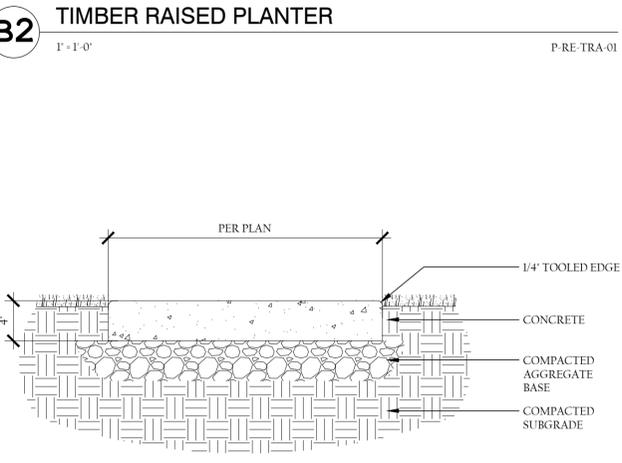
NOTES:  
1. CONSULT LICENSED PROFESSIONAL ON ADEQUATELY SIZING MECHANICAL SYSTEM FOR PROPOSED HYDRONIC PAVING AREA.

**B4** **HYDRONIC CONCRETE PAVING**  
11/2'-1-0" P-RE-TRA-47



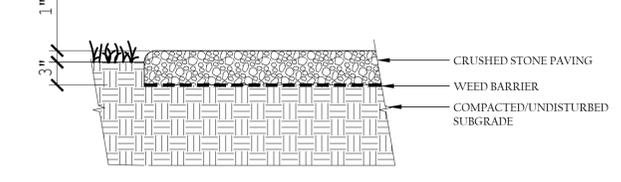
NOTES:  
1. BACKFILL AND COMPACT CRIBS WITH 3' CRUSHED STONE  
2. SEE PLAN FOR LAYOUT DIMENSIONS

**C1** **TERRACED CRIB EMBANKMENT**  
11/2'-1-0" P-RE-TRA-07



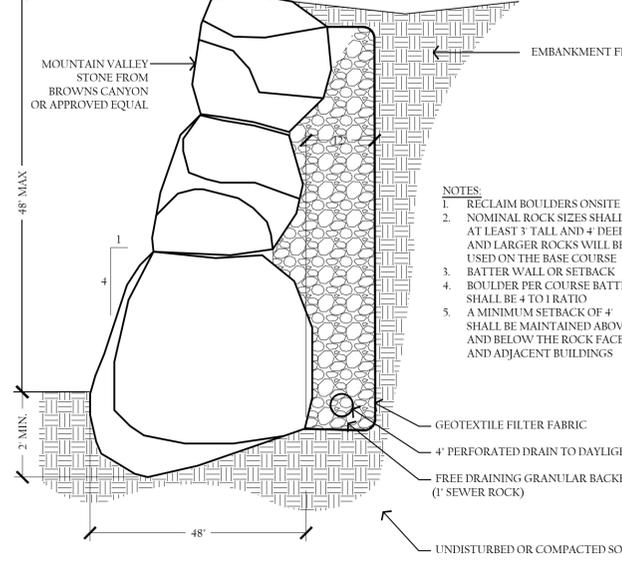
NOTES:  
1. CONCRETE STEPPERS TO BE CAST IN PLACE WITH 4' SEPARATION

**C2** **CONCRETE STEPPER**  
11/2'-1-0" P-RE-TRA-13



NOTES:  
1. CRUSHED STONE PAVING TO BE 1/2" MIN'S CHAFF TO MATCH PROMONTORY STANDARD  
2. KEEP CRUSHED STONE 1' ABOVE EDGE MATERIAL

**C3** **CRUSHED STONE PAVING**  
11/2'-1-0" P-RE-TRA-02



**C4** **BOULDER RETAINING WALL**  
3/4'-1-0" P-RE-TRA-09

SITE DETAILS



LANDSCAPE ARCHITECT  
750 KEARNS BLVD.  
PARK CITY UT. 84060  
OFFICE: 435.649.3856  
EMAIL: SETH@BOCKHOLT.LA



L-400

10/9/2019 10:49:02 AM, ANSI full bleed D (22.00 x 34.00 Inches), 1:1

The graphics and designs on this sheet are instruments of service and remain at all times the property of Bockholt Inc. Reproduction or reuse of the material and design contained herein is prohibited without the written consent of Bockholt Inc. © 2019 Bockholt Inc. ALL RIGHTS RESERVED

# WOODEN WALL

668 COALITION VIEW COURT  
PARK CITY UT 84060

PROJECT: 1818  
CONSTRUCTION DOCS

10/7/19

## PLANTING PLAN



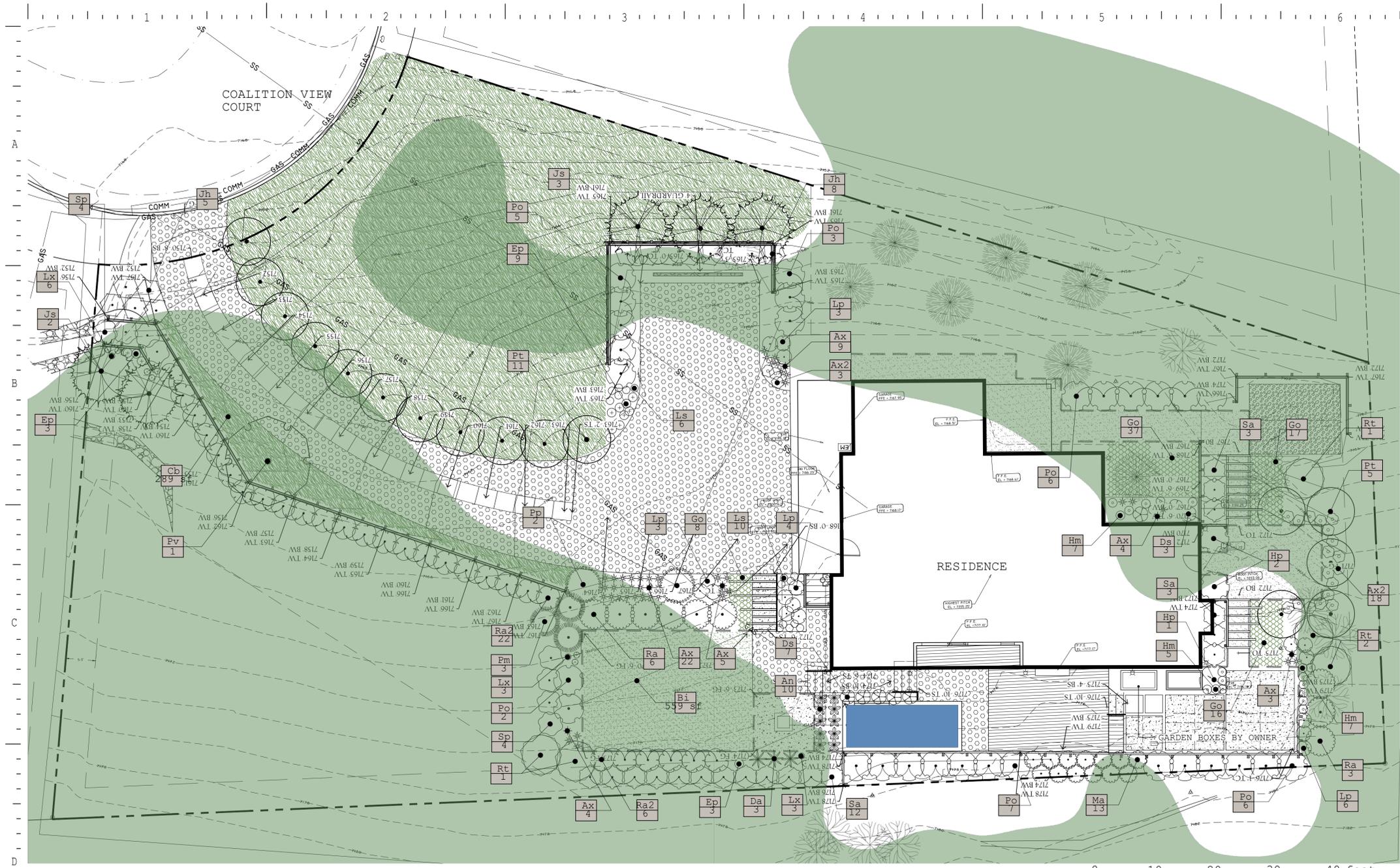
LANDSCAPE ARCHITECT  
750 KEARNS BLVD.  
PARK CITY UT. 84060  
OFFICE: 435.649.3856  
EMAIL: SETH@BOCKHOLT.LA



L-500

### PLANT SCHEDULE

TREES	BOTANICAL NAME
	JUNIPERUS SCOPULORUM
	PICEA PUNGENS GLAUCA 'PROCUMBENS'
	PINUS MUGO 'PUMILIO'
	POPULUS TREMULOIDES
	PRUNUS VIRGINIANA 'SHUBERT'
SHRUBS	BOTANICAL NAME
	DICENTRA SPECTABILIS
	HYDRANGEA PANICULATA 'LIMELIGHT' TM
	JUNIPERUS HORIZONTALIS 'BAR HARBOR'
	MAHONIA AQUIFOLIUM 'COMPACTA'
	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'
	RHUS AROMATICA 'GRO-LOW'
	RHUS TYPHINA 'BALITIGER' TM
	RIBES ALPINUM
	SALIX PURPUREA 'NANA'
	SYMPHORICARPOS ALBUS
PERENNIALS	BOTANICAL NAME
	ANEMONE X HYBRIDA 'HONORINE JOBERT'
	AQUILEGIA X
	ECHINACEA PURPUREA
	HEUCHERA MICRANTHA 'PALACE PURPLE'
	LEUCANTHEMUM X SUPERBUM
	LIATRIS SPICATA 'FLORISTAN VIOLET'
	LUPINUS POLYPHYLLUS 'MY CASTLE'
FERN	BOTANICAL NAME
	ATHYRIUM NIPPONICUM
	DRYOPTERIS AFFINIS
GROUND COVERS	BOTANICAL NAME
	BIOGRASS
	CABIN BLEND
	GALIUM ODORATUM



### PLANTING PLAN

#### PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	CONT	PERENNIALS	QTY	BOTANICAL NAME	SIZE
Js	5	JUNIPERUS SCOPULORUM	B & B	Ax2	21	ANEMONE X HYBRIDA 'HONORINE JOBERT'	1 GAL
Pp	2	PICEA PUNGENS GLAUCA 'PROCUMBENS'	B & B	Ax	47	AQUILEGIA X	1 GAL
Pm	3	PINUS MUGO 'PUMILIO'	25 GAL	Ep	15	ECHINACEA PURPUREA	1 GAL
Pt	16	POPULUS TREMULOIDES	25 GAL	Hm	19	HEUCHERA MICRANTHA 'PALACE PURPLE'	1 GAL
Pv	1	PRUNUS VIRGINIANA 'SHUBERT'	B & B	Lx	12	LEUCANTHEMUM X SUPERBUM	1 GAL
				Ls	16	LIATRIS SPICATA 'FLORISTAN VIOLET'	1 GAL
				Lp	17	LUPINUS POLYPHYLLUS 'MY CASTLE'	1 GAL
SHRUBS	QTY	BOTANICAL NAME	SIZE	FERN	QTY	BOTANICAL NAME	SIZE
Ds	3	DICENTRA SPECTABILIS	1 GAL	An	10	ATHYRIUM NIPPONICUM	1 GAL
Hp	3	HYDRANGEA PANICULATA 'LIMELIGHT' TM	5 GAL	Da	3	DRYOPTERIS AFFINIS	1 GAL
Jh	16	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	3 GAL				
Ma	13	MAHONIA AQUIFOLIUM 'COMPACTA'	1 GAL				
Po	29	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	2 GAL				
Ra2	28	RHUS AROMATICA 'GRO-LOW'	3 GAL				
Rt	5	RHUS TYPHINA 'BALITIGER' TM	5 GAL				
Ra	9	RIBES ALPINUM	5 GAL				
Sp	8	SALIX PURPUREA 'NANA'	5 GAL				
Sa	18	SYMPHORICARPOS ALBUS	5 GAL				
GROUND COVERS	BOTANICAL NAME	CONT					
Bi	BIOGRASS	4" POT					
Cb	CABIN BLEND						
Go	GALIUM ODORATUM						

#### PLANTING NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE LOCATION OF ALL UNDERGROUND UTILITIES. THEY SHALL NOTIFY BLUE STAKES 3 DAYS BEFORE ANY EXCAVATION FOR PLANTING BEGINS.
2. THE CONTRACTOR SHALL HAND DIG ANY PLANTING PITS WITHIN THE 3' OFFSET LIMITS OF ANY MARKED UTILITY.
3. THE CONTRACTOR MUST BE PROACTIVE IN THEIR ACQUISITION OF THE LISTED SPECIES. ALL PLANTS MUST CONFORM TO ALL STATE REQUIREMENTS FOR NURSERY STOCK.
4. THE CONTRACTOR SHALL PROVIDE A SOILS TEST FOR THE SITE IF ONE HAS NOT YET BEEN PROVIDED, AND REPORT THE FINDINGS TO THE LANDSCAPE ARCHITECT 3 DAYS PRIOR TO PLANTING OR PLACING TOPSOIL.
5. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 2 DAYS PRIOR TO WHEN PLANTS WILL BE LAID OUT SO THAT THE LANDSCAPE ARCHITECT MAY ADJUST THEM ONSITE AS REQUIRED.
6. IF TREES AND PLANTS ARE TO BE STOCKPILED ONSITE, A TEMPORARY IRRIGATION SYSTEM ON AN AUTOMATIC TIMER MUST BE SET UP PRIOR TO THEIR DELIVERY. ANY PLANTS ON SITE NOT SUFFICIENTLY MAINTAINED WILL BE REJECTED AT THE FULL DISCRETION OF THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE TRUE TO NAME AND SIZE OR AN ACCEPTED SUBSTITUTE APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST REPLACE ANY PLANT MATERIAL FOUND TO BE FOREIGN TO THIS LIST. CONTRACTOR MUST SUBMIT SUBSTITUTIONS IN WRITING AND PROVIDE PRECEDENCE.
7. UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL AMEND AND TILL EXISTING SOILS TO A DEPTH OF AT LEAST 6" OBTAIN A NEUTRAL PH WITH APPROXIMATELY 4% MINIMUM ORGANIC CONTENT.
8. DO NOT STAKE TREES UNLESS THEY ARE PLACED ON 30% SLOPE OR GREATER.
9. CONTRACTOR WILL INSTALL ALL PLANTINGS PER THE DETAILS PROVIDED.
10. ALL PLANTING PITS ARE TO BE 3 TIMES AS LARGE AS PLANT ROOTBALL OR CONTAINER.
11. CONTRACTOR INSTALLING PLANTS WILL BE RESPONSIBLE FOR THEM FOR ONE YEAR AFTER INSTALLATION. REPLACEMENTS SHALL BE THE SAME SPECIES AND SIZE.
12. ALL SHRUB/TREE AREAS TO HAVE 3"-5" OF ORGANIC MULCH. GROUND COVER AREAS TO HAVE 1"-2" ORGANIC MULCH.

10/9/2019 10:48:19 AM, ANSI full bleed D (22.00 x 34.00 Inches), 1:1

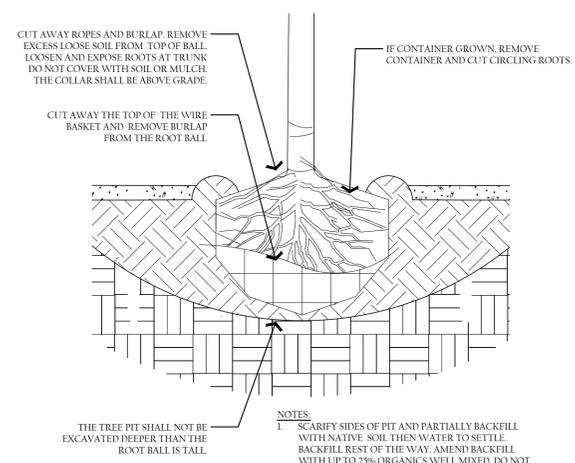
The graphics and designs on this sheet are instruments of service and remain at all times the property of Bockholt Inc. Reproduction or reuse of the material and design contained herein is prohibited without the written consent of Bockholt Inc. © 2019 Bockholt Inc. ALL RIGHTS RESERVED

# WOODEN WALL

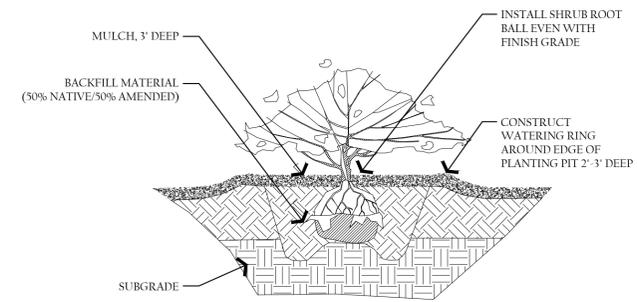
668 COALITION VIEW CT.  
PARK CITY UT 84060

PROJECT: 1818  
CONSTRUCTION DOCS  
100%  
08.10.2019

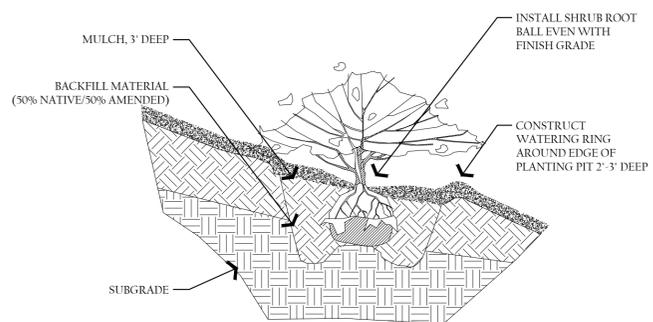
The graphics and designs on this sheet are instruments of service and remain at all times the property of Bockholt Inc. Reproduction or reuse of the material and design contained herein is prohibited without the written consent of Bockholt Inc. © 2019 Bockholt Inc. ALL RIGHTS RESERVED



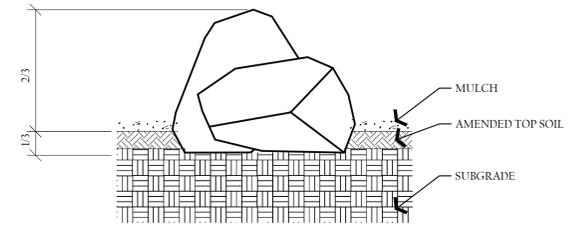
**C1** ROOTBALL PREP.  
3/4\" - 1'-0"



**B2** SHRUB/PERENNIAL  
1/2\" - 1'-0"

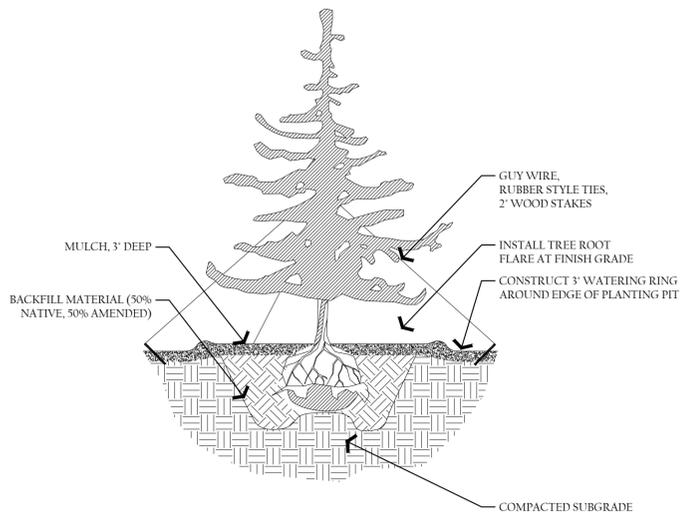


**B3** SHRUB/PERENNIAL ON SLOPE  
1/2\" - 1'-0"

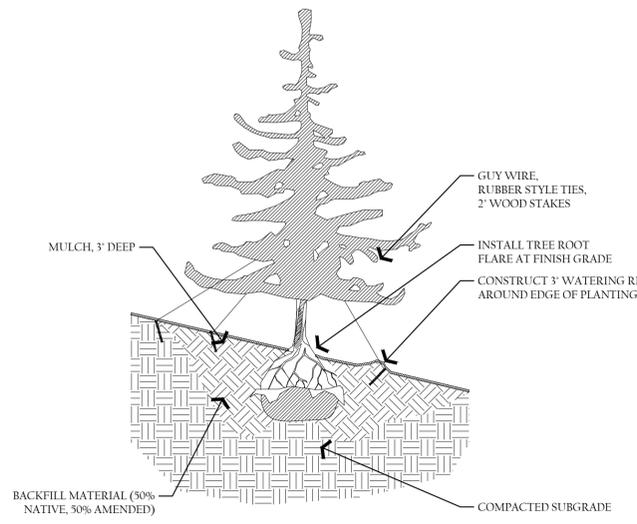


**B4** TYPICAL ACCENT BOULDER  
1/2\" - 1'-0"

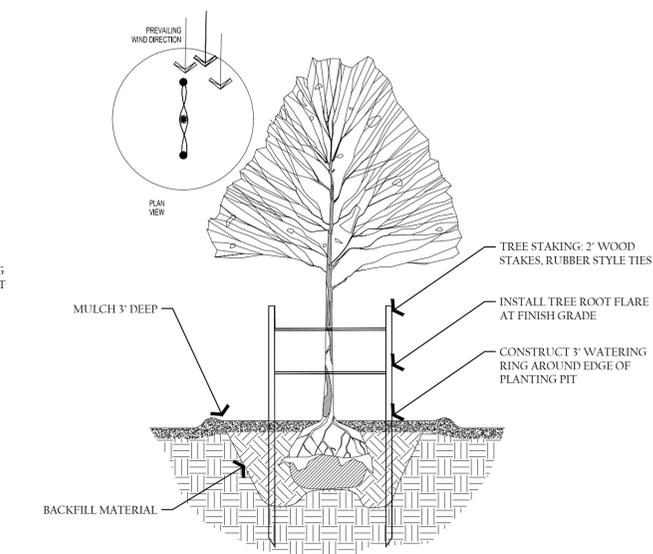
- NOTES
1. ACCENT BOULDERS NEAR PATIOS SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF PAVING AND CONCRETE
  2. THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT WITH BOULDER SAMPLES FOR APPROVAL OF BOULDER TYPE AND COLOR PRIOR TO DELIVERY.
  3. ALL BOULDERS ARE TO BE OF THE SAME STYLE AND COLOR, BUT WILL VARY IN SIZE.
  4. ACCENT BOULDERS SHALL BE INSTALLED WITH ONE THIRD OF THEIR TOTAL HEIGHT IN GROUND.



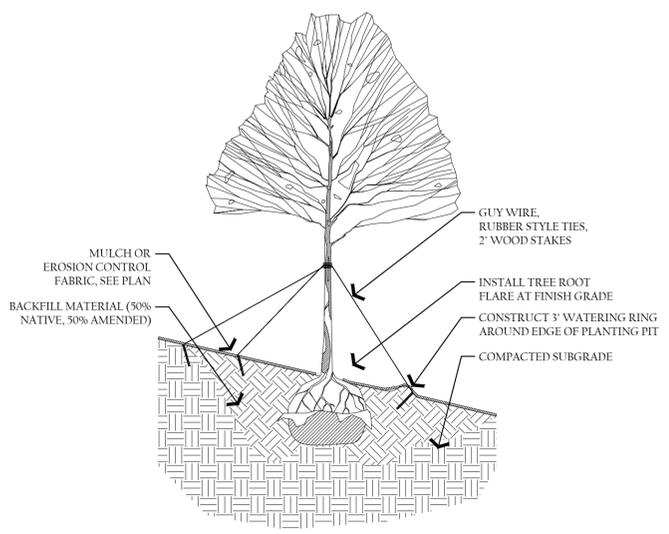
**C1** CONIFEROUS TREE IN PLANTING AREA  
3/8\" - 1'-0"



**C2** CONIFEROUS TREE ON SLOPE  
3/8\" - 1'-0"



**C3** DECIDUOUS TREE IN PLANTING AREA  
3/8\" - 1'-0"



**C4** DECIDUOUS TREE ON SLOPE  
3/8\" - 1'-0"

PLANTING DETAILS

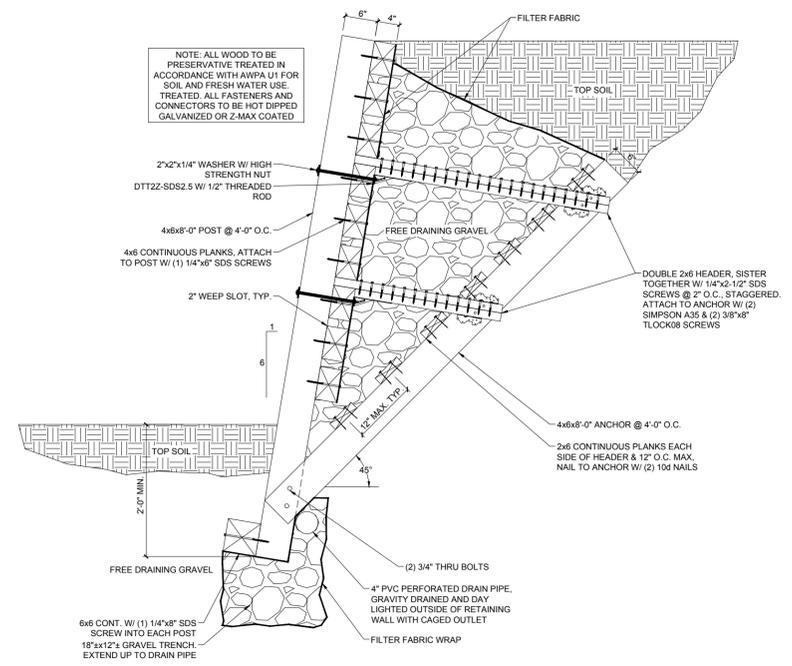


LANDSCAPE ARCHITECT  
750 KEARNS BLVD.  
PARK CITY UT, 84060  
OFFICE: 435.649.3856  
EMAIL: SETH@BOCKHOLTLA.COM

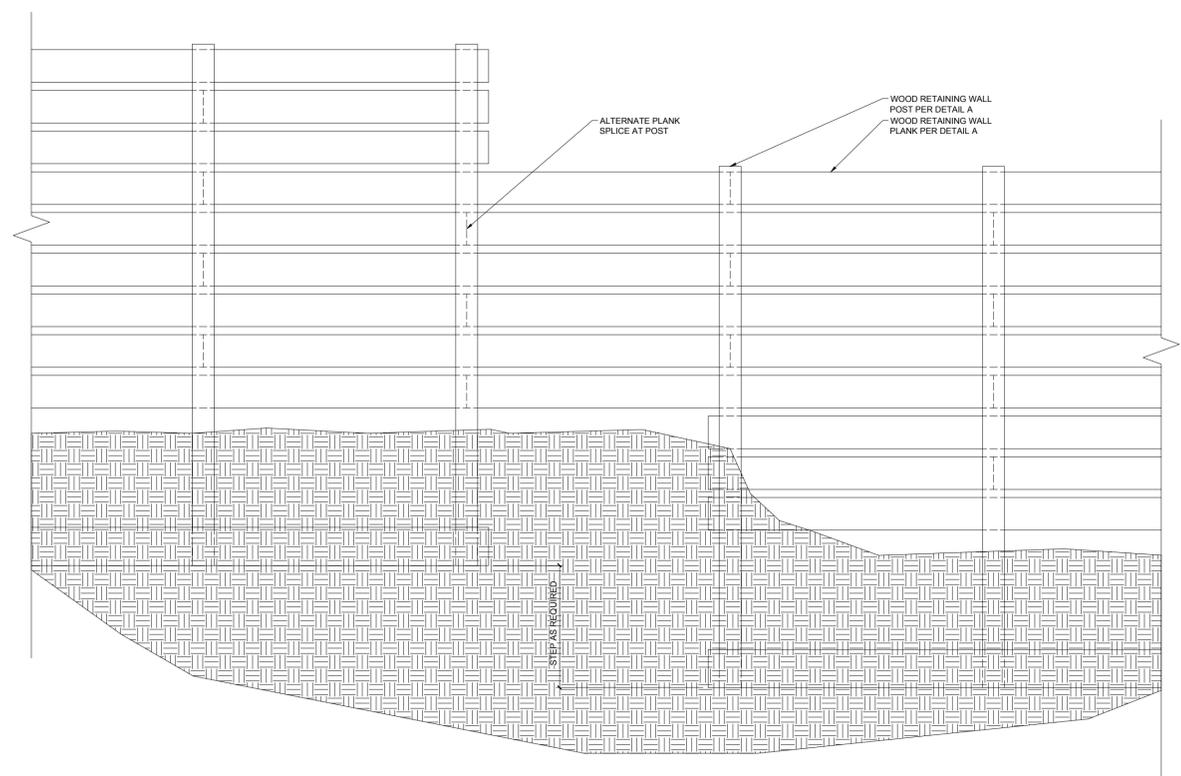


L-600

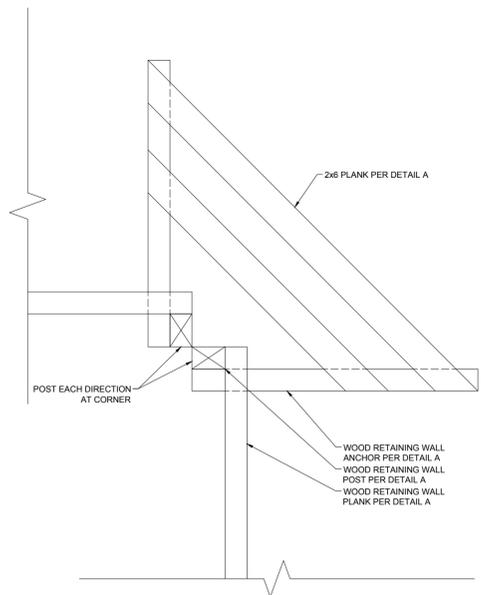
The graphics and designs on this sheet are instruments of service and remain at all times the property of Bockholt Inc. Reproduction or reuse of the material and design contained herein is prohibited without the written consent of Bockholt Inc. © 2019 Bockholt Inc. ALL RIGHTS RESERVED



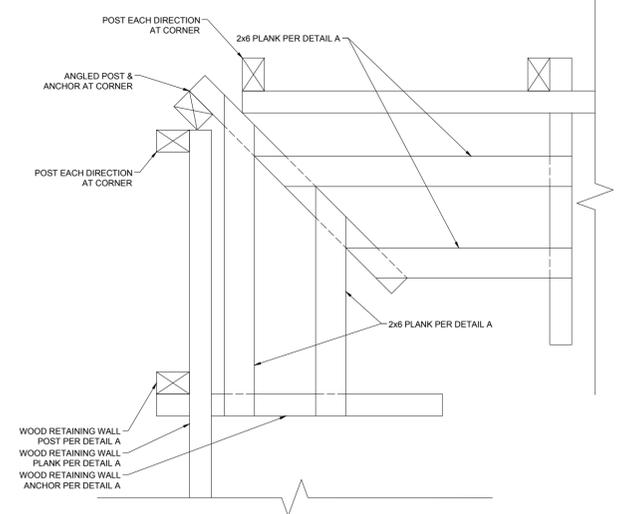
1 WOOD RETAINING WALL DETAIL  
N.T.S.



2 WOOD RETAINING WALL ELEVATION  
N.T.S.



3 WOOD RETAINING WALL AT INSIDE CORNER  
N.T.S.



4 WOOD RETAINING WALL AT OUTSIDE CORNER  
N.T.S.

LEO TRAUTWEIN  
**WOODEN WALL**

COALITION VIEW COURT  
PARK CITY UT 84060

PROJECT: 1920  
CONSTRUCTION DOCS

10/5/19



DETAILS



LANDSCAPE ARCHITECT  
750 KEARNS BLVD.  
PARK CITY UT. 84060  
OFFICE: 435.649.3856  
EMAIL: SETH@BOCKHOLT.LA.COM

