

Planning Commission Staff Report



Subject: Park City Heights MPD
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Date: April 27, 2011
Project # PL-10-01028
Type of Item: Administrative – Master Planned Development

Summary Recommendations

Staff recommends the Planning Commission discuss the revised Design Guidelines and revised findings of fact, conclusions of law, and conditions of approval. The Commission should hold a public hearing, consider any input, and consider approving the Park City Heights MPD based on the findings of fact, conclusions of law, and conditions of approval as stated in the staff report, or as amended at the meeting.

Topic

Applicant: The Boyer Company and Park City Municipal Corporation
Location: Richardson Flat Road, west of US 40 and south of the Rail Trail
Zoning: Community Transition (CT)
Adjacent Land Uses: US 40 corridor; municipal open space; single family residential and associated open space; vacant parcel to the north zoned County- RR; vacant parcel to the south zoned County- MR; Park City Medical Center (IHC) and the Park City Ice Arena/Quinn's Fields Complex northwest of the intersection.
Reason for Review: Applications for Master Planned Developments require Planning Commission review

Objectives of this Meeting

Staff requests discussion on the following items:

- Revised Design Guidelines (Exhibit D)
- Revised Findings of Fact, Conclusions of Law, and Conditions of Approval (included herein)

Proposal

The proposed Park City Heights MPD application is a request for a residential development consisting of 239 units on 239 acres of land in the Community Transition (CT) zoning district. The CT zone allows 1 dwelling unit per acre, excluding required affordable units. Park City Heights MPD density includes all deed restricted affordable units in the density calculations. Excluding required deed restricted affordable units the Park City Heights MPD density is 0.816 dwelling units per acre. Please refer to the March 23, 2011, staff report (Exhibit A) for the following:

- a complete description of the proposed MPD
- background information and history of the review to date
- compliance with the Community Transition (CT) zone requirements
- compliance with the Master Planned Development criteria

Background

On March 23, 2011, the Planning Commission conducted a public hearing and provided input on the proposed MPD (minutes are included in the Commission packet). The extensive background of this project is given in the March 23rd report. Staff received follow-up comments from individual Planning Commissioners. Those comments have been addressed by staff and the applicant (see Exhibit B).

Analysis

Staff analysis of the application is provided in the Staff report of March 23, 2011 (Exhibit A). Based upon the input made at the March 23, 2011 meeting, a revised analysis of compliance with the Park City General Plan is provided as Exhibit C.

Discussion

- **Design Guidelines**

At the March 23, 2011 meeting, revised Design Guidelines were provided to the Commission. These Design Guidelines have been subsequently revised (attached as Exhibit D) to address concerns and issues raised at the March 23rd meeting and based on comments provided by individual Commissioners following the meeting. These amendments include the following:

- Additional design details for streets to mitigate cut and fill slopes and minimize the area of disturbance for street construction (see Exhibit I- Limits of Disturbance plan for streets, trails, park, drainage, etc.)
 - Retaining wall design guidelines
 - On-site construction recycling area
 - On-site excavation storage area to minimize disturbance areas
 - Defensible space regarding Wildland interface issues
 - Required energy off-set if snow melt systems and other high energy use amenities are used
 - Façade variation requirements
 - Skylight glass restrictions to protect night sky from light pollution
 - Driveway width limitations for shared driveways
 - Landscape requirements for perimeter lots in consideration of defensible space requirements
 - Privacy screening of hot tubs
- **Findings of Fact, Conclusions of Law, and Conditions of Approval**
Staff has provided final findings of fact and conditions of approval (attached to this report) in response to Commission and applicant comments raised at the March 23rd meeting, and in response to individual follow-up comments from that meeting.

- Staff has also provided an issues matrix (Exhibit J) to assist the Commission in review of this project. The matrix identifies issues, source of requirements (LMC, Annexation Agreement, etc), status of issues, and how the issue has been addressed (conditions of approval (COA), Design Guidelines (DG), etc.).
- A chart of the timeline of completion of the MPD requirements is included to summarize specific conditions of approval that have associated time requirements (Exhibit K).
- The applicants have revised the trails plan and provided a new exhibit showing how the proposed trails relate to the topography of the site (Exhibit H). Staff has included an exhibit indicating existing trails in the PC Heights area (Exhibit L).
- Recommendations regarding the Fire Protection plan requirements for individual units have been incorporated in the conditions of approval (Exhibit G).
- UDOT information regarding sound walls along highways is provided as Exhibit F.

Department Review

The application has been reviewed by the Planning, Building, Engineering, Sustainability, Public Works, Recreation, and Legal departments as well as by local and state utility providers (Snyderville Basin Water Reclamation District, Questar, Rocky Mountain Power, Fire District, Park City School District, Qwest, Comcast, and Mountain Trails Foundation). Issues raised during the review process have been adequately addressed and/or mitigated by revisions to the plans or by conditions of approval.

Public Notice

The property was posted and notice was mailed to property owners within 300 feet. Legal notice was also published in the Park Record as required by the Land Management Code.

Alternatives

- The Planning Commission may approve the Park City Heights MPD as conditioned and/or amended; or
- The Planning Commission may deny the Park City Heights MPD and direct staff to make findings of fact to support this decision; or
- The Planning Commission may continue the discussion and request additional information on specific items.

Significant Impacts

Fiscal impacts outlined in the Fiscal Impact Analysis, reviewed by the Planning Commission and City Council at the time of annexation, conclude that the proposed MPD does not create negative fiscal impacts on the City. As conditioned, the MPD mitigates significant impacts.

Consequences of not taking the Suggested Recommendation

The development could not be built as proposed and the property would remain within the Park City Municipal Boundary, zoned Community Transition, and subject to the Park City Heights Annexation Agreement.

Future Process

Approval of the MPD application by the Planning Commission constitutes Final Action that may be appealed following the procedures found in LMC 1-18. Approval of the final major subdivision plat, including phasing and associated utility plans, is required for the project to move forward. Subdivision plats require final action by the City Council.

Recommendations

Staff recommends the Planning Commission discuss the revised Design Guidelines and revised findings of fact, conclusions of law, and conditions of approval. The Commission should hold a public hearing, consider any input, and consider approving the Park City Heights MPD based on the findings of fact, conclusions of law, and conditions of approval as stated in the staff report, or as amended at the meeting.

Findings of Fact

1. The Park City Heights MPD includes the following:
 - a. 160 market rate units in a mix of cottage units on smaller lots (approximately 6,000 to 8,600 sf) and single family detached units on approximately 8,000 sf to 27,000 sf lots with two upper lots which are approximately 44,000 and 48,000 sf each.
 - b. 28 deed restricted townhouse units (44.78 affordable unit equivalents) (AUE) These 28 units meet the required IHC affordable units under their affordable housing obligation configured as seven four-plexes.
 - c. 16 deed restricted units (32 AUE). These 16 units meet the affordable housing required by the CT zone (LMC 15-2.23-4(A)(8)) and the Affordable Housing Resolution 17-99 configured as a mix of single family detached, cottage homes, and townhouse units.
 - d. 35 additional non-required deed restricted affordable units in a mix of unit types.
 - e. All units (including all deed restricted units) will be constructed to LEED for Homes Silver rating, or to the National Association of Home Builders National Green Building Standards- Silver, as stated in the Annexation Agreement, with each unit also achieving a minimum combined 10 points for water efficiency/conservation. Third party inspection will be provided.
 - f. A total of 171.5 acres of open space (not including open space within individual lots) is provided. This is approximately 72% of the entire 239 acres. This total includes the 24 acre parcel located adjacent to Highway 248 that is deeded to the City for open space.
 - g. An additional 5 acres of deeded open space is provided on Round Valley Drive adjacent to US 40 south of the Park City Medical Center. This open space is not included in the 72% figure. This is in exchange for transferring the 28 IHC deed restricted townhouse units to the PC Heights neighborhood.

- This parcel is deed restricted per requirements of the Burbidge/IHC Annexation and Development Agreements.
- h. A dedicated 3.55 acre (155,000 sf) public City Park with field, tot lot, shade structure, paths, natural area, and other amenities to be designed and constructed by the developer and maintained by the City. This park is included in the open space calculations.
 - i. A 15,000 sf (approx.) community gardens area within the PC Heights neighborhood. This area is included in the open space calculations.
 - j. 3 to 4 miles of soft surface trails within and around the property and additional mile or so of hard surfaced sidewalks and paths along the streets.
 - k. Trail connections to the Rail Trail and Quinn's trail, including trail on the north side of Richardson Flat Road from the 248 underpass to the Rail Trail and trail on the south side of the Road from the project to the Rail Trail. Trail connection to the south property line for future connections to the Jordanelle area. Trail easement on north side of Richardson Flat Road from Rail Trail to east property line. Trail connections to the Park City and Snyderville Basin back country trails system. Trails are further described in Finding #11.
 - l. Transit bus shelters along Richardson Flat road (City bus service expected to be extended to Park City Heights and the Park and Ride).
 - m. Bike racks at the club house and public park.
 - n. Cross walk across Richardson Flat road.
 - o. A 2,500 sf community center/club house area to be constructed by the developer with dedicated future ancillary support uses or possible daycare center parcels (Parcels I and J as shown on the preliminary plat). Construction of a daycare facility would be by the owner of the daycare facility and not by the Park City Heights development.
 - p. Water infrastructure improvements that enhance the City's overall water system and provide redundancy as required by the Water Agreement executed as part of the Annexation Agreement. Water shares were dedicated to the City as part of a pre-annexation agreement.
 - q. Transportation improvements to the Richardson Flat/248 intersection including lane improvements and installation of a traffic signal to provide intersection safety (controlled left turn) and putting the Park and Ride facility and Park City Heights on the City bus route. These transportation improvements meet the requirements in the Annexation Agreement.
 - r. Following Wildlife recommendations as identified in the Biological Resources Overview prepared by Logan, Simpson Design, Inc. amended March 17, 2011.
 - s. Design Guidelines approved as part of this MPD apply to all lots, with the exception of the 2 upper lots proposed to be subject to the CCRs for the Oaks at Deer Valley, or equivalent.
 - t. No sound barrier walls or structures along US 40 within the MPD.
2. The Park City Heights MPD is subject to the Park City Heights Annexation Agreement approved by the City Council on May 27, 2010. The Annexation Agreement sets forth terms and conditions of annexation, zoning, affordable housing, land use, density, transportation and traffic, phasing, trails, fire prevention,

road and road design, utilities and water, fiscal impact analysis, snow removal, fees, and sustainable development requirements for the 239 acre Park City Heights MPD. The MPD as conditioned is in compliance with the requirements of the Annexation Agreement.

3. The Park City Heights Annexation Agreement includes a Water Agreement as an integral component. The Water Agreement sets forth terms and conditions related to water facilities, restrictions regarding water, and phasing of development as it relates to completion of water infrastructure. The MPD as conditioned is in compliance with the Water Agreement.
4. On June 17, 2010, the applicants submitted a pre-MPD application based on the annexation approval and agreement. The Planning Commission reviewed the pre-MPD application at two (2) meetings (July 14 and August 11, 2010) and found the application to be in initial compliance with applicable elements of the Park City General Plan.
5. On June 30, 2010, the applicants submitted a complete MPD application.
6. The property was posted and notice was mailed to property owners within 300 feet. Legal notice was also published in the Park Record as required by the Land Management Code.
7. Public hearings on the MPD were held on October 13th, November 10th, and December 8th, 2010 and on February 9th, February 23rd, March 9th and March 23rd, 2011 and on April 27, 2011.
8. The property is located within the Community Transition (CT) zone. The MPD is in compliance with all applicable requirements of the CT zone, including density, uses, building setbacks, building height, parking, open space, affordable housing, and sustainable development requirements.
9. Access to the site is from Richardson Flat Road, a public road previously known as Old Dump Road. Access is also proposed to the currently unimproved US 40 frontage road (UDOT) along the east property line. No roads are provided through the Park City Heights MPD to the Oaks, Royal Oaks, or any other neighborhood within the Deer Valley MPD, consistent with the Annexation Agreement.
10. Utilities are available in the area, however extension of utilities or utility upgrades to the development site are required. A final utility plan will be submitted with the final subdivision plats to be reviewed by the Interdepartmental and Utility Service providers Development Review Team. City Staff will provide utility coordination meetings to ensure that utilities are provided in the most efficient, logical manner and that comply with best practices, including consideration of aesthetics in the location of above ground utility boxes. Location of utility boxes shall be shown on the final utility plans. The MPD phasing plan shall be consistent with conditions of the Annexation Agreement related to provision of public services and facilities.
11. The MPD includes 1) a paved connector trail on the south side of and separated from Richardson Flat Road, from the project to the Rail Trail, 2) a paved connector trail on the north side of and separated from Richardson Flat Road, from the SR 248 underpass to the Rail Trail, 3) a trail connection from trails within the project to the south property boundary line, 4) a trail easement along the north side of and separated from Richardson Flat Road from the Rail Trail to the east property boundary line, and 5) several miles of paved and soft surfaced trails throughout the

development. All trails will be constructed consistent with the Park City Trails Master Plan.

12. The MPD includes a dedicated public park to be constructed by the developer according to the City's parks plan, or as otherwise directed by the City Council.
13. Parking within the MPD is proposed at two spaces per unit within private garages. Additional surface parking is provided for guests, the community gardens/park area, and the neighborhood club house/meeting area.
14. The proposed MPD density of 1 unit per acre complies with the density allowed by the CT zone. (239 units on 239 acres) The net density is 0.82 units per acre (195 units on 239 acres), excluding the 44 required deed restricted housing units. The density is consistent with the Annexation Agreement. If the additional 35 deed restricted affordable units are included in this analysis the net density is 0.67 units per acre (160 units on 239 acres).
15. The LMC requires a Sensitive Lands Analysis for all Master Planned Development applications. The MPD application included a Sensitive Lands Analysis.
16. A portion of property is located within the designated SR 248 Entry Corridor. This area is identified in the MPD as open space and all required entry corridor setbacks of 200' are complied with.
17. The property contains SLO designated steep slopes, ridgelines and wetland areas. These areas are identified in the MPD as open space areas and all required wetland and stream setbacks are complied with.
18. A wildlife study was conducted and a report (December 2010) was prepared by Logan Simpson Design, Inc. A revised report was prepared on March 17, 2011. The wildlife study addresses requirements of the Land Management Code and provides recommendation for mitigation of impacts on wildlife.
19. The site plan complies with the minimum MPD required 25' setback around the perimeter of the property. Setbacks range from 25' to 690' (and greater to the south property line).
20. The locations of the proposed units are consistent with the MPD site planning and Sensitive Lands Overlay criteria.
21. The property is visible from the designated LMC Vantage point along State Road 248 and a visual analysis was conducted by the applicant from this Vantage point. Additional visual analysis was provided from the intersection of Richardson Flat Road and SR 248. Units along the western perimeter are most visible along the minor ridge from SR 248 and additional design specific analysis is warranted through the conditional use process if building height over the 28' zone height is requested and recommended as a condition of approval of this MPD.
22. Structures containing more than four units and future non-residential structures on Parcels I and J will be more visible due to the location along Richardson Flat Road and the potential massing. Additional review through the conditional use process is warranted for these parcels and uses and recommended as a condition of approval of this MPD.
23. Design Guidelines for the Park City Heights MPD address site planning, architecture and design, sustainability and best practices, landscaping and water conservation, and other requirements of the Annexation Agreement.

24. A traffic study was conducted and a report was prepared by Hales Engineering in 2007 and updated in 2008. This study was utilized during the annexation process in the determination of density and requirements for traffic and transportation related impact mitigations. An updated traffic volume and trip generation report was provided by Hales Engineering on September 27, 2010. The updated report concludes that the reduced density of the current MPD and the slight increase in background traffic volumes from those utilized in the 2007/2008 studies indicate that the TIS does not need to be updated for the MPD and that the recommendations for transportation and traffic mitigation as required by the Annexation Agreement are still valid.
25. Construction traffic is required to be addressed in the Construction Mitigation Plan.
26. A Geotechnical Study for the Park City Heights Development was provided by Gordon, Spilker Huber Geotechnical Consultants, Inc. (June 9, 2006). Expansive clay soils were encountered across the site in the upper two and one-half to nine and one-half feet. Shallow bedrock was found within portions of the site. Special construction methods, removal of these unsuitable soils, and other mitigations are spelled out in the Study.
27. A Fire Protection Report (March 2011) identifies potential Wildland urban interface areas within the MPD. Prior to issuance of building permits the Building Department will review individual building fire protection plans for compliance with recommendations of the Fire Protection Report and applicable building and fire codes. The fire protection component of the plan shall ensure that Park City's ISO rating is not negatively affected by construction of the building.
28. Affordable housing obligations of the MPD are consistent with the affordable housing described by the Park City Heights Annexation Agreement, Housing Resolution 17-99 and as required by the CT zone. The MPD provides up to an additional 35 deed restricted housing units over the 28 deed restricted townhouse units (44.78 affordable unit equivalents (AUE) required by the IHC MPD and the 16 deed restricted units (32 AUE) required by the CT zone for the 160 market rate units). These affordable units are configured as a mix of single family detached, duplexes, cottage units, and attached townhouse units. The additional 35 non-required deed restricted affordable units are proposed to be a mix of unit types as part of this MPD.
29. No building height exceptions have been requested and all buildings will comply with the height limitations of the CT zone.
30. Lots have been positioned to minimize visual impacts on adjacent structures. Potential problems on neighboring properties caused by shadows, loss of solar access, and loss of air circulation, have been mitigated to the extent possible as further described in the Park City Heights Design Guidelines.
31. Utilities must be extended to the site to sustain the anticipated uses. Thirty (30') foot wide non-exclusive utility easements are generally necessary for long term maintenance and shall be dedicated on the final subdivision plats. Off-site improvements are necessary to serve the site with utilities.
32. Off-site trail and intersection improvements will create traffic delays and potential detours, short term access and private driveway blockage, increased transit time,

parking inconveniences, and other impacts on the adjacent neighborhoods and to the community in general.

33. A Construction Mitigation Plan (CMP) is necessary to identify impacts and propose reasonable mitigation of these impacts on the site, neighborhood, and community due to construction of this project. The CMP shall include information about specific construction phasing, traffic, parking, service and delivery, stock-piling of materials and staging of work, work hours, noise control, temporary lighting, trash management and recycling, mud and dust control, construction signs, temporary road and/or trail closures, limits of disturbance fencing, protection of existing vegetation, erosion control and storm water management.
34. Final road designs will be provided to the Planning Commission for review with the final subdivision plats. To minimize visual impacts and to minimize disturbance of existing vegetation due to large areas of cut and fill slopes, low retaining structures (in steps of 4' to 6') are recommended. These low retaining structures may be stepped to minimize their height. Design of these retaining structures is included in the PC Heights Design Guidelines to ensure consistency of design, materials, and colors throughout the development.
35. A storm water run-off and drainage plan is necessary to ensure compliance with Park City's Storm Water Management Plan and storm water Best Management Practices for storm water during construction and post construction with special considerations to protect the wetlands delineated on and adjacent to the site.
36. A financial guarantee for all landscaping and public improvements is necessary to ensure completion of these improvements and to protect the public from liability and physical harm if these improvements are not completed by the developer or owner in a timely manner. This financial guarantee is required prior to building permit issuance.
37. Parcels I and J are identified on the preliminary subdivision plat as potential future support commercial and/or child care center or similar uses pad sites. These parcels are currently used as a temporary, dirt parking lot. Construction of a daycare center would be the responsibility of the owner, not the applicant/developer of Park City Heights.
38. A master sign plan is required for Planning Department review and approval and all individual signs require a sign permit prior to installation.
39. Sound mitigation may be desired by owners of units along US 40. Conditions of approval prohibit sound barrier walls within the MPD. Sound mitigation may be provided with landscaping, berming, smart housing design and insulation, and sound barriers constructed as part of the dwelling units.
40. Section 15-6-4 (G) of the LMC states that once the Planning Commission has approved an MPD, the approval shall be put in the form of a Development Agreement.
41. The applicant stipulates to the conditions of approval.
42. The discussion in the Analysis sections of this report and the Analysis sections of the March 23, 2011 Planning Commission Staff Report (Exhibit A) are incorporated herein.

Conclusions of Law

1. The MPD, as conditioned, complies with all requirements outlined in the applicable sections of the Land Management Code, specifically Chapter 6- Master Planned Developments Section 15-6-5 as stated in Exhibit A, March 23, 2011 Planning Commission Staff Report.
2. The MPD, as conditioned, is compatible with surrounding structures in use, scale, mass, and circulation.
3. The MPD, as conditioned, is consistent with the Park City General Plan.
4. The MPD, as conditioned, is consistent with the Park City Heights Annexation Agreement.
5. The MPD, as conditioned, strengthens and enhances the resort character of Park City.
6. The MPD, as conditioned, is Compatible in use, scale and mass with adjacent properties, and promotes neighborhood Compatibility.
7. The MPD provides amenities to the community so that there is no net loss of community amenities.
8. The MPD is consistent with the employee Affordable Housing requirements as adopted by the City Council at the time the Application was filed.
9. The MPD has been designed to place Development on the most Developable Land and preserves significant features and vegetation to the extent possible.
10. The MPD promotes the Use of non-vehicular forms of transportation through design and by providing trail connections to existing community trails, a walkable interconnected site plan, a city park and neighborhood amenities, and a bus shelter and cross walk.
11. The MPD has been noticed and public hearings held in accordance with the LMC.

Conditions of Approval

1. All standard project conditions shall apply (Exhibit E).
2. A final subdivision plat for each phase, or sub phase, of development shall be submitted for review by the Planning Commission and City Council and shall be recorded prior to issuance of building permits for individual units within that plat. The plats shall be consistent with the LMC, preliminary plat and the PC Heights site plan and documents reviewed and approved by the Planning Commission during the MPD approval. Final street design, including final cut and fill calculations and limit of disturbance areas, shall be submitted with all final subdivision plats to be reviewed and approved by the Planning Commission during final subdivision review.
3. A limit of disturbance area (LOD), maximum building footprint and/or house size limitation and a setback requirement table for the lots shall be included on the final plats consistent with the Park City Heights Design Guidelines.
4. A note shall be added to the final plats stating that a landscape plan shall be submitted for City review and approval for each lot, prior to building permit issuance for that lot.
5. A note shall be added to the final plats stating that all units (including all deed restricted units) shall be constructed to LEED for Homes Silver rating, or to the National Association of Home Builders National Green Building Standards- Silver,

- as stated in the Annexation Agreement, with each unit also achieving a minimum combined 10 points for water efficiency/conservation. Third party inspection will be provided to confirm compliance with the standards.
6. A final landscaping and irrigation plan for common areas shall be submitted with the final plats for each phase. Landscaping, in particular entry and perimeter landscaping, shall be completed within nine (9) months of issuance of 50% of building permits or within six (6) months of any individual Certificate of Occupancy. Landscaping materials and irrigation shall comply with the requirements of the Annexation Agreement, including the Water Agreement, and the Park City Heights Design Guidelines.
 7. All exterior building materials, colors and final design details must be in substantial compliance with the final Park City Heights Design Guidelines and shall be approved by staff prior to building permit issuance. Materials shall not be reflective and colors shall be warm, earth tones that blend with the natural colors of the area.
 8. All exterior lighting, including any street and/or path lighting shall be subdued in nature and shall conform to the LMC Sections 15-5-5-(l) and 15-3-3(c) and the Park City Heights Design Guidelines.
 9. All exterior lighting, with the exception of bollard lighting at the park shall be privately maintained.
 10. A Construction Mitigation Plan (CMP) shall be submitted and approved by the City for compliance with the Municipal Code, as a condition precedent to issuance of any grading or building permits. The CMP shall address construction phasing, staging, storage of materials, circulation and traffic, parking, service and delivery, re-vegetation of disturbed areas, temporary signs and construction lighting, hours of operation, dust and mud control, storm water management, and other items as may be required by the Building Department. The immediate neighborhood and community at large shall be provided notice at least 24 hours in advance of construction work impacting private driveways, street closures, and interruption of utility service.
 11. The CMP shall address disposal and treatment of all excavated materials. The capping of exposed soils within the City's Soils Ordinance Boundary is subject to all applicable regulations and requirements of the Park City Soils Ordinance Title 11, Chapter 15- Park City Landscaping and Maintenance of Soil Cover. A detailed Limit of Disturbance (LOD) plan shall be submitted as part of the CMP.
 12. A construction recycling area and an excavation materials storage area shall be provided within the development to reduce the number of construction trips to and from the development. This condition applies at a minimum to the first two phases of development and may be waived for subsequent phases of development upon request by the applicant and upon review by the Planning, Building, and Engineering Departments.
 13. A storm water run-off and drainage plan shall be submitted with the building plans and approved prior to issuance of any building permits. The plan shall follow Park City's Storm Water Management Plan and the project shall implement storm water Best Management Practices. Post development drainage shall not exceed pre-development drainage conditions and special consideration shall be made to protect the wetlands delineated on and adjacent to the site.

14. Maintenance of sidewalks, trails, lighting, and landscaping within the rights-of-way and common areas, with the exception of the public park and public trails, shall be provided by the HOA, unless otherwise agreed upon by the City Council. Language regarding ownership and maintenance of the open space and common areas shall be included on the final subdivision plats.
15. A financial guarantee, in a form and amount acceptable to the City and in conformance with the LMC Subdivision Regulations, for the value of all public improvements, pedestrian amenities and trails, sidewalks, bus stop amenities, landscaping (including landscaping to re-vegetate and re-landscape areas disturbed by construction related to the MPD) to be completed according to the final approved plans shall be provided to the City prior to building permit issuance for new construction within each phase of construction. All public improvements shall be completed according to City standards and accepted by the City Council prior to release of this guarantee.
16. Final utility plans, consistent with preliminary utility plans reviewed by the Planning Commission during the MPD review, shall be submitted with the final subdivision plats. Utility plans shall be reviewed by the Interdepartmental staff members and the utility service providers as the Development Review Team. Utilities for the MPD shall be placed underground.
17. The City Engineer shall review and approve all associated utility and public improvements plans (including streets and sidewalks, grading, drainage, trails, public necessity signs, street signs and lighting, and other required items) for compliance with the LMC and City standards as a condition precedent to final subdivision plat recordation.
18. Above ground utility boxes must be shown on the final utility plans. The location of these boxes shall comply with best practices for the location of above ground utility boxes. These boxes shall be located in the most efficient, logical, and aesthetic locations, preferably underground. If located above ground the boxes shall be screened to minimize visual impacts and locations shall be approved by the City Engineer.
19. The Snyderville Basin Water Reclamation District's review and approval of the utility plans and final subdivision plats, for conformance with the District's standards for review, is a condition precedent to plat recordation and building permit issuance.
20. All construction, including grading and trails, within the Park City Soils Ordinance area shall comply with restrictions and requirements of the Park City Soils Ordinance (Municipal Code Title 11, Chapter 15).
21. Trail improvements necessary to connect the Rail Trail to the Hwy 248 tunnel trail on the north side of Richardson Flat Road, as well as the trail connection from the Rail Trail to the public park on the south side of Richardson Flat Road, will likely impact the wetlands in this area. As a condition precedent to issuance of a building permit for these trails, a wetlands impacts and enhancements plan shall be reviewed by the Planning Staff. All required wetlands permits shall be obtained from the required agencies. Mitigation for the disturbance of any wetland areas shall be identified on the trail construction plan and shall include enhancements of wetlands as an amenity feature for users of the trail system. Enhancements, as outlined in the Biological Report, could include educational signs, such as identification of

- plants and animals, ecological processes, wetlands ecology, and insights into seasonal changes to the landscape. The trail system would be an ideal location for placement of blue bird nest boxes.
22. All construction, including streets, utilities, and structures shall comply with recommendations of the June 9, 2006, Geotechnical Study for the Park City Heights Development provided by Gordon, Spilker Huber Geotechnical Consultants, Inc. Special construction methods, removal of unsuitable soils, and other mitigation measures are recommended in the Study. Additional soils studies and geotechnical reports may be required by the Building Department prior to issuance of building permits for streets, utility installation, and structures.
 23. A detailed review against the Uniform Building and Fire Codes in use at the time of building permit submittal is a condition precedent to issuance of full building permit.
 24. Fire protection and emergency access plans shall be submitted prior to the issuance of any building permits and shall be consistent with applicable building and fire codes and shall take into consideration the recommendations of the Fire Protection Report (March 2011). The fire protection plans shall include any required fire sprinkler systems and landscaping restrictions within the Wildland interface zones. The plans shall ensure that Park City's ISO rating is not negatively affected by construction of the building.
 25. A limit of disturbance area shall be identified during the building permit review and construction fencing will be required to mitigate construction impacts. Silt fencing is required during construction in areas where run-off and construction may impact adjacent wetlands, water ways, and undisturbed areas as determined by the Building Department.
 26. Trail easements for all proposed trails in the MPD shall be platted on the final recorded subdivision plats. All trails shall be constructed consistent with the Park City Trails Master Plan and the Snyderville Basin Trails Master Plan. Connections to undeveloped property to the south providing future connections to the Wasatch County shall be consistent with the Wasatch County Trails Plan.
 27. Construction of the public park, trails within the first phase, trail connections to the Rail Trail on both the north and south sides of Richardson Flat road, as described in the findings, and other neighborhood amenities associated with the first phase, shall commence upon issuance of the 59th building permit for Phase I (as described in the Annexation Agreement) and shall be complete within 9 months from commencement of construction. In subsequent phases, trails, amenities, and other improvements shall be completed prior to issuance of 50% of the certificates of occupancy for the units within that phase, or as otherwise stated in the Development Agreement.
 28. An Affordable Housing Plan, consistent with the Park City Heights Annexation Agreement and as required by LMC Section 15-6-5 (J), shall be approved by the Park City Housing Authority prior to issuance of any building permits for units within the MPD.
 29. As a condition precedent to receiving a certificate of occupancy for any market rate unit the City shall be provided with proof of compliance with the approved Affordable Housing Plan.

30. A master sign plan for the neighborhood shall be submitted, reviewed for compliance with the Park City Sign Code, and approved by the City, as a condition precedent to issuance of any individual sign permits.
31. No sound barrier walls or structures along US 40 are permitted within the MPD. Sound mitigation shall be provided with landscaping and berms, energy efficient housing design and insulation, and sound mitigation constructed as part of the design of the dwelling units.
32. Approval of this Master Planned Development is subject to LMC Chapter 6- Master Planned Developments and shall expire two years from the date of execution of the Development Agreement unless Construction, as defined by the Uniform Building Code, has commenced on the project.
33. Pursuant to Section 15-6-4 (G) of the LMC, once the Planning Commission has approved an MPD, the approval shall be put in the form of a Development Agreement. The Development Agreement must be submitted for ratification by the Planning Commission within 6 months of this approval. The Development Agreement shall be signed by the Mayor on behalf of the City Council and recorded with the Summit County Recorder.
34. The Park City Soils Boundary shall be identified on the final plats (if applicable).
35. Timing of completion of all required items and public benefits shall be further described and stated in the Development Agreement.
36. No through roads may be provided through the Park City Heights MPD to the Deer Valley MPD subdivisions.
37. A re-vegetation plan for Parcels I and J shall be submitted with the final road and utility plans. Re-vegetation of these parcels shall be completed prior to issuance of the first certificate of occupancy for the Park City Heights MPD.
38. Noxious weeds shall be managed per the Summit County noxious weeds ordinances during construction and in perpetuity by including regulations in the CMP, Design Guidelines, and CCRs.
39. Two additional site visits are required by knowledgeable biologists during May or June 2011 to validate the observations of the biological report and to identify wildlife movement corridors, location of coyote/fox den sites, and any areas of high native species diversity. The report shall include additional recommendations on mitigating impacts of the development on wildlife and wildlife corridors. The report shall be provided to the Planning Department prior to issuance of any grading or building permits.
40. Clearing and grubbing of vegetation and soils shall be minimized from April through July to avoid disturbance of nesting birds, unless a detailed search for active nests is conducted.
41. As a condition precedent to building permit issuance for any structure containing more than 4 units, and for any non-residential structure proposed to be constructed on Parcels I and J of the preliminary subdivision plat, a conditional use permit shall be approved by the Planning Commission.
42. As a condition precedent to building permit issuance for construction of a house on the western perimeter lots, namely Lots 23, 24, 30, 31, 66, 67, 76 and 77 of the preliminary subdivision plat, a conditional use permit shall be approved by the

- Planning Commission if a building roof height greater than the Zone Height of 28 feet is requested. Other LMC zone height exceptions continue to apply.
43. The applicants shall approach the adjacent property owner to the west to explore a mutually agreeable plan for incorporating the parcel into the Park City MPD and transferring density to the Park City Heights neighborhood in exchange for open space designation of this highly sensitive and visible parcel of land and the potential to relocated the upper western cul-de-sac to a less visible location.
 44. All work within the Rail Trail ROW requires review by and permits issued by the Utah State Parks/Mountain Trails Foundation, in addition to the City. The Rail Trail shall remain open to pedestrians during construction to the extent possible.
 45. High energy use amenities, such as snow melt systems, heated driveways, exterior pools and fireplaces, shall require energy off-sets and/or require the power to be from alternative energy sources.
 46. All conditions, requirements, and stipulations of the Park City Heights Annexation Agreement and Water Agreement continue to apply to this MPD.
 47. The final MPD phasing plan shall be consistent with conditions of the Water Agreement as to provision of public services and facilities.
 48. All transportation mitigation requirements, as stated in the Annexation Agreement, continue to apply to this MPD.

Exhibits

- Exhibit A- Staff report of March 23, 2011 (all attachments to this report were previously provided and are available on the city's website www.parkcity.org).
- Exhibit B- Summary of follow-up comments and applicant's responses
- Exhibit C- A revised analysis of compliance with the Park City General Plan.
- Exhibit D- Revised Park City Heights Design Guidelines
- Exhibit E- Standard Conditions of Approval
- Exhibit F- UDOT information on sound walls
- Exhibit G- e-mail from Scott Adams, regarding Fire Protection Plan recommendations
- Exhibit H- Trails plan and topography
- Exhibit I- Limits of Disturbance for streets, trails, landscaping, park, utilities, and drainage
- Exhibit J- Issues matrix
- Exhibit K- Timeline to complete MPD requirements chart
- Exhibit L- Existing trails map

Planning Commission Staff Report



Subject: Park City Heights MPD
Author: Kirsten A Whetstone
Date: March 23, 2011
Project # PL-10-01028
Type of Item: Administrative – Master Planned Development

Summary Recommendations

Staff recommends the Planning Commission conduct a public hearing, consider any input, discuss and provide input on 1) discussion items highlighted in the report and 2) draft findings of fact, conclusions of law, and conditions of approval. Staff recommends the Commission continue the item to April 27, 2011, to allow staff and applicant time to address any remaining issues and return with proposed final findings of fact, conclusions of law, and conditions of approval.

Topic

Applicant: The Boyer Company and Park City Municipal Corporation
Location: Richardson Flat Road, west of US 40 and south of the Rail Trail
Zoning: Community Transition (CT)
Adjacent Land Uses: US 40 corridor; municipal open space; single family residential and associated open space; vacant parcel to the north zoned County- RR; vacant parcel to the south zoned County- MR; Park City Medical Center (IHC) and the Park City Ice Arena/Quinn's Fields Complex northwest of the intersection.
Reason for Review: Applications for Master Planned Developments require Planning Commission review

Proposal

The proposed Park City Heights MPD application is a request for a residential development consisting of 239 units on 239 acres of land in the CT zoning district. The MPD includes (Exhibit A):

- 160 market rate units in a mix of cottage units on smaller lots (approximately 6,000 to 8,600 sf) and single family detached units on approximately 8,000 sf to 27,000 sf lots (two upper lots are approximately 44,000 and 48,000 sf).
- 28 deed restricted townhouse units (44.78 affordable unit equivalents) (AUE) - required IHC affordable units configured as seven four-plexes.
- 16 deed restricted units (32 AUE) - required CT zone affordable configured as a mix of single family detached to townhouse units.
- 35 additional non-required deed restricted units in a mix of unit types.
- All units (including all deed restricted units) constructed to LEED for Homes Silver rating at a minimum with each unit achieving a minimum combined 10

points minimum for water efficiency/conservation with Third Party inspection required prior to certificate of occupancy.

- 171.5 acres of dedicated open space (large tracts of contiguous natural open space that does not include open space area around the units) (71.75%).
- 5 acres additional dedicated open space on Round Valley Drive adjacent to US 40 south of the Park City Medical Center (in exchange for 28 IHC deed restricted townhouse units transferred to PC Heights neighborhood).
- A dedicated 3.55 acre (155,000 sf) public City Park with field, tot lot, shade structure, paths, natural area, and other amenities to be designed and constructed by the developer and maintained by the City.
- A dedicated 15,000 sf (approx.) community gardens area within the PC Heights neighborhood.
- 3 to 4 miles of soft surface trails within and around the property and additional mile or so of 8' wide hard surfaced sidewalks and paths along the streets.
- Trail connections to the Rail Trail and Quinn's trail, including trail on the north side of Richardson Flat Road from the 248 underpass to the Rail Trail and trail on the south side of the Road from the project to the Rail Trail. Trail connection to the south property line for future connections to the Jordanelle area. Trail easement on north side of Richardson Flat Road from Rail Trail to east property line.
- Transit bus shelters along Richardson's Flat road (City bus service expected to be extended to Park City Heights and the Park and Ride).
- Cross walk across Richardson's Flat road.
- A 2,500 sf community center/club house area to be constructed by the developer with dedicated future support commercial. Two parcels for future daycare center and/or support commercial.
- Water infrastructure improvements that enhance the City's overall water system and provide redundancy as required by the Water Agreement. Water shares were dedicated to the City as part of a pre-annexation agreement.
- Transportation improvements to the Richardson's Flat/248 intersection including lane improvements and installation of a traffic signal to provide intersection safety (controlled left turn) as required to put the Park and Ride facility and Park City Heights on the City bus route, as required by the Annexation Agreement.
- Wildlife enhancements.
- Design Guidelines approved as part of this MPD apply to all lots, with the exception of the 2 upper lots proposed to be subject to the CCRs for the Oaks at Deer Valley subdivision, or equivalent.
- No sound barrier walls or structures along US 40 within the MPD.
- Widened the overhead power line easement to sixty feet (60').

Background

On May 27, 2010, the Park City Council voted to adopt an ordinance approving the Park City Heights Annexation, including the Park City Heights Annexation Agreement and associated Water Agreement (Exhibit B). The Council also voted to approve Community Transition (CT) zoning for the entire 286 acres.

On June 17, 2010, the applicant submitted a pre-MPD application for a residential development on 239 acres of the Annexation area. The Planning Commission reviewed the pre-MPD application at two (2) meetings (July 14 and August 11, 2010) and found the pre-MPD application to be in initial compliance with applicable elements of the Park City General Plan.

On June 30, 2010 the City received a complete application for the Park City Heights MPD. A list of the MPD application documents is included as Exhibit C.

On September 22nd, October 13th, November 10th, and December 8th, 2010 and on February 9th, February 23rd, March 9th and March 23rd, 2011, the Planning Commission conducted work sessions and/or public hearings on the MPD (Exhibit D).

A summary of the discussion items is as follows:

- September 22nd, 2010 (work session)
 - Background and review of annexation agreement and pre-MPD findings from the Commission.
 - MPD process (flow chart from annexation to building permit).
 - Binder provided to the Commission with planning documents (annexation agreement, water agreement, CT zone, MPD criteria, task force recommendations, Quinn's planning principles, pre-MPD staff reports and minutes).
 - Revised site plan – incorporated Commission comments from the pre-MPD.
- October 13th, 2010 (work session and public hearing)
 - Traffic Study and update provided (traffic engineer answered questions regarding proposed mitigation, including signalized intersection at SR 248 – consistent with requirements of the annexation agreement) (Exhibit I).
 - Trails and pedestrian circulation (importance of a separated trail connection to the Quinn's area underpass and importance of connections to Jordanelle area).
 - Site plan elements- street system layout and connectivity of the neighborhood, entrance area and landscaping, park and amenities, mix of unit types, location of IHC units within phase I, support commercial options, visual analysis, sensitive lands, and buffering from US 40.
 - Compliance with and an overview of the CT zone requirements.
 - Affordable housing requirements and concept of mixing the deed restricted units within the neighborhood.
 - Overview of the utility plan
 - Public input regarding connections to Rail Trail, safety of Rail Trail crossing, size of trails to accommodate snow grooming equipment, and constraints due to wetlands along Rail Trail.
- November 10th, 2010 (public hearing and discussion)
 - Revised site plan (revised street layouts of phase 2, better integration of unit types, enhanced buffer along US 40, fewer cul-de-sacs, more connectivity, area within clubhouse for future support commercial uses

- and/or child care facilities, community garden area, enhanced public park, and bus shelter).
 - Design guidelines and landscaping concepts were presented and discussed. Creativity in design to mitigate windy character of the area as well as solar access/easement considerations to take advantage of solar and wind energy resources.
 - Revised trail plan showing connections to south, north, east and west. Trails separated from Richardson Flat Road.
 - Access, emergency response, alley way configuration, public works issues, snow storage, and other issues were discussed. Applicant agreed to meet with City and service providers to work out details.
 - Public input regarding no through roads from PC Heights to the Oaks in Deer Valley and the configuration of streets and alley ways of phase 1.
- December 8th, 2010 (work session and public hearing)
 - Design guideline concepts.
 - Photo study of architectural ideas for the different housing types.
 - No public input provided.
- February 9th, 2011 (work session and public hearing)
 - Revised site plan (revised streets more inline with existing topography, eliminated spine street and replaced it with a 60' wide pedestrian corridor/greenway, increased power line easement to 60' and brought all but 3 lots on west side of easement lower and towards the center of the project, snow storage areas shown, trails studied and modified for grades and access, and further integration of deed restricted units).
 - Physical and computer models of the project.
 - Draft design guidelines, including landscaping elements (importance of roof forms, solar design, best practices in planning and design, energy efficiency, address heated driveways, fencing, skylights, lighting, LEED requirements, and construction waste recycling).
 - Perspectives of the three housing concepts (park townhouses, cottage homes, and homestead homes/lots), including typical street sections with sidewalks/trails.
 - Public input regarding adding a dog park to bring the community together.
- February 23rd, 2011 (discussion and public hearing)
 - Preliminary plat and utility plans.
 - Additional visual analysis from various vantage points (248 at the intersection with Richardson Flat Road and at the intersection with Round Valley Way).
 - Setbacks demonstrated from SR 248 and US 40 and comparison to other projects in the area.
 - Perspectives of the housing types and street cross sections (design guidelines to incorporate specific massing and design criteria for some of the more visible edges- such as the units at the western end of the three short hammerhead streets and the buildings closest to Richardson Flat Road).

- Landscaping and perimeter plantings to buffer and soften the edges of the development. Additional landscaping information to be added to the design guidelines and also address noxious weeds.
- Wildlife study needs to be revised to address criteria in the LMC, including recommendations for mitigation of impacts and wildlife enhancements.
- Additional street cross sections requested to review cut and fill, slope disturbance, and other visual impacts of the proposed street design.
- Information on proposed phasing was requested.
- No public input provided.
- March 9th, 2011 (work session)
 - Street cross section study (cut and fill, slope disturbance, visual impacts). Roadway design objectives, constraints, revisions from previous site plan. Explore opportunities to lower the SW most cul-de-sac, work with adjacent property owner, transfer density to PC Heights, etc. Important to understand how much area outside of the roadway will be disturbed.
 - Design the roads and have details for review at time of final plats.
 - Re-vegetation need to specify material and methods.
 - Show a design for the integrating of trails, cul-de-sacs, driveways, streets, area of disturbance, re-vegetation, and materials proposed.
 - Revised wildlife study.
 - Explore area at other times of the year for other species.
 - What mitigations or enhancements can be done successfully for wildlife in the area? Need recommendations from the Wildlife study in form of conditions for the MPD.
 - Requested Fire Protection Report to understand hazards and impacts on fire ratings, etc.
 - Public input regarding large cranes observed on the site.

The information reviewed at these meetings is supplemental to the information included in the Park City Heights binder and exhibits to previous staff reports. See Exhibit C for a complete list of all submittal documents that make up the Park City Heights MPD application.

Analysis

Staff reviewed the application and provides the following analysis and recommendations regarding compliance with the General Plan and Land Management Code (Chapter 2.23- CT zoning requirements and Chapter 6- Master Planned Development criteria):

General Plan Discussion

The specific elements of the General Plan that apply to this project are included in the following analysis. The General Plan establishes goals designed to address foreseeable problems and express community aspirations. The following key goals are applicable:

Community Direction

- Preserve the mountain resort and historic character of Park City.

- Future development should complement the existing historic and resort qualities of our mountain community.
- New development should be modest in scale and utilize historic building and natural building materials. New structures should blend in with the landscape.
- Preserve environmental quality, open spaces, and outdoor recreational opportunities.
 - Preserve an attractive, healthy environment with clean air and natural landscapes. To preserve the natural views of the mountains and meadows, new development should be focused in less visible areas.
 - Retain maximum possible amount of natural vegetation, screen structures, and preserve natural quality of the landscape.
- Maintain high quality of public services and facilities.
 - Community should continue to provide excellence in public services and community facilities to meet the needs and desires of residents and visitors.
- Maintain the unique identity and character of an historic resort community.

Community Character Element

The project is located within the Highway 40/248 SW planning area,

Applicable “Developing Areas Actions” include:

- Limit the size of new homes in relation to their lots.
- Promote the use of such building materials as wood siding, rock accents, earth tones, and metal roofs that have historic precedents in a mountain community context.
- Vary setbacks to avoid giving neighborhoods a suburban feeling.
- Minimize parking expanses between the street and the front facades of buildings. Require landscaped entries that connect with streets to provide easy, safe pedestrian access.
- Minimize architectural styles and signage that are clearly not in keeping with the mountain resort (and historic) character of the community.
- Provide trails and access to year round trails that connect with adjacent areas and to public trail systems.
- Require adequate, well-engineered streets that minimize the impact on the environment by avoiding excessive grading and cutting of hillsides.
- On development near City entries, enact special controls regarding setbacks, landscaping, building mass, and character.

Land Use Element

The General Plan’s Land Use Plan identifies the subject site as a possible low density residential receiving zone.

- The General Plan discusses the following elements for development: architectural character, controlling lighting and size, requiring well-engineered streets, maintain pedestrian linkages from neighborhoods to commercial areas minimize expanses of parking, enhance landscape buffers at street edge and at entrances, etc.

- Community Design policies encourage comprehensive, efficient developments that consider overall impacts on surrounding properties.

Open Space Element

The Open Space element seeks to support a community preference for retaining the openness unique to Park City and avoiding the planning and development pitfalls that can result from urban sprawl. This element also incorporates visual preferences of residents regarding the value of a variety of types of open spaces, including the openness of entry corridors.

- Demand special attention to the entryway areas, including Highways 40, 224, and 248 with site planning parameters that create open space corridors.
- Prohibit development of highly visible hillsides and ridge lines as viewed from Highway 40 and 248.
- Residential development in this area shall be clustered and surrounded by open space.

Environment Element

- This element focuses on policies and actions that protect and enhance the environment, aesthetics, and unique natural resources of the community.
- Encourage comprehensive, efficient developments that consider the overall impact on surrounding properties. Phasing plans for such projects will be necessary to avoid the premature expansion of utilities and other public facilities.
- Approve development only when adequate public services and facilities are available, or will be available when needed to serve the project.
- Wildlife habitat and migration routes should be considered in developments.
- A balance must be maintained between development, recreational activities and the natural environment. It is important to work cooperatively with State and Federal government agencies to resolve issues.

Land Management Code- CT Zone

The purpose of the Community Transition (CT) District is to:

- (A) Encourage low-Density public, quasi-public, and/or institutional Uses relating to community open space, recreation, sports training and Development, tourism, and community health;
- (B) Encourage low Density Development designed in a manner so as to cluster Uses in the least visually sensitive Areas and maximizes open space;
- (C) Enhance and expand public open space and recreation Uses Compatible with the adjacent public deed-restricted open space;
- (D) Prohibit highway service commercial, regional-commercial, and limit residential land Uses;
- (E) Require Building and Site design solutions that minimize the visual impacts of parking and parking lot lighting from the entry corridor and adjacent neighborhoods and land Uses;
- (F) Preserve and enhance environmentally Sensitive Lands such as wetlands, Steep Slopes, ridgelines, wooded Areas, and Stream Corridors;

- (G) Preserve Park City’s scenic entry corridor by providing significant open space and landscape buffers between Development and the highway corridor;
- (H) Encourage transit-oriented Development and Uses;
- (I) Promote significant linkages to the broader community open space and trail network;
- (J) Encourage the Development of high quality public places such as parks, trails, and recreation facilities;
- (K) Encourage Development which preserves the natural setting to the greatest extent possible; and
- (L) Minimize curb cuts, driveways, and Access points to the highway.
- (M) Encourage sustainability, conservation, and renewable energy.

Staff finds the proposed MPD is consistent with the General Plan elements and purpose statements of the CT zone.

- The MPD is a low density, mixed housing type, residential development that integrates deed restricted units (of mixed type) and market units (also of mixed types) in the site plan.
- The MPD provides affordable housing in excess (35 units) of the required units.
- The units are clustered on 28% of the total site preserving the remaining 171 acres as open space.
- The development is located on the least environmentally sensitive areas of the 239 acre site.
- A significant buffer area of open space is provided between the development and the SR 248 entry corridor maintaining an open and scenic entry corridor.
- A landscaped buffer and grade difference along the east perimeter provide a buffers from the US 40 corridor.
- Bus shelters, project location on a future bus route, trail connections to the community trails system via the Rail Trail and a site plan that encourages pedestrian connectivity within the development encourages alternative modes of transportation and promotes linkages to community open space and trails.
- A dedicated public park and connections to the park from community and neighborhood trails provide recreation opportunities for the neighborhood and benefits the community.
- The MPD and associated Design Guidelines, encourage sustainability, conservation and renewable energy.

Staff reviewed the application for compliance with the Community Transition (CT) zone and summarizes the following findings:

	LMC Requirement	Proposed
Property/Lot Size	No minimum lot size	239 acres total, various lot sizes (1,787 sf to 48,400 sf) <u>Complies.</u>
Building Footprint	No maximum footprint	Footprint restricted by setbacks for park and cottage

		units. Footprint and or LOD limits shall be identified on final plat for homestead lots consistent with the Design Guidelines. <u>Complies.</u>
Uses	Residential uses allowed within an MPD in the CT zone. Support uses, such as City Parks, trails, neighborhood clubhouse/meeting space, bus shelters, etc. are allowed in the CT Zone as part of an MPD.	A mix of residential units, single family lots, cottage homes, townhouses. Deed restricted and market units integrated per the site plan approved with the MPD. Support uses include a City Park and community gardens; neighborhood clubhouse/meeting area, support commercial, bus shelters, and other neighborhood amenities. <u>Complies.</u>
Density	CT District Base Density is 1 unit per 20 acres MPD within CT zone allows PC to approve a Density of up to 1 unit per acre, excluding required affordable housing units.	Density of 1 unit per acre (239 units) as approved with the PC Heights Annexation Agreement. Excluding the required affordable units the density is 0.81 du/acre. <u>Complies.</u>
All Yard setbacks	25', <u>minimum</u> around perimeter of MPD. Within MPD setbacks may be reduced by the Planning Commission per LMC Section 15-6-5 (C). 200' Frontage Protection Zone no-build Setback required.	25' or greater around the perimeter (25' to 690'+). Setbacks within the MPD for lots will be identified on the final plats in compliance with the Uniform Building code and consistent with the Design Guidelines for the different units/lot types. Setbacks are greater than 200' from all Frontage Protection zone boundaries. <u>Complies.</u>
Height	28 feet above existing grade, with 5' exception for pitched roof elements. The Planning Commission may allow	No height exceptions are requested. <u>Complies.</u>

	additional building height for MPDs per LMC Section 15-6-5 (F).	
Parking	Two (2) spaces per dwelling unit for single family lots, cottage style dwelling units, and multi-family dwelling units greater than 1,000 sf. One (1) space per 650 sf unit and 1.5 spaces per unit greater than 650 sf but less than 1,000 sf unit.	Two (2) garage spaces per dwelling unit (for single family, cottage style, and townhouse units) are proposed. <u>Complies.</u>
Open Space	MPDs within the CT zone require a minimum of 70% open space for residential density of one unit per acre.	Approximately 171.5 acres of open space (71.75%) is proposed. Final plats will identify and dedicate all open space areas and proposed uses within open spaces. <u>Complies.</u>

Phasing

The applicants propose to develop the property in 2 primary phases.

Phase 1:

- Approximately 90 units located closest to Richardson Flat Road, within the first looped road, consistent with the Annexation Agreement and Water Agreement.
- Trail connections to the Rail Trail, trails and sidewalks.
- City park and neighborhood amenities in the lower area of the development.
- Approximately 28 IHC deed restricted townhouses.
- Approximately 40 market rate cottage units.
- A portion of the PCMC deed restricted units.

Staff recommends a condition of approval that the park and trails be completed within 3 years of the date of issuance of the first building permit, or as otherwise directed by the City Council. This phase may be further phased.

Phase II (may be further phased):

- Remaining cottage units
- Homestead lots
- PC Heights required deed restricted units
- Remaining PCMC deed restricted units.

The Development Agreement will finalize the phasing. Final subdivision plats for the phases will have to be submitted to the City for review by the Planning Commission and City Council before they are recorded and prior to issuance of building permits for these units. Final plats will need to be substantially consistent with the approved MPD.

Master Planned Development Criteria

In accordance with Section 15-6-5 of the Land Management Code, all Master Planned Developments shall contain the following minimum requirements.

(A) **DENSITY.** *The type of Development, number of units and Density permitted on a given Site will be determined as a result of a Site Suitability Analysis and shall not exceed the maximum Density in the zone, except as otherwise provided in this section. The Site shall be looked at in its entirety and the Density located in the most appropriate locations.*

Complies. The Annexation Agreement set the density for the Park City Heights at 239 units based on the CT zone and Site Suitability Analysis conducted at the time of annexation. The MPD does not exceed the maximum density in the zone. Density is located in the most appropriate locations on the site.

(B) **MAXIMUM ALLOWED BUILDING FOOTPRINT FOR MASTER PLANNED DEVELOPMENTS WITHIN THE HR-1 DISTRICT. (Not applicable- not in the HR-1 zone)**

(C) **SETBACKS.** *The minimum Setback around the exterior boundary of an MPD shall be twenty five feet (25') for Parcels greater than one (1) acre in size.*

Complies. For all structures, the MPD meets and exceeds the minimum Setbacks of 25' around the exterior boundary.

(D) **OPEN SPACE.** *All Master Planned Developments shall contain a minimum of sixty percent (60%) open space.*

Complies. The MPD includes 171.5 acres of dedicated open space contiguous to large tracts of adjacent natural open space (71.75%). This open space does not include open space area around the units.

(E) **OFF-STREET PARKING.**

(1) *The number of Off-Street Parking Spaces in each Master Planned Development shall not be less than the requirements of this Code, except that the Planning Commission may increase or decrease the required number of Off-Street Parking Spaces based upon a parking analysis submitted by the Applicant at the time of MPD submittal.*

Complies. All off-street parking within the MPD is provided in accordance with requirements of the Code. All parking is located within garages.

(F) **BUILDING HEIGHT.** *The height requirements of the Zoning Districts in which an MPD is located shall apply except that the Planning Commission may consider an increase in height based upon a Site specific analysis and determination.*

Complies. No height exceptions are proposed with the Master Planned Development.

*(G) **SITE PLANNING.** An MPD shall be designed to take into consideration the characteristics of the Site upon which it is proposed to be placed. The project should be designed to fit the Site, not the Site modified to fit the project. The following shall be addressed in the Site planning for an MPD:*

(1) Units should be clustered on the most developable and least visually sensitive portions of the Site with common open space separating the clusters. The open space corridors should be designed so that existing Significant Vegetation can be maintained on the Site.

Complies. The lots are clustered on the most developable and least visually sensitive portions of the Site. Common open space is used to separate groups of units and provide open space corridors around and through the site. The MPD is designed to maintain Significant Vegetation to the greatest extent possible.

(2) Projects shall be designed to minimize Grading and the need for large retaining Structures.

Complies. The proposed plan does not include or require large retaining structures. The natural grade in the developable area is not steep (less than 30%). Low retaining structures (in steps of 4' to 6') are recommended in areas to minimize cut and fill slopes for roads and driveways, minimize disturbance of existing vegetation, and mitigate visual impacts of these areas. Final road design will be provided to the Planning Commission for review with the final subdivision plats.

(3) Roads, utility lines, and Buildings should be designed to work with the Existing Grade. Cuts and fills should be minimized.

Complies. Roads and utility lines are proposed to work with the existing grades to the greatest extent possible, as indicated on the preliminary plat. Areas of permanent cut and fill are recommended to utilize low retaining walls to minimize cut and fill slopes, disturbance of existing vegetation, and to mitigate visual impacts. The Park City Heights Design Guidelines include language requiring houses to be designed to work with the existing Grades to the greatest extent possible and to minimize cut and fills by stepping foundation with the slope. Final plats shall be reviewed by the City for compliance with this requirement.

(4) Existing trails should be incorporated into the open space elements of the project and should be maintained in their existing location whenever possible. Trail easements for existing trails may be required. Construction of new trails will be required consistent with the Park City Trails Master Plan.

Complies. All trails proposed with the MPD are incorporated into open space elements and in some areas are maintained and improved in their existing locations. Trail easements will be platted on the final recorded subdivision plats. The MPD includes 1) a paved connector trail separated from Richardson Flat Road, from the project to the Rail Trail on the south side of Richardson Flat Road, 2) a paved connector trail separated from Richardson Flat Road, from the SR 248 underpass to the Rail Trail on the north

side of Richardson Flat Road, and several miles of paved and hard surfaced trails throughout the development. All trails will be constructed consistent with the Park City Trails Master Plan.

(5) Adequate internal vehicular and pedestrian/bicycle circulation should be provided. Pedestrian/ bicycle circulations shall be separated from vehicular circulation and may serve to provide residents the opportunity to travel safely from an individual unit to another unit and to the boundaries of the Property or public trail system. Private internal Streets may be considered for Condominium projects if they meet the minimum emergency and safety requirements.

Complies. Paved and soft surface trails, paths, and sidewalks are provided throughout the MPD. Trail connections separated from Richardson Flat Road connecting the project to the Rail Trail are part of the MPD.

(6) The Site plan shall include adequate Areas for snow removal and snow storage. The landscape plan shall allow for snow storage Areas. Structures shall be set back from any hard surfaces so as to provide adequate Areas to remove and store snow. The assumption is that snow should be able to be stored on Site and not removed to an Off-Site location.

Complies. There are sufficient areas adjacent to the streets, driveways, and parking areas to store snow.

(7) It is important to plan for refuse storage and collection and recycling facilities. The Site plan shall include adequate Areas for dumpsters and recycling containers. These facilities shall be Screened or enclosed. Pedestrian Access shall be provided to the refuse/recycling facilities from within the MPD for the convenience of residents and guests.

Complies. All trash and recycling is individual containers placed at the curb by the residents. No dumpsters or common trash/recycling facilities are proposed. Park style trash receptacles will be installed at the City Park.

(8) The Site planning for an MPD should include transportation amenities including drop-off Areas for van and shuttle service, and a bus stop, if applicable.

Complies. A bus shelter is proposed within the MPD located at the entry to the project on the south side of Richardson Flat Road.

(9) Service and delivery Access and loading/unloading Areas must be included in the Site plan. The service and delivery should be kept separate from pedestrian Areas.

Complies. No commercial service and delivery are anticipated. A loading/unloading area for the clubhouse area is provided along with parking for the public park.

*(H) **LANDSCAPE AND STREETSCAPE.** To the extent possible, existing Significant Vegetation shall be maintained on Site and protected during construction. Where landscaping does occur, it should consist primarily of appropriate drought tolerant species. Lawn or turf will be limited to a maximum of fifty percent (50%) of the Area not covered by Buildings and other hard surfaces and no more than seventy-five percent*

(75%) of the above Area may be irrigated. Landscape and Streetscape will use native rock and boulders. Lighting must meet the requirements of the LMC Chapter 15-5, Architectural Review.

Complies. The Park City Heights Design Guidelines specify the maximum area allowed for lawn or turf is limited to fifty percent (50%) of the total Area allowed to be disturbed and not covered by Buildings and other hard surfaces. Drought tolerant species and species native to the area are stipulated in the Guidelines. Native rock and boulders are stipulated. Lighting is proposed to comply with requirements of LMC Chapter 15-5, Architectural Review and is further spelled out in the Guidelines. A landscape plan, including all exterior lighting and a limit of disturbance plan are required to be submitted with all building plans.

*(I) **SENSITIVE LANDS COMPLIANCE.** All MPD Applications containing any Area within the Sensitive Areas Overlay Zone will be required to conduct a Sensitive Lands Analysis and conform to the Sensitive Lands Provisions, as described in LMC Section 15-2.21.*

Complies. A Sensitive Lands Analysis was conducted by the applicant and provided at the time of the Annexation. The applicant provided a steep slope analysis, identified sensitive ridgelines, provided a wetlands delineation and wildlife study, presented a visual analysis and models of the site, and demonstrated that the MPD as conditioned conforms to the Sensitive Lands Provisions of the LMC. The visual analysis demonstrates that while the units are visible they are not visually obtrusive and the mountain back drop further diminishes visual impacts (see Exhibits F, G, and H).

*(J) **EMPLOYEE/AFFORDABLE HOUSING.** MPD Applications shall include a housing mitigation plan which must address employee Affordable Housing as required by the adopted housing resolution in effect at the time of Application.*

Complies. The Annexation Agreement includes requirements for affordable housing mitigation. Staff recommends a condition of approval that a final Affordable Housing Plan, consistent with the Annexation Agreement, be approved by the Park City Housing Authority, prior to issuance of any building permits for the MPD. Staff also recommends as a condition precedent to receiving a certificate of occupancy for any market rate unit that the City shall be provided with proof of compliance with the approved Affordable Housing Plan.

*(K) **CHILD CARE.** A Site designated and planned for a Child Care Center may be required for all new single and multi-family housing projects if the Planning Commission determines that the project will create additional demands for Child Care.*

Complies. The MPD provides two sites that are suitable for development of a Child Care Center at the entrance to the project. These include Parcel I (10,224 sf) or Parcel J (16,331 sf) as shown on the preliminary subdivision plat as future development parcels.

Department Review

The project has been reviewed by the Planning, Building, Engineering, Sustainability, Public Works, Recreation, and Legal departments as well as by local and state utility providers (Snyderville Basin Water Reclamation District, Questar, Rocky Mountain

Power, Fire District, Park City School District, Qwest, and Comcast). Issues raised during the review process have been adequately addressed and/or mitigated by revisions to the plans or by conditions of approval.

Public Notice

The property was posted and notice was mailed to property owners within 300 feet. Legal notice was also published in the Park Record as required by the Land Management Code.

Alternatives

- The Planning Commission may approve the Park City Heights MPD as conditioned and/or amended; or
- The Planning Commission may deny Park City Heights MPD and direct staff to make findings of fact to support this decision; or
- The Planning Commission may continue the discussion and request additional information on specific items.

Significant Impacts

Fiscal impacts outlined in the Fiscal Impact Analysis, reviewed by the Planning Commission and City Council at the time of annexation, conclude that the proposed MPD does not create negative fiscal impacts on the City. Environmental impacts are discussed in the Sensitive Lands Compliance section above. As conditioned the MPD mitigates potential environmental impacts.

Consequences of not taking the Suggested Recommendation

The property would remain within the Park City Municipal Boundary, zoned Community Transition, and subject to the Park City Annexation Agreement.

Future Process

Approval of the MPD application by the Planning Commission constitutes Final Action that may be appealed following the procedures found in LMC 1-18. Approval of the final subdivision plat, including phasing and associated utility plans, is required for the project to move forward. Subdivision plats require final action by the City Council (Exhibit E).

Recommendations

Staff recommends the Planning Commission conduct a public hearing, consider any input, discuss and provide input on 1) discussion items highlighted in the report and 2) draft findings of fact, conclusions of law, and conditions of approval. Staff recommends the Commission continue the item to April 27, 2011 to allow staff and applicants time to address any remaining issues and return with final findings of fact, conclusions of law, and conditions of approval.

DRAFT Findings of Fact

1. The MPD includes the items:

- a. 160 market rate units in a mix of cottage units on smaller lots (approximately 6,000 to 8,600 sf) and single family detached units on approximately 8,000 sf to 27,000 sf lots (two upper lots are approximately 44,000 and 48,000 sf).
- b. 28 deed restricted townhouse units (44.78 affordable unit equivalents) (AUE) - required IHC affordable units configured as seven four-plexes.
- c. c.16 deed restricted units (32 AUE) - required CT zone affordable configured as a mix of single family detached, cottage homes, and townhouse units.
- d. 35 additional non-required deed restricted units in a mix of unit types.
- e. All units (including all deed restricted units) constructed to LEED for Homes Silver rating at a minimum with each unit achieving a minimum combined 10 points for water efficiency/conservation with Third Party inspection required prior to certificate of occupancy.
- f. 171.5 acres of dedicated open space (large tracts of contiguous natural open space that does not include open space area around the units) (71.75%).
- g. 5 acres additional dedicated open space on Round Valley Drive adjacent to US 40 south of the Park City Medical Center (in exchange for 28 IHC deed restricted townhouse units transferred to PC Heights neighborhood).
- h. A dedicated 3.55 acre (155,000 sf) public City Park with field, tot lot, shade structure, paths, natural area, and other amenities to be designed and constructed by the developer and maintained by the City.
- i. A dedicated 15,000 sf (approx.) community gardens area within the PC Heights neighborhood.
- j. 3 to 4 miles of soft surface trails within and around the property and additional mile or so of hard surfaced sidewalks and paths along the streets.
- k. Trail connections to the Rail Trail and Quinn's trail, including trail on the north side of Richardson Flat Road from the 248 underpass to the Rail Trail and trail on the south side of the Road from the project to the Rail Trail. Trail connection to the south property line for future connections to the Jordanelle area. Trail easement on north side of Richardson Flat Road from Rail Trail to east property line.
- l. Transit bus shelters along Richardson Flat road (City bus service expected to be extended to Park City Heights and the Park and Ride).
- m. Cross walk across Richardson Flat road.
- n. A 2,500 sf community center/club house area to be constructed by the developer with dedicated future support commercial or possible daycare center tenant spaces (Parcels I and J as shown on the preliminary plat).
- o. Water infrastructure improvements that enhance the City's overall water system and provide redundancy as required by the Water Agreement. Water shares were dedicated to the City as part of a pre-annexation agreement.
- p. Transportation improvements to the Richardson Flat/248 intersection including lane improvements and installation of a traffic signal to provide intersection safety (controlled left turn) as required to put the Park and Ride facility and Park City Heights on the City bus route, as required by the Annexation Agreement.

- q. Wildlife enhancements as identified in the Biological Resources Overview prepared by Logan, Simpson Design, Inc. amended March 17, 2011.
 - r. Design Guidelines approved as part of this MPD apply to all lots, with the exception of the 2 upper lots proposed to be subject to the CCRs for the Oaks at Deer Valley, or equivalent.
 - s. No sound barrier walls or structures along US 40 within the MPD.
2. The Park City Heights MPD is subject to the Park City Heights Annexation Agreement approved by the City Council on May 27, 2010. The Annexation Agreement sets forth terms and conditions of annexation, zoning, affordable housing, land use, density, transportation and traffic, phasing, trails, fire prevention, road and road design, utilities and water, fiscal impact analysis, snow removal, fees, and sustainable development requirements for the 239 acre Park City Heights MPD. The MPD as conditioned is in compliance with the requirements of the Annexation Agreement.
 3. The Park City Heights Annexation Agreement includes a Water Agreement as an integral component. The Water Agreement sets forth terms and conditions related to water facilities, restrictions regarding water, and phasing of development as it relates to completion of water infrastructure. The MPD as conditioned is in compliance with the Water Agreement.
 4. On June 17, 2010, the applicants submitted a pre-MPD application based on the annexation approval and agreement. The Planning Commission reviewed the pre-MPD application at two (2) meetings (July 14 and August 11, 2010) and found the application to be in initial compliance with applicable elements of the Park City General Plan.
 5. On June 30, 2010, the applicants submitted a revised MPD application.
 6. The property was posted and notice was mailed to property owners within 300 feet. Legal notice was also published in the Park Record as required by the Land Management Code.
 7. Public hearings on the MPD were held on October 13th, November 10th, and December 8th, 2010 and on February 9th, February 23rd, March 9th and March 23rd, 2011.
 8. The property is located within the Community Transition (CT) zone. The MPD is in compliance with all applicable requirements of the CT zone.
 9. Access to the site is from Richardson Flat Road, a public road previously known as Old Dump Road. Access is also proposed to the currently unimproved US 40 frontage road (UDOT) along the east property line. No roads are provided through the Park City Heights MPD to the Oaks, Royal Oaks, or any other neighborhood within the Deer Valley MPD, consistent with the Annexation Agreement.
 10. Utilities are available in the area, however extension of utilities or utility upgrades to the development site are required. A final utility plan will be submitted with the final subdivision plats to be reviewed by the Interdepartmental and Utility Service providers Development Review Team. City Staff will provide utility coordination meetings to ensure that utilities are provided in the most efficient, logical manner and that comply with best practices, including consideration of aesthetics in the location of above ground utility boxes. Location of utility boxes shall be shown on the final utility plans.

11. The MPD includes 1) a paved connector trail on the south side of and separated from Richardson Flat Road, from the project to the Rail Trail, 2) a paved connector trail on the north side of and separated from Richardson Flat Road, from the SR 248 underpass to the Rail Trail, 3) a trail connection from trails within the project to the south property boundary line, 4) a trail easement along the north side of and separated from Richardson Flat Road from the Rail Trail to the east property boundary line, and 5) several miles of paved and soft surfaced trails throughout the development. All trails will be constructed consistent with the Park City Trails Master Plan.
12. The MPD includes a dedicated public park to be constructed by the developer according to the City's parks plan, or as otherwise directed by the City Council.
13. Parking within the MPD is proposed at two spaces per unit within private garages. Additional surface parking is provided for guests, the community gardens/park area, and the neighborhood club house/meeting area.
14. The proposed MPD density of 1 unit per acre complies with the density allowed by the CT zone. (239 units on 239 acres) The net density is 0.82 units per acre (195 units on 239 acres), excluding the 44 required deed restricted housing units. The density is consistent with the Annexation Agreement.
15. The LMC requires a Sensitive Lands Analysis for all Master Planned Development applications. The MPD application included a Sensitive Lands Analysis.
16. A portion of property is located within the designated SR 248 Entry Corridor. This area is identified in the MPD as dedicated open space and all required entry corridor setbacks are complied with.
17. The property contains SLO designated steep slopes, ridgelines and wetland areas. These areas are identified in the MPD as dedicated open space areas and all required wetland and stream setbacks are complied with.
18. A wildlife study was conducted and a report (December 2010) was prepared by Logan Simpson Design, Inc. A revised report was prepared on March 2, 2011. The wildlife study addresses requirements of the Land Management Code and provides recommendation for mitigation of wildlife conflicts and wildlife enhancement.
19. The site plan complies with the minimum MPD required 25' setback around the perimeter of the property. Setbacks range from 25' to 690' (and greater to the south property line).
20. The locations of the proposed units are consistent with the MPD site planning and Sensitive Lands Overlay criteria.
21. The property is visible from the designated LMC Vantage point along State Road 248 and a visual analysis was conducted by the applicant from this Vantage point. Additional visual analysis was provided from the intersection of Richardson Flat Road and SR 248.
22. Design Guidelines for the Park City Heights MPD address site planning, architecture and design, sustainability and best practices, landscaping and water conservation, and other requirements of the Annexation Agreement.
23. A traffic study was conducted and a report was prepared by Hales Engineering in 2007 and updated in 2008. This study was utilized during the annexation process in the determination of density and requirements for traffic and transportation related impact mitigations. An updated traffic volume and trip generation report was

provided by Hales Engineering on September 27, 2010. The updated report concludes that the reduced density of the current MPD and the slight increase in background traffic volumes from those utilized in the 2007/2008 studies indicate that the TIS does not need to be updated for the MPD and that the recommendations for transportation and traffic mitigation as required by the Annexation Agreement are still valid.

24. Construction traffic is required to be addressed in the Construction Mitigation Plan.
25. A Geotechnical Study for the Park City Heights Development was provided by Gordon, Spilker Huber Geotechnical Consultants, Inc. (June 9, 2006). Expansive clay soils were encountered across the site in the upper two and one-half to nine and one-half feet. Shallow bedrock was found within portions of the site. Special construction methods, removal of these unsuitable soils, and other mitigations are spelled out in the Study.
26. A Fire Protection Report (March 2011) identifies potential Wildland urban interface areas within the MPD. Prior to issuance of building permits the Building Department will review plans for compliance with recommendations of the Fire Protection Report. The fire protection component of the plan shall ensure that Park City's ISO rating is not negatively affected by construction of the building.
27. Affordable housing obligations of the MPD are consistent with the affordable housing described by the Park City Heights Annexation Agreement and as required by the CT zone. The MPD provides up to an additional 35 deed restricted housing units over the 28 deed restricted townhouse units (44.78 affordable unit equivalents (AUE) required by the IHC MPD and the 16 deed restricted units (32 AUE) required by the CT zone for the 160 market rate units. These affordable units are configured as a mix of single family detached, duplexes, cottage units, and attached townhouse units. An additional 35 non-required deed restricted units in a mix of unit types are proposed as part of this MPD.
28. No building height exceptions have been requested and all buildings will comply with the height limitations of the CT zone.
29. Lots have been positioned to minimize visual impacts on adjacent structures. Potential problems on neighboring properties caused by shadows, loss of solar access, and loss of air circulation, have been mitigated to the extent possible as further described in the Park City Heights Design Guidelines.
30. Utilities must be extended to the site to sustain the anticipated uses. Thirty (30') foot wide non-exclusive utility easements are generally necessary for long term maintenance and shall be dedicated on the final subdivision plats. Off-site improvements are necessary to serve the site with utilities.
31. Off-site improvements will create traffic delays and potential detours, short term access and private driveway blockage, increased transit time, parking inconveniences, and other impacts on the adjacent neighborhoods and to the community in general.
32. A Construction Mitigation Plan (CMP) is necessary to identify impacts and propose reasonable mitigation of these impacts on the site, neighborhood, and community due to construction of this project. The CMP shall include information about specific construction phasing, traffic, parking, service and delivery, stock-piling of materials and staging of work, work hours, noise control, temporary lighting, trash

- management and recycling, mud and dust control, construction signs, temporary road and/or trail closures, limits of disturbance fencing, protection of existing vegetation, erosion control and storm water management.
33. Final road designs will be provided to the Planning Commission for review with the final subdivision plats. To minimize visual impacts and to minimize disturbance of existing vegetation due to large areas of cut and fill slopes, low retaining structures (in steps of 4' to 6') are recommended. These low retaining structures may be stepped to minimize their height. Design of these retaining structures is included in the PC Heights Design Guidelines to ensure consistency of design, materials, and colors throughout the development.
 34. A storm water run-off and drainage plan is necessary to ensure compliance with Park City's Storm Water Management Plan and storm water Best Management Practices for storm water during construction and post construction with special considerations to protect the wetlands delineated on and adjacent to the site.
 35. A financial guarantee for all landscaping and public improvements is necessary to ensure completion of these improvements and to protect the public from liability and physical harm if these improvements are not completed by the developer or owner in a timely manner. This financial guarantee is required prior to building permit issuance, with the exception of restoration permits for the historic structures, as determined by the City.
 36. Parcels I and J are identified on the preliminary subdivision plat as potential future support commercial and/or child care center or similar uses pad sites. These parcels are currently used as a temporary, dirt parking lot.
 37. A master sign plan is required for Planning Department review and approval and all individual signs require a sign permit prior to installation.
 38. Sound mitigation may be desired by owners of units along US 40. Conditions of approval prohibit sound barrier walls within the MPD. Sound mitigation may be provided with landscaping, berming, smart housing design and insulation, and sound barriers constructed as part of the dwelling units.
 39. Section 15-6-4 (G) of the LMC states that once the Planning Commission has approved an MPD, the approval shall be put in the form of a Development Agreement.
 40. The applicant stipulates to the conditions of approval.
 41. The discussion in the Analysis section is incorporated herein.

Conclusions of Law

1. The MPD, as conditioned, complies with all requirements outlined in the applicable sections of the Land Management Code, specifically Chapter 6- Master Planned Developments Section 15-6-5.
2. The MPD, as conditioned, is compatible with surrounding structures in use, scale, mass, and circulation.
3. The MPD, as conditioned, is consistent with the Park City General Plan.
4. The MPD, as conditioned, is consistent with the Park City Heights Annexation Agreement.
5. The MPD, as conditioned, strengthens and enhances the resort character of Park City.

6. The MPD, as conditioned, is Compatible in use, scale and mass with adjacent properties, and promotes neighborhood Compatibility.
7. The MPD provides amenities to the community so that there is no net loss of community amenities.
8. The MPD is consistent with the employee Affordable Housing requirements as adopted by the City Council at the time the Application was filed.
9. The MPD has been designed to place Development on the most Developable Land and preserves significant features and vegetation to the extent possible.
10. The MPD promotes the Use of non-vehicular forms of transportation through design and by providing trail connections to existing community trails, a walkable interconnected site plan, a city park and neighborhood amenities, and a bus shelter and cross walk.
11. The MPD has been noticed and public hearings held in accordance with the LMC.

DRAFT Conditions of Approval

1. All standard project conditions shall apply (Exhibit A).
2. A final subdivision plat for each phase, or sub phase, of development shall be submitted for review by the Planning Commission and City Council prior to issuance of building permits. The plats shall be consistent with the LMC, preliminary plat and the PC Heights site plan and documents reviewed and approved by the Planning Commission during the MPD approval.
3. A limit of disturbance area (LOD), maximum building footprint and/or house size limitation and a setback requirement table for the lots shall be included on the final plats consistent with the Park City Heights Design Guidelines.
4. A note shall be added to the final plats stating that a landscape plan shall be submitted for City review and approval for each lot, prior to building permit issuance for that lot.
5. A note shall be added to the final plats stating that all units (including all deed restricted units) shall be constructed to comply with the Park City Heights Design Guidelines and shall comply, at a minimum, with the LEED for Homes Silver rating (or equivalent) and each unit shall achieve a minimum combined 10 points for water efficiency/conservation. Third Party inspection is required to confirm compliance prior to certificate of occupancy for each unit.
6. A final landscaping and irrigation plan for all common areas shall be submitted with the final plats for each phase. Landscaping materials and irrigation shall comply with the requirements of the Annexation Agreement, including the Water Agreement, and the Park City Heights Design Guidelines.
7. All exterior building materials, colors and final design details must be in substantial compliance with the final Park City Heights Design Guidelines and shall be approved by staff prior to building permit issuance. Materials shall not be reflective and colors shall be warm, earth tones that blend with the natural colors of the area.
8. All exterior lighting, including any street and/or path lighting shall be subdued in nature and shall conform to the LMC Sections 15-5-5-(I) and 15-3-3(c) and the Park City Heights Design Guidelines.
9. All exterior lighting, with the exception of bollard lighting at the park shall be privately maintained.

10. A Construction Mitigation Plan (CMP) shall be submitted and approved by the City for compliance with the Municipal Code, as a condition precedent to issuance of any grading or building permits. The CMP shall address construction phasing, staging, storage of materials, circulation and traffic, parking, service and delivery, re-vegetation of disturbed areas, temporary signs and construction lighting, hours of operation, dust and mud control, storm water management, and other items as may be required by the Building Department. The immediate neighborhood and community at large shall be provided notice at least 24 hours in advance of construction work impacting private driveways, street closures, and interruption of utility service.
11. The CMP shall address disposal and treatment of all excavated materials. The capping of exposed soils within the City's Soils Ordinance Boundary is subject to all applicable regulations and requirements of the Park City Soils Ordinance Title 11, Chapter 15- Park City Landscaping and Maintenance of Soil Cover. A detailed limit of disturbance plan shall be submitted as part of the CMP.
12. A storm water run-off and drainage plan shall be submitted with the building plans and approved prior to issuance of any building permits. The plan shall follow Park City's Storm Water Management Plan and the project shall implement storm water Best Management Practices. Post development drainage shall not exceed pre-development drainage conditions and special consideration shall be made to protect the wetlands delineated on and adjacent to the site.
13. Maintenance of sidewalks, trails, lighting, and landscaping within the rights of way and common areas, with the exception of the city park, shall be provided by the HOA, unless otherwise agreed upon by the City Council. Language regarding ownership and maintenance of the open space and common areas shall be included and/or dedicated on the final subdivision plat.
14. A financial guarantee, in a form and amount acceptable to the City and in conformance with the LMC Subdivision Regulations, for the value of all public improvements, pedestrian amenities and trails, sidewalks, bus stop amenities, landscaping (including landscaping to re-vegetate and re-landscape areas disturbed by construction related to the MPD) to be completed according to the final approved plans shall be provided to the City prior to building permit issuance for new construction within each phase of construction. All public improvements shall be completed according to City standards and accepted by the City Council prior to release of this guarantee.
15. The City Engineer shall review and approve all associated utility, public improvements, grading and drainage plans for compliance with the LMC and City standards as a condition precedent to final subdivision plat recordation.
16. Final utility plans, consistent with preliminary utility plans reviewed by the Planning Commission during the MPD review, shall be submitted with the final subdivision plats. Utility plans shall be reviewed by the Interdepartmental staff members and the utility service providers as the Development Review Team.
17. City Staff will provide utility coordination meetings to ensure that utilities are provided in the most efficient, logical manner that comply with best practices, including consideration of aesthetics in the location of above ground utility boxes.

- Above ground utility boxes must be shown on the final utility plans and shall be screened to minimize visual impacts.
18. The Snyderville Basin Water Reclamation District's review and approval of the utility plans and final subdivision plats, for conformance with the District's standards for review, is a condition precedent to plat recordation and building permit issuance.
 19. All construction, including grading and trails, within the Park City Soils Ordinance area shall comply with restrictions and requirements of the Park City Soils Ordinance (Municipal Code Title 11, Chapter 15).
 20. All construction, including streets, utilities, and structures shall comply with recommendations of the June 9, 2006, Geotechnical Study for the Park City Heights Development provided by Gordon, Spilker Huber Geotechnical Consultants, Inc. Special construction methods, removal of unsuitable soils, and other mitigation measures are recommended in the Study. Additional soils studies and geotechnical reports may be required by the Building Department prior to issuance of building permits for streets, utility installation, and structures.
 21. A detailed review against the Uniform Building and Fire Codes in use at the time of building permit submittal is a condition precedent to issuance of full building permit.
 22. A fire protection plan shall be submitted for review by the Building Department for each building permit. The fire protection plan shall include any required fire sprinkler systems and landscaping restrictions within Wildland interface zones. The fire protection component of the plan shall ensure that Park City's ISO rating is not negatively affected by construction of the building.
 23. Fire protection plans for building permits shall comply with recommendations of the Fire Protection Report (March 2011).
 24. A limit of disturbance area shall be identified during the building permit review and construction fencing will be required to mitigate construction impacts. Silt fencing is required during construction in areas where run-off and construction may impact adjacent wetlands and water ways.
 25. Trail easements for all proposed trails in the MPD shall be platted on the final recorded subdivision plats. All trails shall be constructed consistent with the Park City Trails Master Plan.
 26. The public park, trails within the first phase, trail connections to the Rail Trail on both the north and south sides of Richardson Flat road, as described in the findings, the entrance and perimeter landscaping and other neighborhood amenities associated with the first phase, shall be completed within 3 years of the date of issuance of the first building permit, or as otherwise directed by the City Council or as stated in the Final Development Agreement. In subsequent phases, trails, amenities, landscaping, and wildlife corridor enhancements shall be completed prior to issuance of 50% of the certificates of occupancy for the units in that phase, or as otherwise stated in the Development Agreement.
 27. An Affordable Housing Plan, consistent with the Park City Heights Annexation Agreement shall be approved by the Park City Housing Authority prior to issuance of any building permits for units within the MPD.
 28. As a condition precedent to receiving a certificate of occupancy for any market rate unit the City shall be provided with proof of compliance with the approved Affordable Housing Plan.

29. A master sign plan for the neighborhood shall be submitted, reviewed for compliance with the Park City Sign Code, and approved by the City, as a condition precedent to issuance of any individual sign permits.
30. No sound barrier walls or structures along US 40 are permitted within the MPD. Sound mitigation shall be provided with landscaping, berming, smart housing design and insulation, and sound barriers constructed as part of the dwelling units.
31. Approval of this Master Planned Development is subject to LMC Chapter 6- Master Planned Developments and shall expire two years from the date of execution of the Development Agreement unless Construction, as defined by the Uniform Building Code, has commenced on the project.
32. Section 15-6-4 (G) of the LMC states that once the Planning Commission has approved an MPD, the approval shall be put in the form of a Development Agreement. The Development Agreement must be submitted for ratification by the Planning Commission within 6 months of this approval. The Development Agreement shall be signed by the Mayor on behalf of the City Council and recorded with the Summit County Recorder.
33. The Park City Soils Boundary shall be identified on the final plats (if applicable).
34. Timing of completion of all required items and public benefits shall be further described and stated in the Development Agreement.
35. All conditions, requirements, and stipulations of the Park City Heights Annexation Agreement and Water Agreement continue to apply to this MPD.
36. No through roads may be provided through the Park City Heights MPD to the Deer Valley MPD subdivisions.
37. A re-vegetation plan for Parcels I and J shall be submitted with the final road and utility plans. Re-vegetation of these parcels shall be completed prior to issuance of the first certificate of occupancy for the Park City Heights MPD.
38. Noxious weeds shall be managed per the Summit County noxious weeds ordinances during construction and in perpetuity by including regulations in the CMP, Design Guidelines, and CCRs.

Exhibits

Exhibit A- Park City Heights MPD plans, perspectives, plat, setbacks, visual analysis, affordable housing integration, snow storage, trails, vegetation and wetlands.

Exhibit B- Annexation Agreement and water agreement (previously provided)

Exhibit C- List of documents completing the PC Heights MPD submittal

Exhibit D- Minutes (separate pdf available online)

Exhibit E- Process Flow Chart

Exhibit F- Wildlife recommendations

Exhibit G- Fire Protection Report (under separate cover)

Exhibit H- Gordon Spilker Huber Geotechnical Report

Exhibit I- Interplan technical Memo - update of transportation

Memo

To: Kirsten Robinson
From: Patrick Moffat and Team
CC:
Date: April 15, 2011
Re: Park City Heights- Additional Comments Response

We have inserted our comments below each of the bullet points below. Please let me know if you have questions.

1. A trails plan overlay on the topography and road/lot layout would be helpful to understand where the trails should realistically tie into the road. The upper cul-de-sac closest to US 40 was pointed out several times that the trail is shown coming up the fill- that wouldn't be ride able- the gap between houses should be located where the trails will realistically be built.
 - a. We will review and Spencer will provide the exhibit requested. It is anticipated that the final trail alignment and grades will be made in conjunction with the PCMC Trails Coordinator and the Mountain Trails Foundation. Trails easements will be provided on the plat that will enable this to occur.
2. More on trails- can you provide more information as to which trails you (as developer) will build and what your timing is (comments about trails and amenities need to be in for each Phase prior to issuance of full building permits).
 - a. The Developer will be responsible to build all trail within the boundaries of the project as well as the connection to the Rail Trail from the Park and the connection to the underpass from the Rail Trail.
 - b. Trails will be developed as the phases in which they are located are constructed. The exceptions are the Power Line Trail, Connection to the Rail Trail and Connection from Rail Trail to underpass (See #5 below)
3. Trails around perimeter and the major connections to the Rail Trail- who maintains? Seems to be some concern if they are maintained by the HOA- wouldn't feel public. Trails within the project- i.e. the sidewalks and pedestrian spine make sense to be maintained by the HOA, once certain % of lots/units are sold. Thoughts on trail maintenance?

- a. The intent is to have as many public trails as possible. The trails outside our project boundary (Rail Trail Connections) will be maintained by the City, or Mountain Trails Foundation as applicable. We have met with the City Trails people and they have indicated a willingness to look at maintaining the trails within the project as well. The trails are being designed to City standards so that they may be easily maintained. If the City's maintenance priority or schedule does not meet the needs and desires of the HOA, the HOA may elect to provide supplemental maintenance.
4. An understanding that as the various phases are platted that trails will be in easements (with language that "trails to be in approximately this location") allowing for obstacles encountered during construction.
 - a. Yes.
5. Final issue on trails is specific language on the completion of the connection to the Quinn's under pass and the Rail Trail from the Park- given IHC Units going in first and providing access to IHC... This trail should be a priority along with the community park- as these are really major community benefits. Commission looking at these elements constructed with the IHC Units. Commission is interested in all of the trails being in before 50 or 65% of the units are built or lots are sold.
 - a. Construction on The Community Park, Clubhouse, all Rail Trail connections, trail under the Power line will commence when building permits are issued for 65% of Phase 1 as defined in the Water Agreement. The improvements will be completed no later than 9 months following commencement.
6. PO Boxes in the clubhouse would be a great neighborhood amenity and reduce trips to the PO- gathering place. Is this something you can do?
 - a. We are planning on Community Mailboxes at the Clubhouse.
7. When does the clubhouse get constructed? What about the community gardens? Who maintains?
 - a. See #5 above.
 - b. Community Gardens will be owned and maintained by the HOA and for the use of residents only. The HOA will dictate construction of the Community Gardens.
8. Traffic study issues- not so much that the additional traffic from the development isn't mitigated by the required intersection improvements, but what are the items that are making this neighborhood comply with the GP in terms of reducing trips, being walkable, being not a typical subdivision. What is it about the project that is different from other projects and that counters the "sprawl" argument? I have some ideas about this- one being that the geography of mountain towns does tend to result in pockets of development that are disconnected- i.e. Deer Valley, Solamere, Empire Pass, Aspen Springs, etc... that saving hillsides and sensitive land (like the open space around Hidden Meadows) breaks up the community into pockets of development in suitable areas- I'll give this more thought. Demonstrate that this project will get people out of their cars in complying with not just trip generation mitigation but mitigating the distance this is from town amenities.

- a. The measures that we have included in Park City Heights to encourage walkability include locating the project next to Public Transit and a major trail system (The Rail Trail). Construction of grade separated sidewalks and trails within the project. We have removed one street and replaced it with a pedestrian thoroughfare (The Spine Connection). Over half of the units are accessed via alleys to allow for more pedestrian interactions and reduce visual impacts associated with garages. Front porches are emphasized throughout the project to increase interactions. There are also many connections to existing trails for residents to utilize. We have also provided ground for neighborhood commercial that will result in fewer trips into town.
9. Dick Peek provided a good summary of issues raised that can be handled with revisions to the Design Guidelines- I forwarded those to you.
- a. We will incorporate these comments into the Design Guidelines.
10. Can you provide specific language for LOD during road construction? I.e. for cut sections, flat areas; fill sections- typical LOD necessary to install the road. There is a concern that too much area outside of the roadway will be disturbed and seeded but never blend in to the surrounding slopes and vegetation. I think the PC is looking for visuals to show the intent is not to have long slopes catching grade and cul-de-sacs with fill that looks unnatural. Interested in specific language i.e. a 4 to 5' wall with a min horizontal step of 3 to 4 feet before another 4 to 5' section of wall... also a maximum of 8 to 10' of disturbance beyond the road in the worst case with 3 to 5' horizontal distance. This is reiterated in Dick's comments. The desire to limit this disturbance came up several times and I think doing something different in terms of installing roads and utilities will make this project different.
- a. Bob Elder has prepared an exhibit showing the Level of Disturbance for construction of the roads. This exhibit is attached. Additionally, the use of retaining walls has been addressed in the Design Guidelines.
11. I pointed out a couple of areas the Commission has requested you look at in terms of the cul-de-sac location and design. One being the lower cul-de-sac closest to the secondary access off the frontage road- anyway to loop that road back to the main road and get rid of the cul-de-sac- it is a large amount of fill – or show the design of that schematically.
- a. We have reviewed these areas and fill that the existing plan minimizes the visual and grading impact. The cul-de-sac in question is below the frontage road and will be blocked from view by proposed berming along Highway 40. Also, grades are such that connecting the cul-de-sac to the secondary access would create a greater fill slope than is currently planned for.
 - b. We can eliminate the driveway that is shown connecting to Richardson Flat road in between our two access streets.
12. Reiterate the requirement for on-site construction recycling, excavation storage, etc. (will be added to conditions of approval).
- a. Language will be added to the Design Guidelines as well.
13. I researched the sound barrier issue- not likely to be something UDOT would pay for- given that US 40 exists now and development is coming in second.
- a. We agree that no wall should be built if we can avoid it. Developer will not build and sound wall along Highway 40.

14. Recommendation of Conditional Use Permits for any building with more than 4 units and for any building constructed on Parcels I, J, and K.
 - a. We agree. Note that Parcel K is open space; I think this comment pertains to Parcel P1-P8, not Parcel K.
15. Recommendation of a conditional use permit for requested building height of greater than 28' for the lots along the western edge (i.e. the ones visible from the 248 vantage point that begin to daylight). No CUP if the building height is at 28'.
 - a. We agree.
16. Further define where in the project the defensible space occurs- can evergreen trees be planted near houses in the Park Homes and cottage homes? Also need the specific conditions from the Fire District (i.e. do all homes need to be fire sprinkled?) I'll add them as conditions of approval- same as the wildlife conditions.
 - a. Defensible space is defined in the Design Guidelines. The Design Guidelines already state that all homes will be sprinkled. In addition, we have attached an email from Scott Adams indicating his approval of the Fire Hazard Severity Form which was previously submitted,
17. Further address roof melt systems in the Design Guidelines per Tyler Paulson's comments- I can send those to you again.
 - a. These will be incorporated in the Design Guidelines. We have added language that requires energy offset if a snowmelt system is included.
18. Need to clear up the language regarding 3rd party inspections- We need to discuss this when Thomas and I return from Boston.
 - a. We concur that 3rd party inspections will be performed.
19. Concerns were raised about the timing of the entry way landscaping- given the existing conditions. A landscape plan for this area will need to be a condition of the first phase plat.
 - a. A landscape plan for the entry will be submitted with the first plat.
20. Condition of approval that all road design shall at a minimum meet the City Street specifications and standards.
 - a. We agree and have been working with the City Engineer. Any Condition of Approval should state that all road designs shall be designed and constructed as approved by the City Engineer.
21. Can you confirm whether there will be school bus service? Does the neighborhood have to request it?
 - a. We have been told that we are eligible for school bus service. Once there are students living there the Park City School District will determine start dates.
22. Need some timing on the City Bus timeframe- i.e. after how many units will there be bus service? Can there be dial a ride service with the first unit? I can do some research on this for the next staff report.

- a. The timing of the extension of bus service is part of the City's Short Range Transit Plan which is under development. Dial a Ride would be available for residents until such time as a fixed route is established.
- 23. Need to meet to discuss options for analysis of the neighboring properties in terms of density potential. Helps with location of the highest western cul de sac and the more visible homes located there.
 - a. We are happy to look at different options once the MPD is approved. We do have space to accommodate a few units under the current plan. However, this cannot be a condition of approval as it is not connected to our application and we have no influence on third party property owners' decisions.
- 24. During construction, Rail Trail access needs to stay open (when at all possible).
 - a. We agree. Any work with the Rail Trail will be permitted with Utah State Parks/Mountain Trails Foundation.
- 25. Discussed energy conservation bonds, grants, programs, etc. We can discuss this in greater detail
 - a. We look forward to discussing.
- 26. I'll work on the gant chart for items to be complete by when and will get a draft to you next week.
 - a. We look forward to reviewing.

General Plan Review- Updated

Prior to forwarding a positive recommendation to the City Council on the Park City Heights Annexation, the Planning Commission reviewed the annexation petition and MPD concept plan for compliance with the General Plan.

The elements reviewed included the following: Park City Direction and Community Character; Open Space and Environment; Land Use and Growth Management; and Housing. Goals and policies specific to the Highway 40/248 Southwest Planning Area are incorporated into the applicable topic headings. Statements in italics represent staff's findings.

This is a revised summary of the General Plan review, based on the most current revised Master Planned Development for Park City Heights.

Park City Direction and Community Character

Protect a maximum amount of public and private open space.

The annexation and MPD are located in the General Plan's Highway 40/248 Southwest Planning Area. The development pads are located toward the toe of the steeper slopes and outside of the steep slopes, heavily vegetated, and wetland/riparian areas. A minimum of 72% of the site area is proposed for open space. The highly visible 24 acre parcel along 248 and the visible hillsides and ridgelines are proposed as open space.

Institute low density development design standards to ensure that new development maintains a rural character in terms of building location, materials, fencing, landscaping, street widths, street layout, and similar features. Limit the size of new homes in relation to their lots.

Promote the use of such building materials as wood siding, rock accents, earth tones, and metal roofs that have historic precedents in a mountain community context.

Vary setbacks to avoid giving neighborhoods a suburban feeling.

Minimize parking expanses between the street and the front facades of buildings. Require landscaped entries that connect with streets to provide easy, safe pedestrian access.

Minimize architectural styles and signage that are clearly not in keeping with the mountain resort (and historic) character of the community.

On development near City entries, enact special controls regarding setbacks, landscaping, building mass, and character.

The MPD includes the Park City Design Guidelines to ensure the development will be rural in character in terms of building location, materials, fencing, landscaping, street design and layout, setbacks, parking, architectural style, building massing, and similar features. Rural character in this situation is more closely represented by rural township development rather than rural ranch/ranchette or rural recreation (i.e. cabins) development. The Park City Design Guidelines further define appropriate architectural style and design that is compatible with the mountain resort (and historic) character of the community.

The street layout and house location/orientation are characterized by a highly connective grid system (for the lower area) and a more open grid system for the upper area, with a de-emphasis on cul-de-sacs when allowed by the topography. The main pedestrian spine of the upper area provides the desired connectivity without the need to construct a steep street. Trail connections to the perimeter trail throughout the development provide additional connectivity for both the lower and upper areas.

The proposed development has been sited to place the bulk of the project density and building masses in a clustered development area off steeper hillsides and outside of wetland areas. The structures will be low profile, with a maximum height of 28 feet above grade, with a 5' height exception for pitched roofs. Houses on the western edge are more visible and conditions of approval require a conditional use for the additional building height, based on a design specific visual analysis.

Provide a range of housing opportunities in annexed areas.

Of the 239 housing units, 79 will be deed restricted units in a range of sizes and configurations. The remaining 160 market units are also proposed in a range of sizes and configurations providing a range of housing opportunities.

Pursue those annexation petitions that hold the potential of producing significant amenities and benefits for the public in addition to open space (e.g., active parks, community centers).

The Annexation was approved in part because of the potential for this development area to produce significant amenities and benefits for the public in addition to open space. A public park is a component of the MPD.

Improvements to the public trail system to provide safe, off-road, trails and connections to trails are components of the MPD. A road separated trail from the Quinn's tunnel under 248 to the Rail Trail and a road separated trail from the Rail Trail to the public park within the MPD are components of the MPD. Additional trails around the perimeter of the MPD are part of the MPD and will provide trail connections to existing trails within the Park City trail system.

Two parcels are provided for future support commercial, daycare, or potentially other public uses, such as a fire station, library branch, etc.

The Park City Fire District has stated in the past that there will be a need in the near future for a fire station in the Quinn's Junction area, not necessarily however within the PC Heights MPD.

To prevent strip development along highways and arterials, concentrate new commercial development tightly around strategic intersections through the use of development regulations.

The City and County's Quinn's Junction Joint Planning Commission Sub-Committee have adopted Land Use Patterns and Development Principles that strongly discourage highway service commercial development. No general commercial/highway commercial or strip commercial development is proposed within the MPD. Two parcels within the MPD (parcels I and J) are set aside for future support commercial, daycare uses, or other public uses. Conditions of approval require the use of further development regulations (Conditional Use Permit review) for these uses.

Entertain a broad range of development patterns when reviewing annexation petitions, provided that the petitions are consistent with open space and development goals of the General Plan and other City policies.

The proposed development pattern consists of a lower area of smaller lots with a focus on pedestrian connectivity. This area is characterized by front porches on the streets and garage access from alley ways with a more grid like street system.

The proposed development pattern of the upper area, where the terrain does not lend itself as readily to a grid street pattern, provides good vehicle and pedestrian connectivity with a main pedestrian spine and numerous trail access points.

Central to the discussions of the PC Heights task force was the need to generate a mix of housing options in the project that would also provide a mix of affordability. The MPD provides a mix of smaller lot town houses, twin homes and larger lot single family lots with the potential for inclusion of buildings containing from 4 to 8 units.

Overall the units are clustered to the extent that more than 70% of the MPD is open space. The MPD is consistent with open space and development goals of the General Plan and other City policies.

Require new streets and transportation systems that adequately serve annexed areas and do not adversely impact existing neighborhoods.

Primary access to the site is from Richardson Flat Road by way of a redesigned intersection at SR 248. The applicants are responsible for providing all necessary access to the property from SR 248 and all necessary intersection improvements including a signalized intersection, pursuant to Annexation Agreement per the

Hale Engineering report dated June 7, 2007. The new streets adequately serve the annexed area and do not adversely impact existing neighborhoods.

Public transportation will be operational in the area when it is feasible. Until a transit route is established, the area will be served by the current dial-a-ride transit option.

In annexation agreements within the Joint Planning Area, secure significant, usable, and accessible open space.

According to the General Plan, "Natural Areas, Highly Visible Ridgelines, Undisturbed Visual Open Space, Entry Corridors, and Trail Connections and Corridors represent the highest community value." These areas are proposed as significant, usable, and accessible as open space. The proposed MPD places the majority of the development out of Natural Areas/wetland areas and off of the High Visible Ridgelines. The largest areas of open space are located on the steeper hill sides, 248 entry corridor, and along the Rail Trail.

Require new development to build pathway and trail systems that connect to existing public trails and open space. Protect access to public lands adjacent to new development.

The MPD includes important trail connections to the Rail Trail, the Quinn's underpass trail, and other existing trails of the public trail system that connect to existing public trails and open space areas. Access to public lands (Rail Trail, Quinn's Recreation Complex, Round Valley, and back country trails in the vicinity of the MPD) is protected.

Pursue more detailed intergovernmental working relationships and agreements with Summit and Wasatch Counties. Develop consensus, if possible, on appropriate development patterns in areas immediately adjacent to the City. Ensure the continued application of a phased development program.

Council established the Park City Heights Annexation Task Force for purposes of formulating specific recommendations to the Planning Commission and City Council relating to the annexation's proposed zoning, land uses, affordable housing, transportation, and community economics/fiscal impacts. The Task Force was comprised of affected property owners, applicants, elected officials and Planning Commissioners from the City and Summit County, and staff. The Task Force forwarded a unanimous positive recommendation on the Park City Heights annexation on July 10, 2007. Previously, the City and Summit County participated in a joint planning exercise; the result was the Quinn's Junction Planning Principals. The proposed MPD is consistent with the recommendations of these intergovernmental planning task forces/exercises.

Require new street systems to be designed in a manner that avoid adversely disrupting existing neighborhoods.

The new street systems for the MPD will not adversely disrupt existing neighborhoods. The MPD includes a condition of approval that no street connections will be provided through the MPD to the Deer Valley neighborhoods to the south. This condition is consistent with conditions of the Annexation Agreement.

Consider some small clusters of residential development (in the Planning Area) or a few dispersed units, maintaining the quality of the entry corridor. The residential development should be in distinct pods, surrounded by open space.

The Park City Heights MPD and Park City Heights Design Guidelines promote the development of a residential neighborhood surrounded by open space. The Design Guidelines promote neighborhood cohesiveness for a variety of housing types, sizes, and affordability.

Open Space and Environment

Carefully evaluate the open space components of annexation and development proposals to define the community needs and the value of dedicated open space. Consider these types of open space in annexations:

Natural Areas - (undisturbed hillsides, wetlands, and meadows) ;

Significant wildlife habitat - (areas where shelter, food and water is available to support a variety of wildlife species);

Highly visible ridge lines - (the tops of mountains and hills visible to pedestrians and motorists traveling in and around the community);

Undisturbed visual open space - (private or public open space left in its natural condition and serves primarily as a visual relief from the urban environment);

Natural geographic landmarks - (identifiable mountain peaks, valleys, meadows, ridges, rock outcroppings, and streams);

Entry corridors - (the roads, highways, and trails leading travelers into the community);

Trail connections and corridors - (routes directing hikers, bikers and skiers onto developed trails or through areas which eventually connect to trails);

Access to streams - (trails, paths, or roads leading to streams which are available for fishing, nature study, or other forms of recreation);

Ski runs - (areas where skiing is possible due to openness and slope of terrain);

Public golf courses - (golf courses which are either operated by a public entity, or golf courses available to the general public or both);

Public community recreation - (facilities available to the public such as playgrounds, parks, ball fields, and recreation centers, programmed recreation such as, but not limited to, baseball, lacrosse, soccer, basketball, and swimming);

Passive public recreation - (recreational activities that require a minimum of public facilities and/or supervision such as hiking, nature observation, fishing, biking, photography and similar pursuits);

Neighborhood public open space - (open space areas intended to serve a local neighborhood primarily but open to the public in general);

Private golf courses - (privately owned and operated golf courses open only for members and their guests);

Private trails - (trails through private property and not available to the public except by permission);

Private neighborhood parks - (parks within neighborhoods available for use only by those property owners owning and maintaining the parks);

Private open space - (open space areas that are privately owned and their use may be restricted by the Owner(s));

In general, private open spaces not available to the public are considered a lower priority when evaluating the community benefit of an annexation. Open space available for use by the public is preferred over all forms of restricted private open space; and

Observe the unique characteristics and open space priorities for each Planning Area outlined in the Land Use Element.

Considering the above-listed types of open space, the MPD includes open space for the following: Natural Areas, Highly Visible Ridgelines, Undisturbed Visual Open Space, Entry Corridors, and Trail Connections and Corridors. Additionally a public park is proposed as well as a community garden area for residents of the development. The majority of the development is located out of Natural Areas and wetland areas and off of the High Visible Ridgelines. The largest areas of open space are located near the highly visible hill sides and closest to the Highway 248 Park City entry corridor.

A visual analysis demonstrates that the housing, while visible, is not visually obtrusive and the mountain back drop further diminishes visual impacts from designated vantage points. The MPD includes conditions of approval that require

conditional use permit approval for 1) any structure containing more than 4 units, 2) units along the western perimeter when a building height greater than 28' is proposed, and 3) for the support commercial, daycare, or other proposed uses/buildings on parcels I and J.

For annexation of master-planned developments, consider increasing the required amount of open space, and negotiate the type of open space to be provided, based on the priorities for the Planning Area. Current City codes require 60 percent open space as part of the master-planned development process.

Consistent with the proposed CT Zone, over 70% of the MPD project area is open space. This is greater than the typical 60% required for MPDs in other zones.

Require compact development in annexed areas, in order to concentrate housing and other structures and preserve the maximum amount of contiguous, usable open space; and

Provide incentives for open space preservation that are consistent with, and complement, the Land Use and Open Space Elements.

Approximately 72% of the project area is open space. Of the overall 239 acres, development is limited to approximately 64.5 acres. The bulk of the open space is located on the visible hill sides, ridgeline area, wetlands along the Rail Trail, and the open field area closest to and most visible from the 248 entry corridor.

Demand special attention to the entryway areas, including Highways 40, 224, and 248, with site planning parameters that create open space corridors.

The MPD includes the area along the 248 Frontage Protection Zone as open space. The site plan was revised to include no-building setbacks of greater than 200 feet from US 40 and includes a landscaped open space buffer between the houses and US 40.

Direct development to the "toe" (bottom edge) of slopes in mountainous areas, rather than the face of slopes, meadows, or valley floors.

A majority of the housing units are located at the toe of the steep slope hillside and off of the face of the mountainous slope. The large field/meadow area to the north of the Rail Trail is protected as open space. The wet meadow areas along the Rail Trail are protected from development as open space parcels.

Set aside open spaces that are sizeable and visually apparent; provide substantial connections to other open spaces.

The proposed open space is generally comprised of mountainous slopes, open fields and meadows, and wetlands. Open space areas within the MPD are both sizeable and visually apparent and provide substantial connections to other open spaces, such as the Hidden Meadows Subdivision open space, the Rail Trail, and linkages to the City's fields complex.

Require neighborhood links through trail systems. Target activity areas such as schools, commercial zones, and recreation areas for trail connections.

Provide trails and access to year round trails that connect with adjacent areas and to public trail systems.

The MPD includes construction of road separated trail connections to the Rail Trail, Quinn's Sports complex, IHC medical complex, Round Valley open space and trails system, and to the Hidden Meadows/Deer Crest trails. Trail easements are provided for future trail connections to the park and ride facility to the east. The MPD provides trails and access to year round trails that connect with adjacent areas and to the public trail systems.

Consider all environmentally sensitive regions (including meadows and grasslands as significant components) as valuable open space.

The MPD does not include development in wetland areas or designated sensitive regions of the site and these areas will remain as valuable open space areas.

Consider all riparian areas as priorities for protection, and ensure riparian conservation areas at least 50 feet in width on each side of streams and wetlands.

No development is proposed within 50 feet of streams and wetlands, with the exception of trails and utilities. Conditions of approval require appropriate permits and mitigation for all work within the riparian areas. .

Regulate the use of unnatural landscape materials or landscape alterations not indigenous to the area, e.g., large lawns in front of mountain homes, or water features in prominent sagebrush areas.

The applicants' overall design concept is to retain as much native vegetation as possible and landscape with native, drought tolerant species as stated in the Park City Heights Design Guidelines. Restricting development to limited pad areas and providing the bulk of the project open space adjacent to existing City open space will help enhance the overall preservation of the site's native landscape.

Land Use and Growth Management Elements

Direct development to the "toe" of slopes, preserving the ridge tops, meadows, and visible hillsides. Open space foregrounds should be incorporated in development proposals to enhance the visual experience of open space; and

Preserve wetlands, drainage ways, and intermittent streams and incorporate them into developments as amenities, rather than as simply undevelopable land; and

Preserve as many large, cohesive, unbroken areas of land free of typical urban uses, including active recreational uses, as possible, through design, dedication, and acquisition, as development occurs in the annexation area.

Development is located primarily within the 0 to 15% sloped areas. Development is not proposed on steeper sloped hillsides. The wetland areas are free of development. The wetland areas connect to larger areas of open space. A minimum of 72% open space is proposed. The bulk of the open space is proposed along the visible hillsides and closest to the entry corridors and provides areas of cohesive, unbroken land free of typical urban uses. The preliminary plan incorporates trail connections between adjacent properties, the rail trail and the City's Round Valley open space.

Protect the views along the City's entry corridors by establishing design, setback, and landscape requirements.

The MPD includes the Park City Heights Design Guidelines that establish design, setbacks, and landscape requirements for the development. A visual analysis demonstrates that the views along the City's entry corridors will be protected. The development is not visually obtrusive from the entry corridor or LMC vantage points. Impacts of the development are mitigated by further conditions of approval requiring conditional use permit review for structures containing more than 4 units and for the most visual structures along the western perimeter and along Richardson Flat Road if height greater than 28' is requested.

To decrease fire risk, develop criteria for decreasing wildfire potential by keeping development out of certain sensitive areas and carefully controlling development where wildfire occur.

The Park City Fire District has provided input and recommended conditions of approval to decrease wildfire potential. Development is kept out of the steepest and most heavily vegetated areas. Conditions of approval address defensible space requirements and standard urban wildland interface concerns.

Incorporate pedestrian trail linkages and open space to allow movement between and through neighborhoods. Trails should link to other

recreational and community facilities and provide a viable alternative to vehicular transportation. Trail and pedestrian linkages should be consistent with the Park City Trails Master Plan and the Snyderville Basin Trails Master Plan.

The MPD includes construction of road separated trail connections from the Rail Trail to the tunnel under 248 accessing both the Quinn's sports complex and the IHC medical complex. The MPD also includes trail connections from the Rail Trail to the proposed public park and to pedestrian paths and trails throughout the development with trail connections to the existing public back country trail system. Conditions of approval require all trails and pedestrian linkages to be consistent with the Park City Trails Master Plan and the Snyderville Basin Trails Master Plan. Connections to the undeveloped property to the south provide for future connections to the Wasatch County Trails system.

Provide neighborhood recreation to serve residents of each distinct neighborhood. When appropriate, develop regional recreational facilities with adequate vehicular and trail access.

The MPD includes a public park and trail access to the Quinn's recreation and sports complex, including connections to the Dog Park and the Round Valley trails and open space area. A community club house and a community garden area are part of the MPD.

Encourage comprehensive, efficient developments that consider the overall impact on surrounding properties. Phasing plans for such projects will be necessary to avoid the premature expansion of utilities and other public facilities.

A phasing plan for the development is part of the MPD and will be further clarified with the development agreement. Phasing is proposed for lots, streets, utilities, common area landscaping, Public Park and amenities, trails, intersection and transit improvements, and other MPD elements to avoid the premature expansion of utilities and other public facilities. The phasing plan is consistent with requirements of the Annexation Agreement.

Encourage distinct neighborhoods surrounded by open space. Develop neighborhood-specific design guidelines to promote neighborhood cohesiveness.

The Park City Heights MPD and Park City Heights Design Guidelines promote the development of a neighborhood surrounded by open space. The Design Guidelines are specific to the Park City Heights neighborhood and promote neighborhood cohesiveness, diversity, and integration of a variety of housing types, sizes, and affordability.

Approve development only when adequate public services and facilities are available, or will be available when needed to serve the project.

Utility services including sewer, power, and telephone are available to, or nearby, the site. The applicant has provided water rights to the City to satisfy requirements of dedication. A water agreement between the property owners and the City is included in the Annexation Agreement. The MPD phasing plan and conditions of approval are consistent with the conditions of the Annexation Agreement related to provision of public services and facilities.

Encourage affordable housing in close proximity to lodging, bus routes, resorts and such essential services as shopping, recreation, and medical services.

Approximately 79 deed restricted affordable housing units are proposed. These units are located on a future bus route providing access to Park City lodging, shopping, recreation and medical services. Dial-a-ride bus service will be available until a dedicated bus route is warranted by the development and/or increased use of the park and ride facility. Required trail connections to the Rail Trail and to the 248 underpass trail will provide pedestrian and bike access to the Quinn's sports complex, Round Valley trails and open space, the dog park, and to the IHC Medical complex.

Encourage a mix of housing styles within new developments with a preference for second homes and housing units that provide bed base for tourists.

The MPD provides a mix of housing styles, types, sizes, and affordability. Both the market units and deed restricted units are proposed to be a mix of style, types, housing, and affordability. The MPD provides opportunity for second homes and housing units that can provide a bed base for tourists. These units can provide the community with a number of housing options, and a wide range of pricing.

Require adequate, well-engineered streets that minimize the impact on the environment by avoiding excessive grading and cutting of hillsides.

Require traffic routing and street design that minimizes grading, minimizes impacts on existing residents, and reduces dependency on the automobile.

Require all season trail systems which serve individual neighborhoods and also provide connections to other existing and planned trails.

Grading is minimized by the proposed street layout plan, street construction limits of disturbance plan, and the cut/fill and retaining wall design for streets as described in the Park City Heights Design Guidelines. The Design Guidelines stipulate re-vegetation requirements to return disturbed areas to attractive, as close to natural conditions as possible.

Impacts on existing residents and off-site trips during construction are minimized by conditions of approval requiring an on-site (within the PC Heights

development) construction recycling area and an excavated materials storage area.

The street layout and design in the lower area provides increased pedestrian connectivity in a modified grid system that reduces dependency on the automobile. Pedestrian pathways and trails provide pedestrian oriented connectivity with the public park, Rail Trail, bus stops/public transit routes, community amenities, as well as with other houses and areas within the development.

Front facing porches with rear access garages in this area encourage pedestrian activity and neighborhood interaction. A central post office box area in the community club house reduces dependency on the automobile. The MPD provides a pad site for future uses, such as daycare, support commercial, live/work offices, public and quasi public facilities. These uses provide further opportunities to reduce dependency on the automobile.

Prohibit development of highly visible hillsides and ridge lines as viewed from Highways 40 and 248.

The MPD does not include development of highly visible hillsides and ridgelines as viewed from US 40 and Highway 248. The bulk of the proposed 72% open space includes ridge tops, middle ridges, highly visible hillsides, and the land directly adjacent to the Rail Trail and entry corridor highway. A visual analysis is included as part of the submittal documenting that the development will not be visually obtrusive from the LMC Vantage Points or from the entry corridors and that no roofs extend obtrusively above the ridgeline areas as viewed from the LMC Vantage Points.

Conditions of approval regarding the building height of houses along the western perimeter address concerns about visibility of roofs along the middle ridge areas. Development is located in the lower flatter area at the toe of the steeper more visible hillsides. Proposed open space connects with open space of the Hidden Meadows Subdivision and continues across the Rail Trail to the 24 acre dedicated open space parcel directly adjacent to Highway 248.

Preserve large areas of mountain shrub vegetation and sage grasslands in their natural environment. Should recreation uses be considered, such as golf or trail installation, their design should maximize the use of natural materials, natural vegetation and the natural landscape in design and planning. Planning should consider ways to reduce water use for landscape irrigation.

A majority of the proposed 72% open space is proposed to be retained in its natural state. Native vegetation within proposed open space areas will be preserved to the greatest extent possible as documented on the limit of disturbance plan. No golf course is proposed. Trail construction will meet City Trails Master Plan standards for construction and limits of disturbance.

Specifics on any non-native landscaping and irrigation are addressed in the Park City Heights Design Guidelines that are an integral part of the MPD.

Preserve wetlands and intermittent streams and drainage ways. The design of storm water systems should use an open system with drainage features being used as an amenity.

The proposed plan does not include development within wetland and stream corridors. A specific storm drainage system using landscaped drainage features as an amenity are proposed. This drainage area also provides a buffer between the houses on the east side of the development and the US 40 corridor. Detailed landscape plans of the drainage area, entry area, parks area, and streets/paths will be provided with the final subdivision plats.

Use and enhance the Silver Creek wetlands as an amenity feature in the design of surrounding property development.

The proposed plan does not include development in close proximity to the Silver Creek wetlands, however the trail improvements necessary to connect the Rail Trail to the Hwy 248 tunnel trail as well as the trail connection from the Rail Trail to the public park will provide for use and enhancement of these wetlands. Conditions of approval require that prior to a building permit for these trail connections a wetlands enhancements plan shall be reviewed by the Planning Staff and all required wetlands permits shall be obtained. Mitigation for the disturbance of the Silver Creek wetlands for these trail connections shall be identified on the plan and shall enhance the wetlands as an amenity feature for the trail.

Wildlife habitat and migration routes should be considered in developments. A balance must be maintained between development, recreational activities and the natural environment. It is important to work cooperatively with State and Federal government agencies to resolve issues.

A wildlife report is included as part of the MPD submittal. Recommendations of the wildlife study are incorporated as conditions of approval for the MPD.

Transportation Objectives

Complete a north-south collector road along the Highway 40 frontage. Work with the Utah Department of Transportation to design an intersection on Highway 248 that accommodates the vehicular and trail crossings desired by the City.

The north south frontage road will be improved as the development is phased. Final design of the intersection and roadway will be provided at the time of the final plat for the specific phases. The applicant and City will coordinate with

UDOT on the design of the frontage road. The intersection design has been coordinated with UDOT and is a requirement of the Annexation Agreement and MPD.

Improved vehicular access to this Planning Area could come from the intersection of the existing unpaved access road and Highway 248. This intersection would align with a new road through the Round Valley parcel to the north of Highway 248. Grade separation for the trail connection should be considered when designing the Highway 248 widening and improvements. Limit driveways and intersections on Highway 248.

Intersection improvements at the proposed location (i.e. the existing intersection with Richardson Flat Road) are a requirement of the Annexation Agreement and the MPD. The trail connection will be separated from the road along the north side from the tunnel under 248 to the Rail Trail. A tunnel under Hwy 248 currently exists. The MPD does not include or propose any additional driveways or intersections with Highway 248.

An aerial photograph of the Park City Heights neighborhood, showing residential buildings, streets, and a soccer field. The title text is overlaid on this image.

Park City Heights

Neighborhood Design Guide

**Final
Draft**

A p r i l 1 5 , 2 0 1 1

Lot Types

Park City Heights is to be comprised of a variety of architectural styles found within three (3) unique and diverse Lot types: Park Homes, Cottage Homes and Homesteads.



Park Homes

Park Homes consist of various attached housing types with varying lot sizes to accommodate these home types. All Park Homes front a park or open space and are accessed by rear lanes and rear garages providing a focus on the front doors and front porches.



Cottage Homes

Cottage Homes consist of smaller single family homes on lots that range in size from 40' to 70' in width and 90' to 120' in depth. The majority of Cottage Homes are accessed from local drives at the rear of the homes with an emphasis on orienting front doors and porches to the residential street or open space.



Homesteads

Homesteads consist of larger single family homes on lots ranging in size from 6,500 square feet to 25,000 square feet. Homesteads are located across the upper slopes of the development and these lots will form the visual transition to the surrounding open space and will require the most sensitive placement to respect and respond to the existing terrain.



Table of Contents

Overview

Design Philosophy	1
Lot Types	2

Community & Architecture Patterns

Park Homes

Street Patterns	3
Building Placement	4
Massing & Composition	5
Walls	6
Porches	7
Windows & Doors	8
Garages & Garage Doors	9
Roof Patterns & Materials	10
Roof Appurtenances	11
Home Appurtenances	12
Example Gallery	13

Cottage Homes

Street Patterns	14
Building Placement	15
Massing & Composition	16
Walls	17
Porches	18
Windows & Doors	19
Garages & Garage Doors	20
Roof Patterns & Materials	21
Roof Appurtenances	22
Home Appurtenances	23
Example Gallery	24

Homesteads

Street Patterns	25
Building Placement	26
Massing & Composition	27
Walls	28
Porches	29
Windows & Doors	30
Garages & Garage Doors	31
Roof Patterns & Materials	32
Roof Appurtenances	33
Home Appurtenances	34
Example Gallery	35

Table of Contents

Landscape Guidelines

Landscape Appurtenances	36
Grading and Retaining	38
General Landscape Guidelines	40
Enhanced Landscape Zone	41
Transitional Landscape Zone	42
Natural Landscape Zone	43
Plant List A	44
Plant List B	45
Plant List C	46

Sustainability

Building Sustainability	47
Community Sustainability	50
Landscape Sustainability	52
Disclaimers	53

Design Philosophy

Park City has a rich Architectural Heritage that has created a collection of neighborhoods, remarkable for their diversity and unique character. Park City Heights is a new mountain neighborhood that strives to blend a variety of home and lot types, architectural styles and landscapes that shall use key character elements found in these diverse Park City neighborhoods. Located within an important entry corridor to Park City, Park City Heights must establish itself as a distinct neighborhood while still fitting within the context of the existing and surrounding natural and architectural fabric. It is important to represent an “Old Town” and “Park City” character within the development but replicating these styles is not desired. Park City Heights shall strive to become an “authentic” neighborhood designed around neighborhood parks, open spaces and trails, a variety of home types and lot sizes and diverse architectural elements. For homes in Park City Heights, the emphasis is on simple structural expressions using a vocabulary of architectural elements found within Park City including Victorian, Cottage, Arts and Crafts, Prairie Style, and Modern and Contemporary styles. Each Home within Park City Heights will be required to meet and adhere to the following guide with the intent that each and every Home contributes to the community as a whole.

Applicability

These Guidelines have been created to ensure all improvements at Park City Heights preserve the natural beauty of the surrounding landscape and generate a unified community design. The Design Guidelines are intended to provide direction to owners and designers to ensure compatibility with the desired character at Park City Heights. The Design Guidelines explain the architectural aesthetics and site considerations that are to guide the design and construction of all new buildings, building additions, site work, and landscaping within Park City Heights. These Guidelines are not intended to create a homogenous, look alike neighborhood of earth tones and mountain timbers, but are intended to create a harmonious and diverse community of unique and varied homes that will form the foundation for a vibrant and successful mountain neighborhood.

The Design Guidelines are organized into six sections:

- Overview
- Park Homes
- Cottage Homes
- Homesteads
- Landscape Patterns
- Sustainability

Each section is designed to provide key information that will help homeowners make architectural and site planning decisions for their homes within Park City Heights. Each Lot Type is provided with a set of specific Community and Architectural Patterns. The Community Patterns section provides building setback, street character, garage placement and orientation for each product type within the development. The Architectural Patterns section presents Guidelines for individual architectural elements and key details, materials and applications to help owners create compatible homes within a neighborhood setting.

The Landscape Patterns and Sustainability sections apply to each Lot Type throughout the development. The Landscape Patterns provide a list of appropriate landscape materials for all lot and home types and emphasizes the importance of appropriate plant materials for the various landscape forms and spaces for each home and lot.

The Sustainability section focuses on specific sustainable measures that must be incorporated by every home within the project.

Each Lot owner or Builder must refer to the Park City Heights Codes, Covenants and Restrictions for specific requirements and design review submittal requirements.

Lot Types

Park City Heights is to be comprised of a variety of architectural styles found within three (3) unique and diverse Lot types: Park Homes, Cottage Homes and Homesteads.



Park Homes

Park Homes consist of various attached housing types with varying lot sizes to accommodate these home types. All Park Homes front a park or open space and are accessed by rear lanes and rear garages providing a focus on the front doors and front porches.



Cottage Homes

Cottage Homes consist of smaller single family homes on lots that range in size from 40' to 70' in width and 90' to 120' in depth. The majority of Cottage Homes are accessed from local drives at the rear of the homes with an emphasis on orienting front doors and porches to the residential street or open space.



Homesteads

Homesteads consist of larger single family homes on lots ranging in size from 6,500 square feet to 25,000 square feet. Homesteads are located across the upper slopes of the development and these lots will form the visual transition to the surrounding open space and will require the most sensitive placement to respect and respond to the existing terrain.



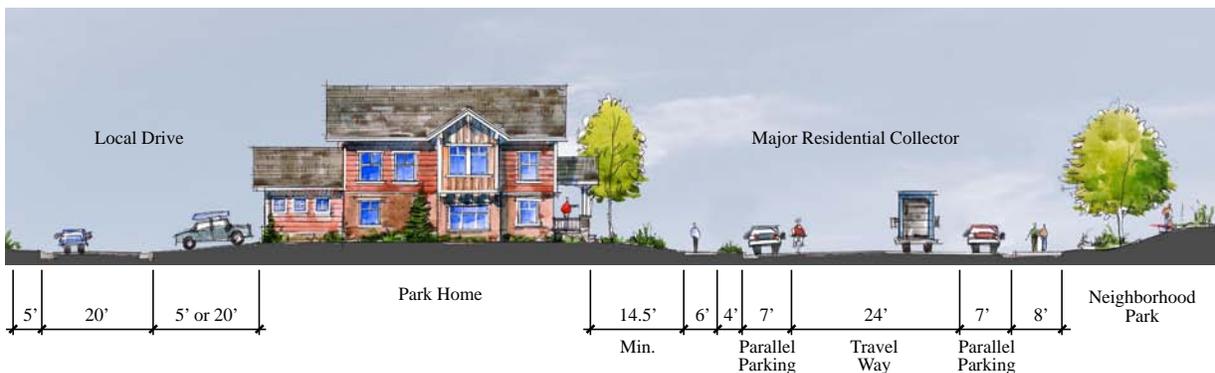
Park Homes

C o m m u n i t y & A r c h i t e c t u r e P a t t e r n s

Street Patterns

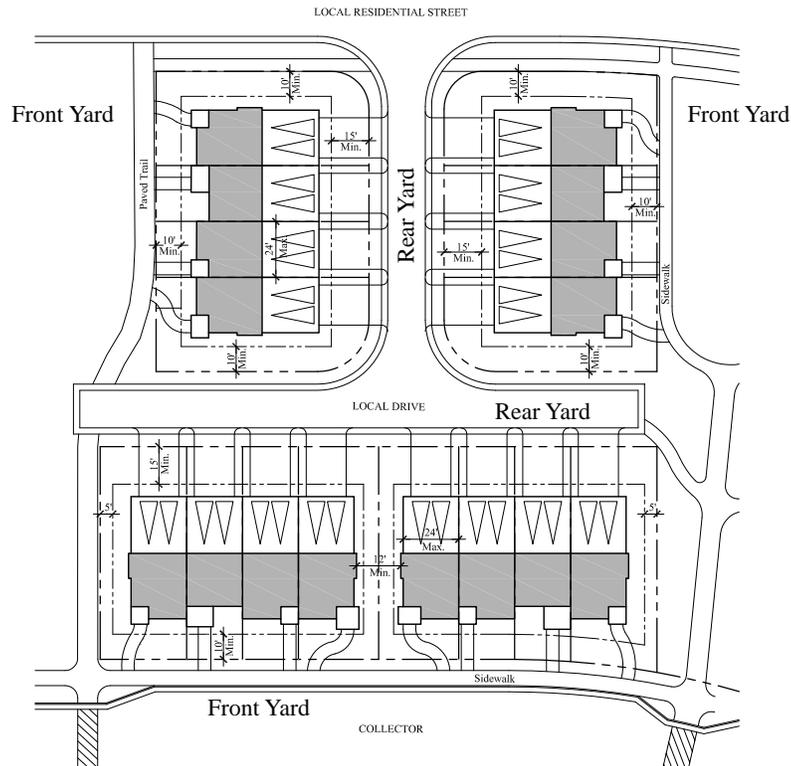


All Park Homes front a public park space or community open space and have garage or structured parking behind the homes. The front facades of these products are oriented to walkways and trails providing great access to the neighborhood amenities surrounding them. Front porches are critical elements of these typically larger buildings helping to reduce the impacts of the mass on the streetscape and surrounding views into the project. Park Homes also utilize on street parking to provide varied and shared parking alternatives minimizing the impact of the automobile within this neighborhood.



Park Homes

Building Placement



Park Homes vary from 2 unit to 15 unit Multi-Family buildings.

Front Yard Setback: Minimum 10' to Main Structure or Front Porches.

Side Setback: Minimum side separation to any adjacent Structure shall be 12'.

Side Street Setback (Corner Lot): 10' to all structures.

Side Open Space Setback (Lot adjacent to Open Space): 5' to all structures.

Rear Yard Setback: Minimum setback to Main structure shall be 15'.

Front Facade: At least 40% of the Primary Facade must be placed within 10' of the required minimum Front Yard Setback.

Local Drive Accessed Garages: Shall be a maximum of 24 feet wide. Garages must be placed at either 5' from the edge of the Local Drive or a minimum of 20' from the edge of the Local Drive.

Local Residential Street Accessed Garages: Shall be a maximum of 24 feet wide.

Garage Doors: Must be oriented to the Local Drive. Two (2) car garage doors may be a maximum 18' wide. Single doors may be a maximum of 10' wide.

Parking: Owner and guest parking located to the rear of homes are to be screened from off-site views, to the extent possible, through the use of proper placement, architectural screens and/or landscape planting. No enclosed structures for the storage of boats and/or motor homes are permitted.

Park Homes

Massing & Composition

Scale of Buildings

It is important that the massing of the buildings be scaled in such a way that it relates to the people living there and harmonizes with the area and its natural features. This is especially true in the Park Home area where some of the buildings may be larger than in other areas of the development. Park Homes range in size from two (2) unit to fifteen (15) unit multi family buildings. To avoid building forms that are boxy in massing the following criteria should be met.

a. Buildings with between two and four units must comply with the following.

No unbroken expanse of building mass may exceed 25'. If the 25' is reached the wall line must step a minimum of 3'.

b. Buildings housing more than four (4) units must meet the following requirements:

No unbroken expanse of building mass may exceed 35'. If the 35' is reached the wall line must step a minimum of 3' and one of the following must occur:

- The building mass should bend
- The roof line should shift up or down at least 3' or take on a different ridge alignment.
- Roof areas must provide variation in roof shape. No single roof shape may cover more than 2/3 the total roof area.



Horizontal & vertical variation must occur

Repetition

Buildings of similar plans must offer up differentiation in elevation. Repetition of like elevations will not be permitted. The review board shall approve exterior elevations of multi family buildings and require variation between building facades to ensure diversity within the development. These requirements are applied so that the building mass does not become overpowering. Changing the planes of walls, changing direction, and providing some variety in the roof form yields diversity and visual interest.



Repetition of like elevations is prohibited

Unit Size

Units in the Park Homes area will have a minimum square footage of 800 sq ft. The first floor area shall not be less than 800 sq. ft. for two story units. The maximum square footage for any unit is 2,500 sq. ft.

Note: All areas noted are gross living areas and exclude porches, decks, garages and uninhabitable basements as defined by code.

Building Height

The intent of the height guideline is to present an appropriately scaled roof scape that is compatible with its use and placement.

Allowable building heights are limited by Park City Municipal Corporation ordinance. Generally building heights can not exceed 28' as measured from existing natural grade at any point, excluding chimneys.

Park Homes

Walls

Foundation Walls

Foundation walls form the base or grounding element of the structure. These walls should be a continuation of the building wall. Foundation walls must step down with the grade change so that their exposed surface is covered. All exposed concrete must be clad or finished for appearance with an approved exterior wall material, see Building Walls for approved materials.

Building Walls

Building walls are those walls above the foundation walls that form the middle of the structure. The treatment of these walls provides an opportunity to visually unify this phase of the development. The use of different materials is encouraged to give distinction to the varied forms of the building. Materials on building walls will be limited to three different types for any single structure in the Park Homes area.

Approved materials are:

- Horizontal wood siding
- Board and batten vertical wood siding
- Machine sawn wood shingles
- Composite siding or approved similar
- Stucco (as approved by the committee)
- Steel (as approved by the committee)



Vertical siding



Horizontal & vertical siding material combinations

Wall Appurtenances

Detail elements applied to the exterior wall such as wall decoration, shutters, bay windows and flower boxes can add visual interest to the building façade. Care should be taken to not overstate or overly decorate. These elements should be functional and not simply replications of things seen elsewhere.

- Wall Decoration - Painted, relief or trimmed detail work is not recommended.
- Window and Door Shutter - Should be less prominent in the Park Homes. If used they should appear operable and matched to size openings. They may be made of wood or fiberglass that resembles wood. Their design should be simple and straightforward, with out undue decoration. Painted shutters are encouraged on single windows and fully glazed doors. Hardware shall be corrosion resistant in a compatible color. Styles may be louvered, raised or flat paneled or planked and awning shutters are permitted.
- Bay Windows and Flower Boxes - These should be designed in a simple and direct manner.



Simple wall decoration



Shutters not prominent in Park Homes

Park Homes

Porches

Porches

A core ideal of the development is the use of covered front porches to promote: a human scale, sense of entry and emphasize relationship to the street. Massing of porch elements can also help to further ground the building by forming a base from which the building mass can grow. To this end porches should be made to convey a sense of human scale and are limited to one story in height. *Integration of the front porch is required in the Park Homes area.*

- Porches shall usually be located at the front setback line.
- Porches will often have deep eaves repeating the same rafter treatment as the main roof.
- Porch roof forms shall be consistent with the architectural style of the home.
- Porches must be a minimum of 18” above finished grade unless ADA access is required to the home. The front porch steps must be designed as an integral element to the design and style of the home and not just “stuck on” the front of the home.
- Porches can be used to wrap the corner of a house or fill the void created by an “L” shaped plan. Wrapped porches are strongly recommended for Corner Lots.
- Creativity consistent with the architectural style of the house shall be used in designing columns, posts, brackets, railing, trim and molding.
- Columns, where provided, must terminate at the porch deck or extend to within 4” of finished grade.
- Minimum porch depth is 6’ with a minimum of 48 square feet.

- All porches shall be properly detailed with authentic porch edge conditions, including a cantilevered “lip” or edge. If the porch surface is left as natural or colored concrete the face of the cantilevered lip must also remain as natural or colored concrete. If the porch surface is finished with another material, then that material should wrap the face of the porch lip.

Appropriate Porch flooring surfaces include:

- Wood or Composite Decking
- Natural or Approved Colored Concrete
- Tile or Concrete Pavers



Porches located at front setback



Properly detailed porch elements



Porch reduces impact of building mass to street



Porches 18” above grade

Park Homes

Windows & Doors

Windows

Windows should be predominantly rectangular in shape and vertical in orientation. Octagonal, circles and hexagons will not be approved. Window heads must be shaped to match roof lines or remain level. No scissor truss windows will be permitted with slopes not matching the roof line.

Windows may be constructed of the following materials:

- Wood
- Wood clad with color fast vinyl or aluminum
- Metal clad windows must be coated with an approved finish
- Vinyl

Note: The glass and frames used in windows and skylights can not be highly reflective. The lens of skylights must be clear, gray or bronze. All skylights must be low profile. No bubble type skylights will be permitted. Skylight locations should integrate well with the exterior design and not seem random. Light pollution from skylights will not be permitted. The type and location of skylights are subject to the review of the committee.

Doors

Door openings should be protected from weather. Porches, overhangs and other architectural features can shield openings and add interest. Doorways should be rectangular in shape. They should be made of a material and finished in a manner that is complimentary to the other exterior materials being used. The use of limited glass in entry doors is encouraged, ex. 1/2 lights with divided lights. Full glass doors are discouraged.

Trim

Within the Park Home product expressive trim is identified as a key architectural element. Trim shall be proportioned to the size of the opening. Trim shall project a minimum of 1/2" past the leading edge of the adjacent siding. Most trim shall be flat. Any shapes must have a simple profile. Siding must abut trim (trim shall not be installed on top of siding).



Predominantly rectangular



Vertical proportion



Doorway is complimentary to materials of the home



Door is protected from weather



Trim proportion to the size of the openings



Expressive trim



Trim with simple profile

Park Homes

Garages & Garage Doors

Garages

Garages or Parking Structures are required in the Park Homes area of the development. They can be attached or detached and must provide a minimum of one car per residential unit. Garages must not dominate the structure when viewed from the street, especially in areas visible from right-of-ways, common areas and adjacent home sites. All garages must be accessed from the Local Street. Parking Structures may be accessed from Residential Streets.

Garages may be side entry designs or accessed perpendicular from the Local Street. The use of overhangs and significant architectural details are encouraged to visually lessen the impact of the garage entrance(s).

Garage Doors

Garage doors must be provided with detailing that is tied to the homes overall design themes. Garage doors must appear as traditional swinging, folding or sliding doors. Segmented doors are only permitted if they are constructed to appear to be one of these traditional door types and are subject to Design Board approval.

- Doors should be paneled and may incorporate glass.
- Doors should be painted colors similar to the body of the home to lessen their visual impact.
- Single garage doors are preferred. The use of single doors allows for more variety in the garage elevation.
- Garages for an individual unit are limited to 2 garage doors in the Park Home area. A 2 car tandem garage is allowed.
- No garage door over 9' high will be approved.

Driveways

Shared Driveways are allowed and encouraged be their width at the curb must be minimized.

Driveways are encouraged to be concrete, colored concrete, stamped colored concrete, unit pavers turf block or other permeable pavers or other pattern and texture methods approved by the Design Review Board. Asphalt drives will be permitted but must be maintained properly.



Paneled doors are encouraged to incorporate glass



Door is painted to match body of the home



Single doors are preferred where feasible



Living area overhangs garage to lessen visual impact



Not this - Garage door is dominant element

Park Homes

Roof Patterns & Materials

Roofing Patterns

Roof elements play a major part in how the overall residence design relates to human scale and to the topography of the site. Roof forms can also help bring developments together visually through the use of reoccurring underlying principles.

- Allowable roof pitches for sloped roofs are between 4:12 and 8:12
- Allowable roof types are: gable, hip, partial hip and flat.
- Shed roofs may only be used as secondary roof forms.

Roof forms need to be broken down to address human scale so as not to become boxy. Generally roof structures and roof lines should step with the topography of the site creating the appearance that the buildings mass steps with and follows the slope of the site.

Building designs will incorporate a primary roof form with secondary elements attached to the primary form. See Massing & Composition for additional criteria.

The following roof shapes are not permitted:

- Mansard or fake mansard roof
- Gambrel roof
- Domed roof

Roof Overhangs

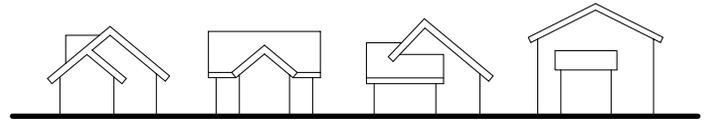
Roof overhangs protect walls and openings from weather and contribute to the buildings character. Roofs should overhang walls a minimum of 12” and a max of 24”. Roof overhangs less than 12” requires review committee approval.



Roof overhangs protect walls



Flat roof elements are appropriate



Variation in Roof Forms Contributes to a more Visually Rich Neighborhood

Materials

Allowed roofing materials are:

- Architectural composition shingles, minimum 30 year
- Copper, must be allowed to oxidize and turn bronze
- Zinc, flat finish
- Cor-ten steel
- Self adhering single ply membrane roofing, at flat roofs
- Solar Shingles
- Green roofs

The following materials can be used with approved color selection:

- Aluminum
- Steel

Standing Seam Metal or corrugated roofs shall be primarily allowed on accent and porch roofs.

The following roofing materials are not allowed:

- Wood Shakes
- Highly reflective metals
- Asphalt rolled roofing



Primary roof form broken up with secondary roof elements



Roof is broken up to relate to human scale

Park Homes

Roof Appurtenances

Roof Appurtenances

Approved Dormer Shapes:

- Shed Dormers
- Gable Dormers
- Hip Dormers

• Snow Diverters, should be used wherever sufficient amounts of snow may accumulate over occupied areas such as entries, patios, porches, driveways and decks. Special care should be taken with metal roofing as it is prone to releasing snow which can cause injury to people or damage to property.

• Snow Melt Systems should only be considered when all other alternatives have been explored. Proper roof design is imperative to eliminate the dependency of snow melt systems and their energy consumption.

• Roof top stairs, mechanical and electrical areas are required to be placed within the roof structure and are not permitted to be placed on the roof unless shielded. Shielding solutions must be approved by the review committee.

• Ornaments like finials, scroll work on the ridge or barge and eave boards or decorative turrets are discouraged.

• Skylights are not to be highly reflective and must be installed flush against the roof. They should not extend to the eave line. As mentioned elsewhere in these guidelines bubble type skylights will not be approved. Light pollution from skylights will not be permitted.

• Chimneys must be enclosed in a chase. The chase may be clad with wood siding, stucco, stone or approved metal. Chimney caps are required and must be constructed of approved material. Exposed metal chimneys and spark arrestors are not permitted.

• Mechanical vents 6" or larger must be enclosed in an appropriate architectural structure to match building components. When chimneys are required their size, shape and height should match that of other chimney elements on the roof. All other unenclosed exposed vents must be coated to match the roof color.

• Clerestories should be placed within the field of the roof and can not extend to the eave lines except as approved by the review committee.

• Solar Panels are allowed but must be placed parallel to the roof and roof slope and should be mounted as close to the roof surface as possible.

Gutters and Downspouts

Gutters and downspouts should be metal or copper, have a factory finished metallic patina or painted to match the surface they are attached to or match the trim color of the home.

Rain Storage Devices

All rain storage devices must be placed underground.



Mechanical vents reflect architectural style



Gutters match surface or trim color



Solar panels located to minimize visual impact



Skylight placed flush to roof

Park Homes

Home Appurtenances

Mechanical Equipment

Care must be given in designing a home to the location of utility equipment to avoid prominent exposure of mechanical equipment and meters to public view. Compressors, meters, utility boxes and miscellaneous equipment shall be grouped and located and screened to minimize the impact on neighbors and the community.

Utility meters are typically required to have impact protection. The location and design of this impact protection shall be included on the construction plans. The design shall satisfy the building department and utility provider requirements.

Screens can be comprised of either landscaping or landscaping and wood that is compatibly detailed to harmonize with the homes exterior. Exposed vents, grilles and other mechanical, electrical and plumbing components should be coordinated with building elements. Consider locating the dryer exhaust vent, hose bibs, waterproof outlets etc. below the first floor beam. Conceal these items to the extent possible and coordinate visible items with the foundation piers and screens.

No roof mounted mechanical equipment is allowed unless mounted on a flat roof element and is not visible from public view.

Lighting

Outdoor and indoor lighting will be carefully reviewed to assure that neighboring properties are protected from direct light sources. The intent is to produce an enticing low level throughout the community that creates a warm ambience while maintaining views of the night sky and stars.

Exterior lighting shall be kept to a minimum and shall be limited to porches, courtyards, garage entries, addresses and to mark paths.

The light source shall be shielded from view to the greatest extent possible. Floodlighting and moonlighting are prohibited.

Antennae and Satellite Dishes

When possible, satellite dishes, television or radio aerials or antennas should be installed so as to be screened from the road, adjacent home sites or public areas. No satellite dish may be installed that is larger than 39" in diameter. Removal of trees to improve reception is prohibited. The screen wall is subject to Design Review approval and must be an integral component of the house design. In some cases, the enclosure may not be approved due to the location on the home site and its visual effect on the overall street scene or as viewed from adjacent home sites. Umbrella covers over satellite dishes are prohibited.

Trash Containers

Space shall be provided in an adequate and appropriate side or rear yard or interior portion of the garage to accommodate at least one trash and one large recycling container per unit and must be concealed from view from the Street or Local Street.

Accessory Structures

No accessory structures are permitted.



Lights should compliment architectural style but remain simple in form

Park Homes

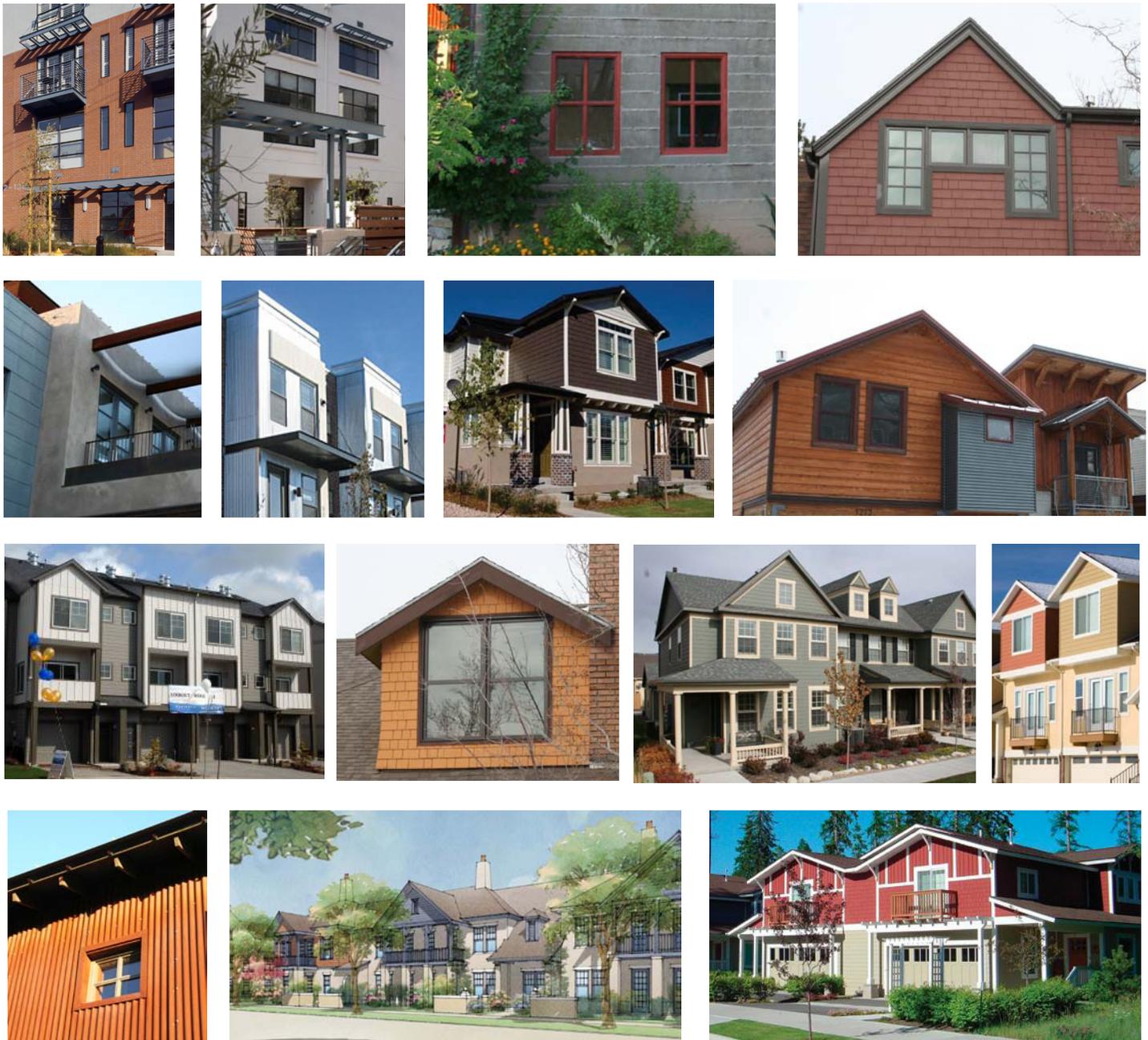
Example Gallery

Exterior Colors

The Park Homes have a diverse range of building size. With this diversity comes an opportunity to introduce color ranges seen in other phases of the development. Smaller buildings such as duplex & fourplex buildings, should follow the standard established by the Cottage Homes guidelines & utilize primary colors. White & light gray are not considered primary colors. Buildings larger than four units must utilize colorful earth tones in an effort to lessen their visible mass.

Key Elements

- Varied Wall Planes & Massing
 - Expressive Trim
 - Exposed Structural Elements
 - Low Sloping/Flat Roofs
 - Emphasis on Front Porches
 - Mining Meets Modern
 - Not Resort Mountain Timber
 - Mountain Contemporary
- Simple Forms
 - Garages Secondary
 - Grouped Windows
 - Creative Materials



Park Homes

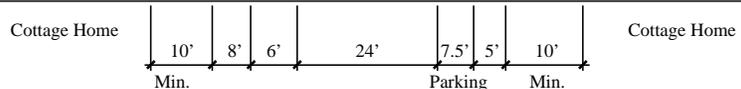
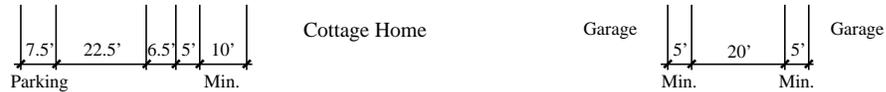
Cottage Homes

C o m m u n i t y & A r c h i t e c t u r e
P a t t e r n s

Street Patterns



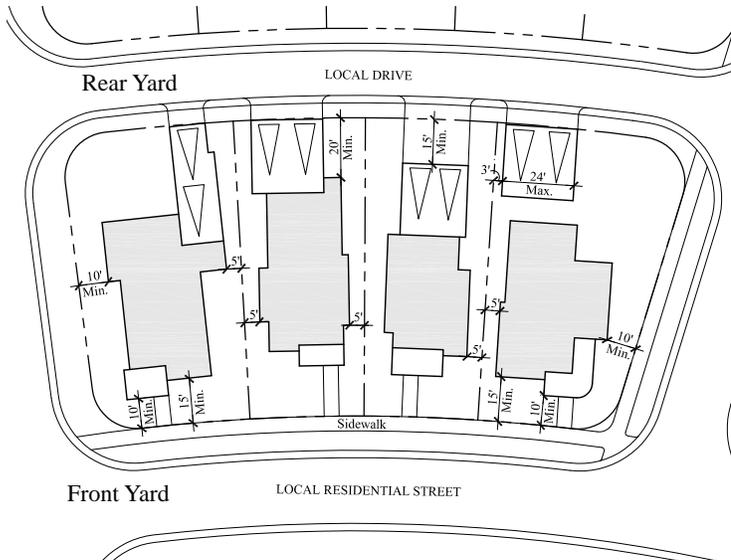
Typical Cottage Homes are single story, story and a half and two story homes placed on small traditional lots located in the heart of the neighborhood. The Cottage Homes are primarily accessed from Local Streets placing an emphasis on the homes front facades and front porches and de-emphasizing garages. The Cottage Homes are placed close to the Street and Sidewalks creating an intimate setting that should include appropriate front yard landscaping and garden fencing common to traditional neighborhoods while still providing on street parking and sufficient snow storage areas.



Cottage Homes

Building Placement

Local Drive Accessed Lots



Note: All Cottage Homes served by a Local Drive are required to access the garage from the Local Drive.

Cottage Home Lots are typically 35 feet to 60 feet wide by 85 feet to 130 feet deep.

Front Yard Setback: 15 feet to Main House. Front Porches or Single Story Bays may extend to within 10' of the Sidewalk or Street ROW.

Side Yard Setback: Minimum setback for all homes is 5 feet.

Side Street Setback (Corner Lot): 10 feet for all structures.

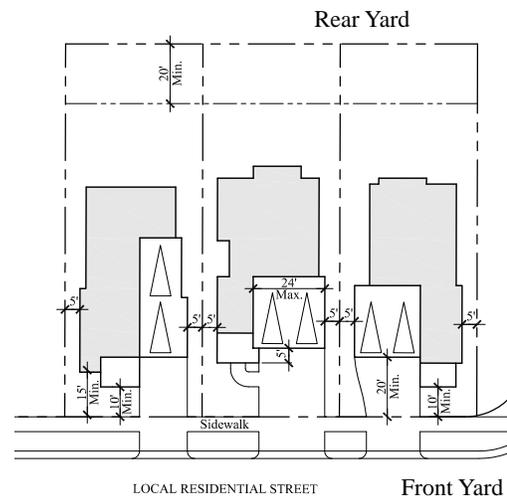
Rear Yard Setback: 20 feet to Main House.

Front Facade: At least 40% of the Primary Facade must be within 5' of the required minimum Front Yard Setback.

Local Drive Accessed Garages: Shall be a maximum of 24 feet wide. Garages must be placed at either 5' from the edge of the Local Drive or a minimum of 20' from the edge of the Local Drive but must be placed within the Lot.

Cottage Homes

Local Residential Street Accessed Lots



Single Story Detached Garages with Local Drive access may be placed at 3 feet from the side property line. Two Story or attached Local Drive accessed Garages must be placed at 5 feet from the side property line.

Local Residential Street Accessed Garages: Shall be a maximum of 24 feet wide. Garages at front or side yard shall be setback 20 feet or five feet behind Front or side Facade (Whichever is greater). Garages must be placed a minimum of 5' from the Side Property Line.

Garage Doors: May be oriented perpendicular to the Local Drive. On Corner Lots with Local Drive access provided, garage doors shall not face Local Streets. 2 car garage doors may be a maximum 18' wide. Single doors may be a maximum of 10' wide.

Parking: Owner and guest parking located to the rear of homesites are to be screened from off-site views, to the extent possible, through proper placement, the use of architectural screens and/or landscape planting. No enclosed structures for the storage of boats and/or motor homes are permitted.

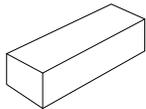
Massing & Composition

Built Forms Follow Contours

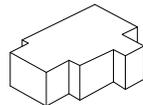
Building placement should respect existing land forms. Structures should follow contours and fit into existing land massing, rather than ignore or dominate these forms.

Scale of Buildings

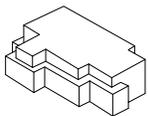
It is important that the massing of the buildings be scaled in such a way that it relates to the people living there and harmonizes with the area and its natural features. No unbroken expanse of building mass may exceed 35' in length on all side elevations and 25' on all front and rear elevations. If the maximum length is reached the wall line must step a minimum of 4'.



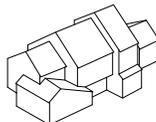
Undesirable



Vertical Articulation added



Horizontal Articulation added



Desirable

This requirement is applied to ensure that building mass does not become overpowering. Changing the planes of walls, changing direction, and providing some variety in the roof form yields diversity and visual interest. Additive building volumes give the home an appearance that it was built over time.



Variation in individual structures contribute to a varied streetscape.

Repetition

Repetitive massing is prohibited. There should be substantial variation in individual building forms. Homes with similar heights may only occur consecutively along a street 3 times before a change in massing is required. For example, three adjacent 2-story homes must be followed by a 1 1/2 story or 1 story home. Also, no more than 2 similar floor plans may occur consecutively along a street.

The Design Review Board shall review these requirements on a case by case basis based on specific site conditions.



Avoid Consecutive Massing

Residence Size

Residences in the Cottage Homes area will have a minimum square footage of 900 sq ft for single story structures. The first floor area (defined as that floor that is access by the front door) shall not be less than 800 sq. ft. for two story structures. The maximum square footage for any residence is 3,500 sq. ft.

Note: All areas noted are gross living areas and exclude porches, decks, garages and uninhabitable basements as defined by code.

Building Height

The intent of the height guideline is to present a human-scale roof scape, one that steps with the contours of the terrain and recalls the natural setting.

Allowable building heights are limited by Park City Municipal Corporation ordinance. Generally building heights can not exceed 28' as measured from existing natural grade at any point, excluding chimneys.

Side Elevations

All Cottage units with side elevations exposed or clearly visible from a public road shall pay special attention to the massing and composition to ensure appropriate scale and form to fit visually into the landscape and windows should occur in these visible end walls. Additional landscape measures may be required to achieve this requirement.

Cottage Homes

Walls

Foundation and Retaining Walls

Foundation walls form the base or grounding element of the structure. These walls should be a continuation of the building wall. Foundation walls must step down with the grade change so that their exposed surface is limited. All exposed concrete must be clad or finished for appearance with stone veneer, board formed concrete or concrete with an exposed aggregate. Retaining Walls should appear to be an extension of the foundation walls of the structure. Retaining Wall materials may include stacked rock or materials to match foundation wall material. No Retaining Walls may be placed within the side yard setbacks unless they are placed perpendicular to the lot line.



Not this

Building Walls

Building walls are those walls above the foundation walls that form the middle of the structure. The treatment of these walls provides an opportunity to visually unify this phase of the development. The use of different materials is encouraged to give distinction to the varied forms of the building. Materials on building walls will be limited to three different types for any single structure in the Cottage Homes area.

Approved materials are:

- Horizontal wood siding
- Board and batten vertical wood siding
- Machine sawn wood shingles
- Composite Board siding or approved similar
- Stucco (as approved by the committee)
- Steel (as approved by the committee)



Wall Appurtenances

Detail elements applied to the exterior wall such as wall decoration, shutters, bay windows and flower boxes can add visual interest to the building façade. Care should be taken to not overstate or overly decorate. These elements should be functional and not simply replications of things seen elsewhere.

- Wall Decoration - Painted, relief or trimmed detail work is not recommended.
- Window and Door Shutters - They should appear operable and matched to size openings. They may be made of wood or fiberglass that resembles wood. Their design should be simple and straightforward, with out undue decoration. Painted shutters are encouraged on single windows and fully glazed doors. Hardware shall be corrosion resistant in a compatible color. Styles may be louvered, raised or flat paneled or planked and awning shutters are permitted.
- Bay Windows and Flower Boxes - These should be designed in a simple and direct manner.



Shutters sized to match openings



Shutters are simple and straightforward



Simple Bay Window adds interest to home



Not this

Cottage Homes

Porches

Porches

A core ideal of the development is the use of covered front porches to promote: a human scale, sense of entry and emphasize relationship to the street.

Massing of porch elements can also help to further ground the building by forming a base from which the building mass can grow. To this end porches should be made to convey a sense of human scale and are limited to one story in height.

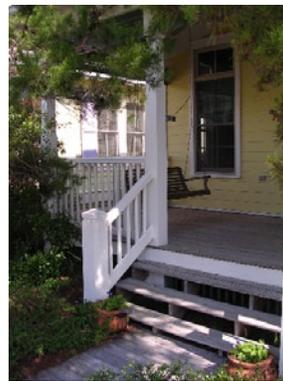
Integration of the front porch is required in the Cottage Homes area.

- Porches are usually located at the front setback line.
- Porches will often have deep eaves repeating the same rafter treatment as the main roof.
- Porch roof forms shall be consistent with the architectural style of the home.
- Porches must be a minimum of 18” above finished grade unless ADA access is required to the home. The front porch steps must be designed as an integral element to the design and style of the home and not just “stuck on” the front of the home.
- Porches can be used to wrap the corner of a house or fill the void created by an “L” shaped plan. Wrapped porches are strongly recommended for Corner Lots.
- Creativity consistent with the architectural style of the house shall be used in designing columns, posts, brackets, railing, trim and molding.
- Columns, where provided, must terminate at the porch deck or extend to within 4” of finished grade.
- Minimum porch depth is 6’ with a minimum of 60 square feet.

- All porches shall be properly detailed with authentic porch edge conditions, including a cantilevered “lip” or edge. If the porch surface is left as natural or colored concrete the face of the cantilevered lip must also remain as natural or colored concrete. If the porch surface is finished with another material, then that material should wrap the face of the porch lip.

Appropriate Porch flooring surfaces include:

- Wood or Composite Decking
- Natural or Approved Colored Concrete
- Tile or Concrete Pavers



Appropriate porch detailing



Authentic flooring materials



Porch roof forms are consistent with home



Porches are elevated 18” above finished grade

Cottage Homes

Windows & Doors

Windows

Windows should be predominantly rectangular in shape and vertical in orientation.

Windows are often single, paired or in strips of 3 or more.

Octagonal, circles, arched and hexagon shaped windows will not be approved. Window heads must be level.

Windows should not be placed within 12" of any building corner.

Windows may be constructed of the following materials:

- Wood
- Wood clad with color fast vinyl or aluminum
- Metal clad windows must be coated with an approved finish
- Vinyl

Note: The glass and frames used in windows and skylights can not be highly reflective. The lens of skylights must be clear, gray or bronze. All skylights must be low profile. No bubble type skylights will be permitted. Skylight locations should integrate well with the exterior design and not seem random. Light pollution from skylights will not be permitted. The type and location of skylights are subject to the review of the committee.

Doors

Door openings should be protected from weather. Porches, overhangs and other architectural features can shield openings and add interest.

Doorways should be rectangular in shape. They should be made of a material and finished in a manner that is complimentary to the other exterior materials being used.

Doors are encouraged to be colorful architectural focal points.

The use of limited glass in entry doors is encouraged, ex. ½ lights with divided lights. Full glass doors are discouraged.



Windows predominantly rectangular and vertical in proportion



Window heads must be level

Trim

Within the Cottage Home product expressive trim is identified as a key architectural element. Trim shall be proportioned to the size of the opening with a minimum width of 3 ½ inches. Trim shall project a minimum of ½" past the leading edge of the adjacent siding. Most trim shall be flat. Any shapes must have a simple profile. Siding must abut trim (trim shall not be installed on top of siding).



Expressive trim



Trim should be simple, flat



Trim proportioned to size of opening



Doors should be colorful, architectural focal points

Cottage Homes

Garages & Garage Doors

Garages

Garages are required in the Cottage Homes area of the development. They can be attached or detached and must accommodate at least one car. Garages must not dominate the residence when viewed from the street, especially in areas visible from right-of-ways, common areas and adjacent home sites. All garages accessed from the street must either be side entry designs or if parallel to the street, setback a minimum of 5' from the front entry elevation of the main structure. Alley loaded garages may face the alleyway and must meet all site design standards.

The use of overhangs and significant architectural details are encouraged to visually lessen the impact of the garage entrance.

Garage Doors

Garage doors must be provided with detailing that is tied to the homes overall design themes. Garage doors must appear as traditional swinging, folding or sliding doors. Segmented doors are only permitted if they are constructed to appear to be one of these traditional door types and are subject to Design Board approval.

- Doors should be vertical paneled or planked and may incorporate glass.
- Doors may not include Diagonal, X-Bracing or Z-Braced Planks or Panels.
- Doors should be painted or stained colors similar to the body of the home to lessen their visual impact.
- Single car garage doors are preferred. The use of single doors allows for more variety in the garage elevation.
- Three car garages are permitted in the Cottage Homes area but must incorporate a tandem garage to do so. Garages may only have a max. of 2 garage doors.
- No garage door over 9' high will be approved.



Single garage doors are preferred



Front loaded garage is secondary to the home



Not this - door dominates visually



Paneled door incorporates glass

Driveways

Shared Driveways are allowed and encouraged but their width at the curb must be minimized.

Driveways are encouraged to be concrete, colored concrete, stamped colored concrete, unit pavers turf block or other permeable pavers or other pattern and texture methods approved by the Design Review Board. Asphalt drives will be permitted but must be maintained properly.

Cottage Homes

Roof Patterns & Materials

Roofing Patterns

Roofscapes dramatically shape a neighborhood and therefore require special design attention. In Historic Neighborhoods, it is obvious that a variety of roof forms, masses and slopes give great diversity to communities. Roof elements play a major part in how the overall residence design relates to human scale and to the topography of the site. Roof forms can also help bring developments together visually through the use of reoccurring underlying principles.

- Allowable sloped roof pitches are between 6:12 and 12:12
- Allowable roof types are; gable, hip, partial hip and flat.
- Shed roofs and flat roofs may be used as secondary forms.
- Roof dormers are encouraged to punctuate second story roof mass.

Roof forms should remain simple.

All two story homes need to incorporate single story or secondary elements which will help the overall forms to sit within the topography better. Generally roof structures and roof lines should step with the topography of the site creating the appearance that the homes mass steps with and follows the slope of the site.

Home designs will incorporate a primary roof form (roof area in excess of 250 sq. ft.) with secondary elements (roof area less than 250 sq. ft.) attached to the primary form.

The following roof shapes are not permitted:

- Mansard or fake mansard roof
- Gambrel roof



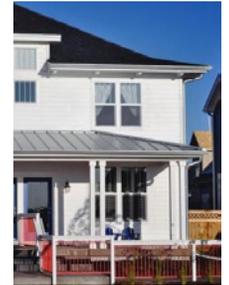
Two story homes incorporate single story elements

Roof Overhangs

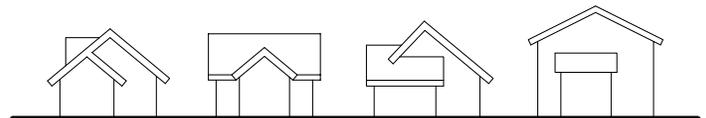
Roof overhangs protect walls and openings from weather and contribute to the buildings character. Roofs should overhang walls a minimum of 12”and a max of 24”. Roof overhangs less than 12” requires review committee approval.



Appropriate roof overhangs



Metal as secondary roof element



Variation in roof forms contributes to a more visually rich neighborhood

Materials

Allowed roofing materials are:

- Architectural composition shingles, min. 40 year
- Copper, must be allowed to oxidize and turn bronze
- Zinc, flat finish
- Cor-ten steel
- Self adhering single ply membrane roofing, at flat roofs
- Solar Shingles
- Green roofs

The following materials can be used with approved color selection:

- Aluminum
- Steel

Standing Seam Metal or corrugated roofs shall be primarily allowed on accent and porch roofs.

The following roofing materials are not allowed:

- Wood Shakes
- Highly reflective metals
- Asphalt rolled roofing

Cottage Homes

Roof Appurtenances

Roof Appurtenances

Approved Dormer Shapes:

- Shed Dormers
- Gable Dormers
- Hip Dormers

- Snow Diverters, should be used wherever sufficient amounts of snow may accumulate over occupied areas such as entries, patios, porches, driveways and decks. Special care should be taken with metal roofing as it is prone to releasing snow which can cause injury to people or damage to property.

- Snow Melt Systems should only be considered when all other alternatives have been explored. Proper roof design is imperative to eliminate the dependency of snow melt systems and their energy consumption.

- Roof top stairs, mechanical and electrical areas are required to be placed within the roof structure and are not permitted to be placed on the roof unless shielded. Shielding solutions must be approved by the review committee.

- Ornaments like finials, scroll work on the ridge or barge and eave boards or decorative turrets are discouraged.

- Skylights are not to be highly reflective and must be installed flush against the roof. They should not extend to the eave line. As mentioned elsewhere in these guidelines bubble type skylights will not be approved. Light pollution from skylights will not be permitted.

- Chimneys must be enclosed in a chase. The chase may be clad with wood siding, stucco, stone or approved metal. Chimney caps are required and must be constructed of approved material. Exposed metal chimneys and spark arrestors are not permitted.

- Mechanical vents 6" or bigger must be enclosed in a chimney. When chimneys are required their size, shape and height should match that of other chimney elements on the roof. All other unenclosed exposed vents must be coated to match the roof color.

- Clerestories should be placed within the field of the roof and can not extend to the eave lines except as approved by the review committee.

- Solar Panels are allowed but must be placed to minimize their visual impact to the neighborhood while maximizing their effectiveness.

Gutters and Downspouts

Gutters and downspouts should be metal or copper, have a factory finished metallic patina or painted to match the surface they are attached to.

Rain Storage Devices

All rain storage devices must be placed underground.



Skylights are flat to roof and do not extend to eavelines or roof peaks



Solar panels visual impacts are minimized



Gutters match trim or are appropriate for the architectural style

Cottage Homes

Home Appurtenances

Mechanical Equipment

Care must be given in designing a home to the location of utility equipment to avoid prominent exposure of mechanical equipment and meters to public view. Compressors, meters, utility boxes and miscellaneous equipment shall be grouped and located and screened to minimize the impact on neighbors and the community.

Utility meters are typically required to have impact protection. The location and design of this impact protection shall be included on the construction plans. The design shall satisfy the building department and utility provider requirements.

Screens can be comprised of either landscaping or landscaping and wood that is compatibly detailed to harmonize with the homes exterior. Exposed vents, grilles and other mechanical, electrical and plumbing components should be coordinated with building elements. Consider locating the dryer exhaust vent, hose bibs, waterproof outlets etc. below the first floor beam. Conceal these items to the extent possible and coordinate visible items with the foundation piers and screens.

No roof mounted mechanical equipment is allowed unless mounted on a flat roof element and is not visible from public view.

Lighting

Front porch lights should be a primary architectural focus. Outdoor and indoor lighting will be carefully reviewed to assure that neighboring properties are protected from direct light sources. The intent is to produce an enticing low level throughout the community that creates a warm ambience while maintaining views of the night sky and stars. Exterior lighting shall be kept to a minimum and shall be limited to porches, courtyards, garage entries, addresses and to mark paths.

The light source shall be shielded from view to the greatest extent possible. Floodlighting and moonlighting are prohibited.

Antennae and Satellite Dishes

When possible, satellite dishes, television or radio aerials or antennas should be installed so as to be screened from the road, adjacent home sites or public areas. No satellite dish may be installed that is larger than 39" in diameter. Removal of trees to improve reception is prohibited. The screen wall is subject to Design Review approval and must be an integral component of the house design. In some cases, the enclosure may not be approved due to the location on the home site and its visual effect on the overall street scene or as viewed from adjacent home sites. Umbrella covers over satellite dishes are prohibited.

Trash Containers

Space shall be provided in an adequate and appropriate side or rear yard or interior portion of the garage to accommodate at least one trash and one large recycling container per unit and must be concealed from view from the Street or Local Street.

Accessory Structures

No accessory structures are permitted.



Lights should compliment architectural style but remain simple in form

Cottage Homes

Example Gallery

Exterior Colors

With the smaller homes on smaller lots there is a much higher density within the Cottage Home area than in other areas of the development. The use of rich and lively colors will help to add visual interest to this area as well as help create a strong sense of place. Earth tones are allowed but primary colors are encouraged. Building color palletes will be limited to a body, trim and window color.

Key Elements

- Varied Wall Planes & Massing
- Expressive Trim
- Exposed Structural Elements
- Varied Roof Forms
- Emphasis on Front Porches
- Colorful Exteriors
- Vertical Proportions for windows
- Classic Forms
- Simple Forms
- Garages Secondary
- Grouped Windows
- Use of Special Windows
- Architecture Forward
- Not Mountain Timber



Cottage Homes

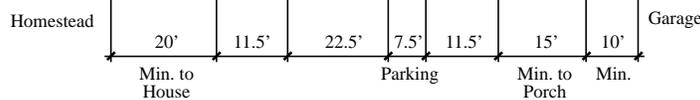
Homesteads

C o m m u n i t y & A r c h i t e c t u r e P a t t e r n s

Street Patterns

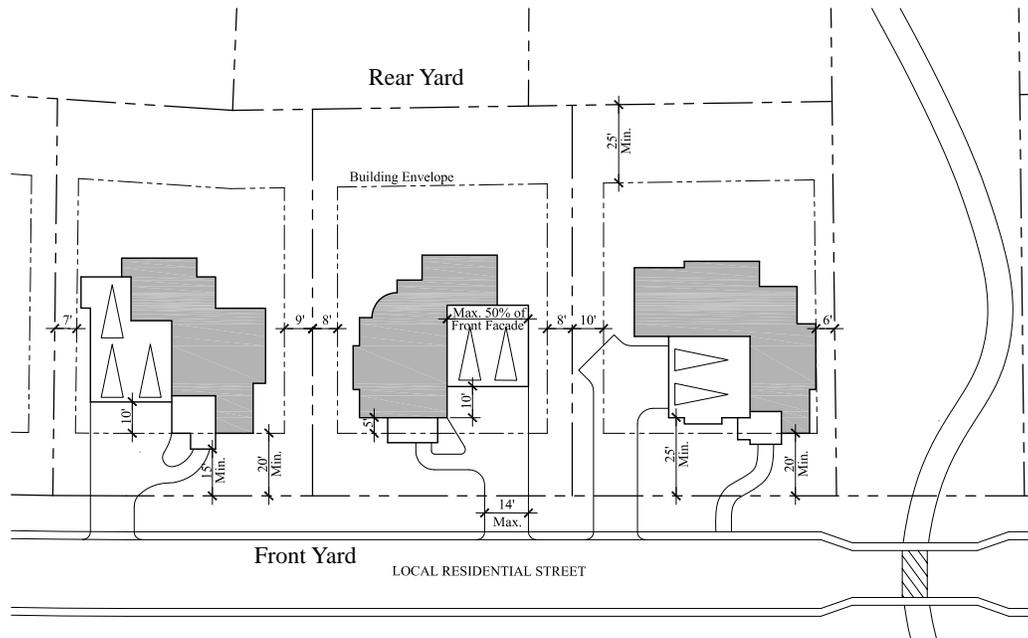


Homesteads are typically one and a half to two story homes on the largest lots within the neighborhood providing for a varied streetscape. All Homestead lots are accessed from the Street creating a need to vary driveway alignments and garage orientations. Homestead streetscapes must provide for a variety of landscapes while also providing adequate snow storage opportunities. Emphasis should remain on the front facades and the front doors and porches for all Homesteads maintaining a consistency within the project across all product types.



Homesteads

Building Placement



Homestead Lots range in size from 60' to 195' wide by 110' to 200' deep.

Front Yard Setback: 20' to Main House. Front Porches or Single Story Bays may extend to within 15' of the Sidewalk or Street ROW.

Side Yard Setback: Total side setbacks shall equal 16' with a minimum setback for all homes is 6'.

Side Street Setback (Corner Lot): 15' for all structures.

Rear Yard Setback: 25' to Main House.

Front Facade: Where possible it is encouraged to place the Primary Facade within 5' of the required minimum Front Yard Setback.

Street Accessed Garages: Width must not exceed 50% of the width of the front facade of the house. Front loaded garages at front yard shall be setback 25' or 10' behind Home Facade at the front setback (Whichever is greater). Side loaded garages may be placed at the 25' setback

Garage Doors: Two car Garage doors may be 18' wide. Individual Garage Doors are encouraged and may be a maximum of 10' wide.

Homesteads

Massing & Composition

Built Forms Follow Contours

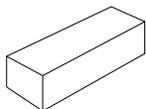
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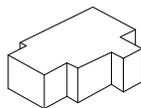
Home responds to natural grade

Scale of Buildings

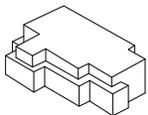
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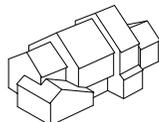
Undesirable



Vertical Articulation added



Horizontal Articulation added



Desirable

This requirement is applied to ensure that building mass does not become overpowering. Changing the planes of walls, changing direction, and providing some variety in the roof form yields diversity and visual interest.

Additive building volumes give the home an appearance that it was built over time.

Repetition

Repetitive massing prohibited. There should be substantial variation in individual building forms. Homes with similar heights may only occur consecutively along a street 3 times before a change in massing is required. For example, three adjacent 2-story homes must be followed by a 1 1/2 story or 1 story home. Also, no more than 2 similar floor plans may occur consecutively along a street.

The Design Review Board shall review these requirements on a case by case basis based on specific site conditions.



Not this - Similar two story homes repeated too often

Residence Size

Residences in the Homestead area will have a minimum square footage of 2,000 sq ft for single story structures.

The first floor area shall not be less than 1,500 sq. ft. for two story structures and the second level shall be no more than 2/3 the main floor area.

The maximum square footage for any residence is 6,500 sq. ft.

Note: All areas noted are gross living areas and exclude porches, decks, garages and uninhabitable basements as defined by code.

Building Height

The intent of the height guideline is to present a human-scale roof scape, one that steps with the contours of the terrain and recalls the natural setting.

Allowable building heights are limited by Park City Municipal Corporation ordinance. Generally building heights can not exceed 28' as measured from existing natural grade at any point, excluding chimneys.

Homesteads

Walls

Foundation and Retaining Walls

Foundation walls form the base or grounding element of the structure. These walls should give the building the impression of solidity and repose. Foundation walls must step down with the grade change so that their exposed surface is limited. All exposed concrete must be clad or finished for appearance with a durable material such as stone veneer, board formed concrete, or concrete with an exposed aggregate. These treatments will protect the lower wall from impact and snow damage.

Under no circumstances should lower walls be surfaced with wood, plywood, aluminum siding, steel or plastic siding, asphalt composition or brick. Retaining Walls should appear to be an extension of the foundation walls of the structure.



Stone wall matches home



Not this

Building Walls

Building walls are those walls above the foundation walls that form the middle of the structure. The treatment of these walls provides an opportunity to visually unify this phase of the development. The use of different materials is encouraged to give distinction to the varied forms of the building. Materials on building walls will be limited to three different types for any single structure in the Homestead area.

Approved materials are:

- Wood shingles and wood siding
- Composite Board siding or approved similar
- Natural Stone Veneer - Rectilinear stone only (No river rock)
- Stucco (as approved by the committee) *
- Steel (as approved by the committee)
- Exposed aggregate concrete
- Board formed concrete

* Stucco may only be used as an accent material.

Homesteads



Varied wall materials provide interest and distinction to wall planes

Wall Appurtenances

Detail elements applied to the exterior wall such as wall decoration, shutters, bay windows and flower boxes can add visual interest to the building façade. Care should be taken to not overstate or overly decorate. These elements should be functional and not simply replications of things seen elsewhere.

- Wall Decoration - Painted, relief or trimmed detail work is not recommended.
- Window and Door Shutters - They should appear operable and matched to size openings. They may be made of wood or fiberglass that resembles wood. Their design should be simple and straightforward, with out undue decoration. Painted shutters are encouraged on single windows and fully glazed doors. Hardware shall be corrosion resistant in a compatible color. Styles may be louvered, raised or flat paneled or planked and awning shutters are permitted.
- Bay Windows and Flower Boxes - These should be designed in a simple and direct manner



Window bay extends over garage to minimize visual impact



Flower boxes detail and charm

Porches

Porches

A core ideal of the development is the use of covered front porches to promote: a human scale, sense of entry and emphasize relationship to the street. Massing of porch elements can also help to further ground the building by forming a base from which the building mass can grow. To this end porches should be made to convey a sense of human scale and are limited to one story in height. The use of porch elements in the Homestead area is highly encouraged.

- Porches shall usually be located at the front setback line.
- Porches will often have deep eaves repeating the same rafter treatment as the main roof.
- Porch roof forms shall be consistent with the architectural style of the home.
- Porches must be a minimum of 18” above finished grade unless ADA access is required to the home. The front porch steps must be designed as an integral element to the design and style of the home and not just “stuck on” the front of the home.
- Porches can be used to wrap the corner of a house or fill the void created by an “L” shaped plan. Wrapped porches are strongly recommended for Corner Lots.
- Creativity consistent with the architectural style of the house shall be used in designing columns, posts, brackets, railing, trim and molding.
- Columns, where provided, must terminate at the porch deck or extend to within 4” of finished grade.
- Minimum porch depth is 8’ with a minimum of 80 square feet.

- All porches shall be properly detailed with authentic porch edge conditions, including a cantilevered “lip” or edge. If the porch surface is left as natural or colored concrete the face of the cantilevered lip must also remain as natural or colored concrete. If the porch surface is finished with another material, then that material should wrap the face of the porch lip.

Appropriate Porch flooring surfaces include:

- Wood or Composite Decking
- Natural or Approved Colored Concrete
- Tile or Concrete Pavers
- Natural Stone



Columns and posts are an integral part of architectural style



Front steps are integral part of home



Porch roof breaks up two story element



Porch raised a minimum of 18” above finished grade

Homesteads

Windows & Doors

Windows

Windows should be predominantly rectangular in shape and may be square, horizontal or vertical in orientation.

Octagonal, circles, arched and hexagon shape windows will not be approved.

Window heads must remain level.

Windows should not be placed within 12” of any building corner.

Windows should be utilized as a feature element within a wall plane.

Windows may be constructed of the following materials:

- Wood
- Wood clad with color fast vinyl or aluminum
- Metal clad windows must be coated with an approved finish
- Vinyl

Note: If divided light windows are proposed the window must be a true divided light. Snap in grids, or grids between glass pains will not be approved.

Note: The glass and frames used in windows and skylights can not be highly reflective. The lens of skylights must be clear, gray or bronze. All skylights must be low profile. No bubble type skylights will be permitted. Skylight locations should integrate well with the exterior design and not seem random. Light pollution from skylights will not be permitted.

Doors

Door openings should be protected from weather. Porches, overhangs and other architectural features can shield openings and add interest. Door ways should be rectangular in shape. They should be made of a material and finished in a manner that is complimentary to the other exterior materials being used.

Doors are encouraged to be architectural focal points.



Windows are rectangular and window heads must remain level



Window is a feature element within this wall plane



Doors should be significant architectural features of the Homestead homes

Homestead Homes

Garages & Garage Doors

Garages

Garages are required in the Homestead area of the development. They can be attached or detached and must accommodate two cars at a minimum. Garages must not dominate the residence when viewed from the street, especially in areas visible from right-of-ways, common areas and adjacent home sites. Side entry garages are preferred where feasible. Side entry garages may be placed at the front setback. Front entry garages must be setback a minimum of 10' from the front facade of the main structure. The use of overhangs and significant architectural details are encouraged to visually lessen the impact of the garage entrance.

Garage Doors

- Garage doors must be provided with detailing that is tied to the homes overall design themes.
- Doors should be paneled or planked and may include Diagonal framing, X-bracing and Z-bracing and may incorporate glass.
- Doors should be painted or stained colors similar to the body of the home to lessen their visual impact.
- Single car garage doors are preferred. The use of single doors allows for more variety in the garage elevation.
- If more than a two car garage is planned, no more than a two car garage door or two single car garage doors can occur on the same wall plane. Must offset third door wall plain by a minimum of 24". No more than three garage doors may occur in the same elevation.
- Two car tandem garages are allowed.
- No garage door over 9' high will be approved.



Not this - Garage doors for three cars occur on the same wall plane



Patio over garage lessens its visual impact



Door stain compliments the homes architectural style

Driveways

Driveway accesses are to be a maximum of 14 feet wide, except where they provide a turnaround or parking at a garage. Driveways and parking designs are to consider snow shed and snow storage requirements. Every effort shall be made to minimize the paved areas of driveways and turnarounds while still conforming to parking requirements.

Only one driveway entry is permitted per Homesite. All driveways are to follow alignments that minimize grading, tree/shrub removal, or other disruption of the Homesite.

Driveways that cross challenging slopes may require special grading and/or retaining wall treatments. Owners and their Consultants are to design site-specific solutions that maintain a balance between minimizing site disturbance and creating driveways that do not compromise the community aesthetic.

Driveway and garage layouts are to minimize the visibility of garage doors and driveway parking from off-site.

Driveways are encouraged to be natural stone, unit pavers, concrete, colored concrete, stamped colored concrete, or other pattern and texture methods approved by the Design Review Board. Asphalt drives will be permitted but must be maintained properly.

Homesteads

Roof Patterns & Materials

Roofing Patterns

Roof elements play a major part in how the overall residence design relates to human scale and to the topography of the site. Roof forms can also help bring developments together visually through the use of reoccurring underlying principles.

- Allowable sloped roof pitches are between 4:12 and 8:12
- Allowable roof types are; gable, hip, partial hip and flat.
- Shed roofs and flat roofs may be used as secondary forms.
- Roof dormers are encouraged to punctuate second story roof mass.

Roof forms should remain simple.

Roof forms need to be broken down to address human scale so as not to become boxy. To that end all two story homes need to incorporate single story or secondary elements which will help the overall forms to sit within the topography better. Generally roof structures and roof lines should step with the topography of the site creating the appearance that the homes mass steps with and follows the slope of the site.

Home designs will incorporate a primary roof form (roof area in excess of 250 sq. ft.) with secondary elements (roof area less than 250 sq. ft.) attached to the primary form.

The following roof shapes are not permitted:

- Mansard or fake mansard roof
- Gambrel roof
- Domed roof



Roof dormer punctuates second story mass



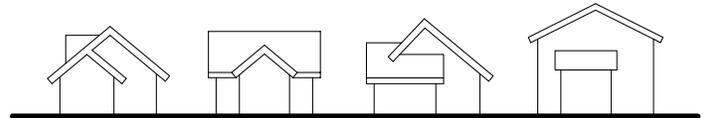
Simple roof forms

Roof Overhangs

Roof overhangs protect walls and openings from weather and contribute to the buildings character. Roofs should overhang walls a minimum of 24". Roof overhangs less than 24" requires review committee approval.



Prominant overhangs contribute to a homes character



Variation in roof forms contributes to a more visually rich neighborhood

Materials

Allowed roofing materials are:

- Architectural composition shingles, min. 40 year
- Copper, must be allowed to oxidize and turn bronze
- Zinc, flat finish
- Cor-ten steel
- Self adhering single ply membrane roofing, at flat roofs
- Green roofs
- Solar Shingles

The following materials can be used with approved color selection:

- Aluminum
- Steel

Standing Seam Metal or corrugated roofs shall be primarily allowed on accent and porch roofs.

The following roofing materials are not allowed:

- Wood Shakes
- Highly reflective metals
- Asphalt rolled roofing

Homesteads

Roof Appurtenances

Roof Appurtenances

Approved Dormer Shapes:

- Shed Dormers
- Gable Dormers
- Hip Dormers

- Snow Diverters, should be used wherever sufficient amounts of snow may accumulate over occupied areas such as entries, patios, porches, driveways and decks. Special care should be taken with metal roofing as it is prone to releasing snow which can cause injury to people or damage to property.

- Snow Melt Systems should only be considered when all other alternatives have been explored. Proper roof design is imperative to eliminate the dependency of snow melt systems and their energy consumption.

- Roof top stairs, mechanical and electrical areas are required to be placed within the roof structure and are not permitted to be placed on the roof unless shielded. Shielding solutions will be approved by the review committee.

- Ornaments like finials, scroll work on the ridge or barge and eave boards or decorative turrets are discouraged.

- Skylights are not to be highly reflective and must be installed flush against the roof. They should not extend to the eave line. As mentioned elsewhere in these guidelines bubble type skylights will not be approved. Light pollution from skylights will not be permitted.

- Chimneys must be enclosed in a chase. The chase may be clad with wood siding, stucco, and stone or approved metal. Chimney caps are required and must be constructed of approved material. Exposed metal chimneys and spark arrestors are not permitted.

- Mechanical vents 6" or bigger must be enclosed in a chimney. When chimneys are required their size, shape and height should match that of other chimney elements on the roof. All exposed vents must be coated to match the roof color.

- Clerestories should be placed within the field of the roof and can not extend to the eave lines except as approved by the review committee.

- Solar Panels are allowed but must be placed to minimize their visual impact to the neighborhood while maximizing their effectiveness.

Gutters and Downspouts

Gutters and downspouts should be metal or copper, have a factory finished metallic patina or painted to match the surface they are attached to.

Rain Storage Devices

Any above ground rain storage devices should be appropriately screened from neighboring properties and roadways. All devices should be painted to match the building color or be of similar materials to limit the visual impacts. Below grade devices are encouraged where possible.



Chimneys enclosed with stone and wood provide architectural feature



Solar panels visual impacts are minimized



Gutters must compliment the homes style

Homesteads

Home Appurtenances

Mechanical Equipment

Care must be given in designing a home to the location of utility equipment to avoid prominent exposure of mechanical equipment and meters to public view. Compressors, meters, utility boxes and miscellaneous equipment shall be grouped and located and screened to minimize the impact on neighbors and the community.

Utility meters are typically required to have impact protection. The location and design of this impact protection shall be included on the construction plans. The design shall satisfy the building department and utility provider requirements.

Screens can be comprised of either landscaping or landscaping and wood that is compatibly detailed to harmonize with the homes exterior. Exposed vents, grilles and other mechanical, electrical and plumbing components should be coordinated with building elements. Consider locating the dryer exhaust vent, hose bibs, waterproof outlets etc. below the first floor beam. Conceal these items to the extent possible and coordinate visible items with the foundation piers and screens.

No roof mounted mechanical equipment is allowed unless mounted on a flat roof element and is not visible from public view.

Lighting

Outdoor and indoor lighting will be carefully reviewed to assure that neighboring properties are protected from direct light sources. The intent is to produce an enticing low level throughout the community that creates a warm ambience while maintaining views of the night sky and stars. Exterior lighting shall be kept to a minimum and shall be limited to porches, courtyards, garage entries, addresses and to mark paths. The light source shall be shielded from view to the greatest extent possible. Floodlighting and moonlighting are prohibited.

Antennae and Satellite Dishes

When possible, satellite dishes, television or radio aerials or antennas should be installed so as to be screened from the road, adjacent home sites or public areas. No satellite dish may be installed that is larger than 39" in diameter. Removal of trees to improve reception is prohibited. The screen wall is subject to Design Review approval and must be an integral component of the house design. In some cases, the enclosure may not be approved due to the location on the home site and its visual effect on the overall street scene or as viewed from adjacent home sites. Umbrella covers over satellite dishes are prohibited.

Trash Containers

Space shall be provided in an adequate and appropriate side or rear yard or interior portion of the garage to accommodate at least one trash and one large recycling container per unit and must be concealed from view from the Street.

Accessory Structures

Accessory structures will be permitted per Park City Municipal Code. It is important that the massing and scale, as well as forms, materials, and other detailing be coordinated with the main buildings. Design and materials shall be consistent with the guidelines for the homes.



Lights should compliment architectural style but remain simple in form

Homesteads

Example Gallery

Exterior Colors

Since the sizes of residences in the Homestead area are larger than in other areas of the development the use of earth tone colors are encouraged. The use of earth tone colors will allow the larger forms to blend better with the natural landscape and create some distinction between this area and other areas of the development. The use of accent colors will be allowed and is encouraged at entries and gathering points.

Key Elements

- Varied Wall Planes & Massing
 - Expressive Trim
 - Exposed Structural Elements
 - Varied Roof Forms
 - Emphasis on Front Porches
 - Stone Integrating Building to Site
 - Not Resort Mountain Timber
 - Mountain Contemporary
- Simple Forms
 - Garages Secondary
 - Grouped Windows
 - Creative Materials
 - Mountain Cottage
 - Second Story Porches



Homesteads

Landscape Guidelines

Landscape Appurtenances

Paths, Outdoor Stairs and Terraces

Paths, outdoor stairs and terraces are to follow the natural topography and respond to existing vegetation patterns. Retaining walls and building foundations are to be used together with paths, outdoor stairs and terraces to tie the architecture to the land. All Improvements are to be located within the Enhanced and Transitional Landscape Zones.

Approved materials for outdoor use include stone, chipped stone, decomposed granite and/or wood. The use of stone that is similar to or matches that found naturally within the Wasatch Mountain region is encouraged for terraces, stairs, paths and other landscape structures.

Outdoor Fireplaces

Outdoor fire pits or fireplaces are prohibited unless they are gas.

Lighting

All outdoor landscape lighting should be low voltage lighting and should meet all night sky requirements within Park City. All lighting should be controlled with a timer to limit lighting use from dusk to dawn only.

Fences, Garden Walls and Gates

The use and placement of Fences are to be minimized. In the Park Home and Cottage Home Products fences are allowed in the front and side yards. Front yard fences shall be a minimum of 30" in height and a maximum of 42" in height. Side yard and rear yard fencing may be a maximum of 6' in height and may not start until 10' behind the front facade of the home.

No fences are allowed within the Homestead Lots with the exception of pet enclosures or pool fencing.



Fences should be open picket or rail fences

All fences should be open picket or rail fencing to provide physical separation but not complete visual separation. Additional screening may be achieved through the use of landscape screens.

Pool fences shall be a minimum of 6 feet in height as required by Code. Pool and spa fences may require additional detailing and landscape treatments, as specified by the Design Review Board, to mitigate off-site visibility.

Fences used as pet enclosures may likewise extend up to 6 feet in height provided they are not visible from the street. Wire mesh, finished to recede into the landscape, may be added to wood rail fence at pet enclosures. Pet enclosure size and location shall be as approved by the Design Review Board.

Fence and gate designs are to utilize styles consistent with the homes architectural vernacular. Materials may include wood picket, metal picket, wrought iron, stone or a combination.

Vegetation is to be planted in front of and behind fences to blend them with the surrounding vegetation.

Gates are permitted only as a component of an approved fence or wall and are to be located within the Enhanced Landscape Zone and not at driveway entries.

Trellises

Trellises are permitted and should occur in the landscape or as an attachment to the home. Trellis material should match materials used on the home and should be appropriately scaled and located to function as a secondary element.



Trellises provide visual interest to the home and landscape

Landscape Appurtenances

Play Structures

Play structures, trampolines, swing sets, slides, or other such devices are allowed only when the application is made in advance with the Design Review Committee. Approval for such equipment may be granted when it is proposed to be placed within fenced, rear yard areas, is constructed and finished with materials which are complementary to the structure, is limited in height to eight feet or less, and for which the colors of the equipment are in keeping with the intent of these guidelines.

Tennis, Sports Courts and Basketball Standards

Due to the extensive clearing required by tennis courts, they will not be permitted.

Sport courts will only be allowed when acceptable measures to minimize their impacts are included in the plan. Wall-mounted or freestanding basketball goals may be allowed subject to the Design Review Board approval. Support posts of a freestanding basketball goal shall be painted to blend unobtrusively with its visual backdrop surrounding, and the backboard must be clear. No Lighting may be used for any of the above mentioned uses.

Address Markers

Address marker designs for homes within Park City Heights should meet Park City standards (Title 12).

Pools, Spas and Water Features

All pools, spas and water features are to adhere to the following Guidelines:

Pools, Spas and other water features are to be located within the Enhanced Landscape Zone only. These must be visually connected to the Residence and designed as an integral part of the house's exterior design.

The introduction of landscaped water features, such as artificial creeks, is not allowed. Small decorative fountains are permitted within courtyards and/or other outdoor spaces not visible from off-site.

Swimming pools will be approved within the Homesteads only and on a Lot by Lot basis. Pool safety measures are to be taken in accordance with local governmental regulations.

All above ground Spas should be located to minimize the visual impact of the spa structure to adjacent homes and to the street. Privacy screening may be required.



Spa is tucked under a deck and screened with an evergreen shrub hedge

Spa and water feature equipment enclosures are to appear as extensions of the home and/or located in underground vaults to contain noise. Solid noise absorbing covers for equipment will be required after installation if it is discovered that the equipment is audible from adjacent properties.

Grading and Retaining

Site Grading

The objective in site grading shall be to preserve the integrity and form of the natural landscape by responding sensitively to existing topography and maintaining the natural drainage patterns and to conserve the general visual character of grading/clearing sites and settings. All work on roads, driveways and any site must be done in a manner that minimizes disruption and alteration of existing topography. Grading, clearing and retaining activities shall be in accordance with Park City standards. Over-excavation or excessive clearing of cut and fill slopes will not be allowed.

Grading must be limited to that reasonably necessary for the construction of roads, driveways and homes. The maximum gradient allowed on cut and fill slopes shall not exceed 2:1. However, because soil on fill slopes as steep as 2:1 is difficult to protect from erosion, it is recommended that these slopes be gentler in gradient wherever the terrain permits (3:1 is a more workable maximum gradient for successful revegetation). All approved cut and fill slopes shall be revegetated by the placement of topsoil, plant materials, and/or the approved seed mix appropriate for slope stabilization within the time frame specified by Park City. When slopes are greater than 3:1, soil stabilization mats are required. Topsoil will be the key to the revegetation effort and will require enough thickness so as to be effective in the revegetation success.

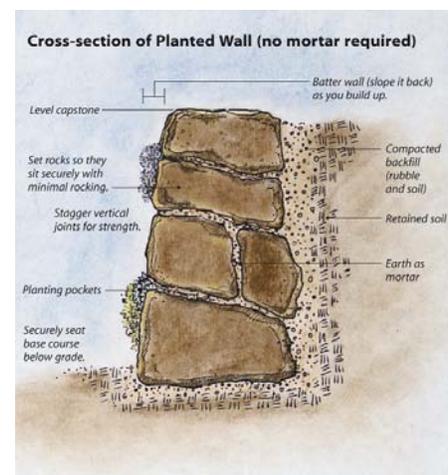
Retaining Walls

Where possible, road cut and fill treatments shall minimize the horizontal length by utilizing a retaining wall. Retaining walls shall be natural rock. No manufactured materials will be allowed. All stone shall be of a consistent color throughout the project and should generally be a beige or light tan sandstone similar to the Sunrise Blend available in Brown's Canyon.



Wall Color

No wall shall exceed six (6) feet in height. One (1) single wall in combination with slope grading is preferred over tiered wall combinations. There may be a few limited conditions where walls can exceed six (6) feet in height or have multiple tiers, but only as approved by the Design Review Board. The length of any retaining wall shall not exceed one-hundred (100) feet without being broken up with slope grading to avoid large visual expanses of walls.



Maximum 6' stacked rock wall

Grading and Retaining

Driveways

Driveways shall be placed along roads to help reduce the visual effects of cuts and fills. Each lot may be accessed by a single driveway only. Access drives, especially in the Homesteads, shall be located to preserve and avoid important natural features, such as large or significant plant materials, drainage ways, and rock outcroppings, so as to minimize disruption of the existing landscape. Retaining walls may be required on driveways to reduce the visual effect and should be incorporated into the design and construction of the road providing access to the lot.

Lot Grading

All lot development must generally conform to the existing landform. Grading shall be minimized. The extent of any site grading shall be approved by the Design Review Board based on a determination not only of its impact on the natural landform and existing vegetation but also on the determination of the visual impacts that may result from the grading. The construction of cut and fill slopes will be performed to neat and clean lines that are visually appealing. Excavation or fill must be limited to four (4) feet vertically outside of the structure that is exposed to view. Walk-out basements must meet this requirement. The Design Review Board reserves the authority to disapprove of any exposed excavation or fill transition that is abrupt or unnatural in appearance.

Topsoil should be separated from other excavated material and stockpiled on site for later re-use. As much as possible, cut and fill grading quantities should balance to minimize excessive excavation or fill requirements. Every attempt must be made to minimize cut and fill necessary for the construction of a home to reduce heavy truck traffic to the home site. The project developer will provide an on-site excavation storage area for any materials to be re-used. However all excess fill may not be placed on a lot and is the responsibility of the lot owner and must be legally disposed of outside of the project. Coordination of the excavation storage area site will be provided by the Design Review Board for each phase.

Revegetation

All disturbed areas must be revegetated with approved plant material or seed mix per Park city standards to reduce propagation of noxious weeds and minimize adverse storm water impacts. See Plant List C for the approved Native Grass seed mix and application rate.

Noxious Weeds

Noxious weeds must be managed consistent with the Park City Municipal Code, Title 6, Section 6-1-1 and the Summit County Weed Management Plan.

Noxious weeds which become established on graded land in the project area should be physically removed or herbicide treated to prevent their spread throughout the project area and onto adjacent lands.



Dyer's Woad



Thistle

General Landscape Guidelines

Landscape Improvements are to incorporate, rehabilitate and enhance existing vegetation, utilize indigenous and/or regional species, and minimize areas of intensive irrigation.

New trees and shrub plantings are to be a mix of sizes that will blend naturally into the surrounding vegetation near the developments edges.

The landscape design on each Homesite is to gradually transition from the Home to the lot edge or Natural Area to match adjacent landscapes and/or enhance existing native landscape patterns.

Three Landscape Zones have been created within the development areas.

- Enhanced Landscape Zone
- Transitional Landscape Zone
- Natural Landscape Zone

Wildlife

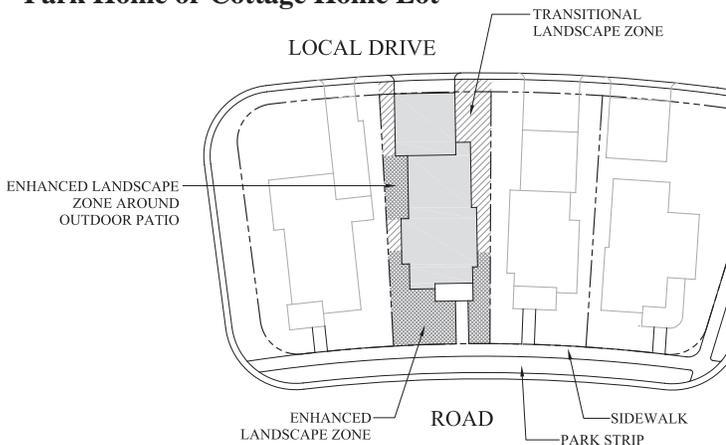
Due to the properties proximity to the natural open space surrounding the proposed development and the potential to attract foraging animals landscape plans should be sensitive to the use and protection of plants that may be desirable to animals.

Approved Plant List

The Design Review Board has approved a list of plants and trees deemed to be inherently compatible with the natural Park City Heights landscape, including indigenous and non indigenous species. Such plants are listed in Plant Lists A, B and C of this Design Guide.

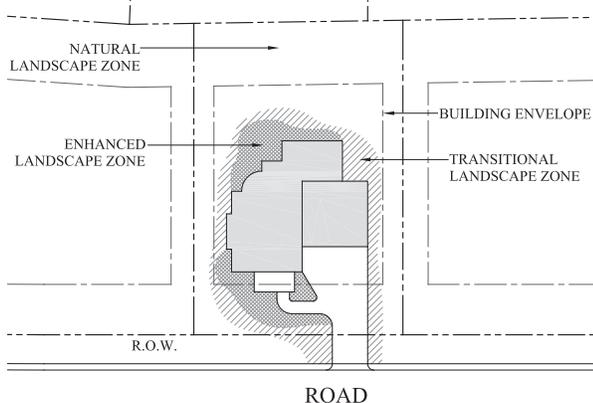
Proposed plant materials that are not on the Approved Plant List are to be identified on all landscape submissions with a full description of the plant and the intent of its proposed use.

Park Home or Cottage Home Lot



Diverse landscape with minimal irrigation needs

Homestead Lot



The use of turf should be minimized and placed for maximum use or visual appeal.

Enhanced Landscape Zone

The Enhanced Landscape Zone is that portion of the building lot adjacent to the home and exterior living spaces including front porches, patios and terraces. In the Park Home and Cottage Home lots the Enhanced Landscape Zone may extend to the Street ROW. Plant lists A, B and C contains a list of plant materials that are appropriate for use in the Enhanced Landscape Zone.

Plant materials may be planted in more formal planting patterns within the Enhanced Landscape Zone adjacent to the home (generally within 10' of the structure). Planting beyond this area should begin to transition to a more natural and random planting pattern.

New plantings are to be used to frame important view sheds, reduce the visual impact of the residence, and screen outdoor service areas and other Improvements from adjacent Homesites and off-site views.

Larger scale planting materials including small trees and large shrubs are to be planted adjacent to building walls to help soften the architectural edge and to blend buildings with the landscape.

Manicured or groomed yards shall only be located within the Enhanced Landscape Zones.

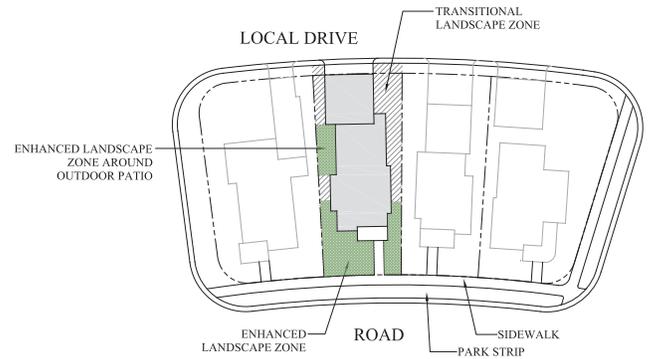
Grasses are to be used only as specimen plants.

Plant material and irrigation in the ROW and/or park strip shall be installed and maintained by the Lot Owner and is subject to any requirements of Park City Municipal Corp.

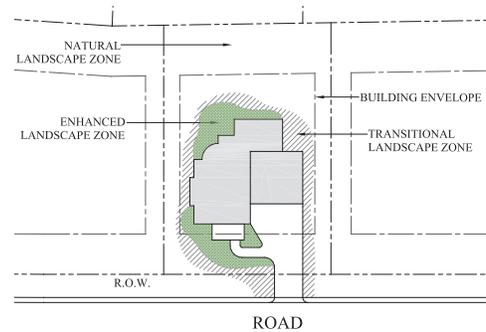


Enhanced landscaping around porches should be emphasized

Park Home or Cottage Home Lot



Homestead Lot



Park Strip Landscaping

The intent of the park strip landscaping standard is that thirty three percent (33%) or more of the park strip surface be covered with vegetation within three (3) years of planting or when planting has reached maturity, whichever comes first. For lots with two (2) or more street frontages, this standard shall be applied separately to each adjacent park strip on each street frontage.

It shall be the property owner's responsibility to ensure that erosion does not deposit soil or other material on sidewalks or in the street. Materials such as bark, shredded plant material, and compost, may be used as water conserving mulch for plants and may also be used as the only material in portions of a park strip.

Gravel, rocks, and boulders, may be used on portions of the park strip. Large diameter rocks and boulders shall be kept a minimum of eighteen inches (18") away from existing street trees. Organic mulch or gravel shall be used near existing street trees. No annuals are allowed within the park strip landscape.

Transitional Landscape Zone

The Transitional Landscape Zone is that portion of a homesite that falls outside of the Enhanced Landscape Zone but is disturbed during construction and within which an Owner must enhance/revegetate the landscape. All areas of the homesite which were disturbed by construction activity must be restored and revegetated, and must be appropriately tended, until the new landscape and natural vegetation is reestablished. The Transitional Landscape Zone is that area that transitions from the Enhanced Landscape Zone to an adjacent homesite or to a Natural Landscape Zone. Plant lists B and C contain a list of plant materials that are appropriate for use in the Transitional Landscape Zone.

In order to blend Improvements with the site, plant materials are to be planted in natural groupings to mimic the natural planting patterns found on and around the site.

The line of interface between this Transitional Zone and the natural landscape or adjacent home shall occur along a soft edged irregular creating a smooth, natural transition.

New plantings are to be used to frame important view sheds, reduce the visual impact of the residence, and screen outdoor service areas and other Improvements from adjacent Homesites and off-site views.

No manicured or groomed yards shall be located within the Transitional Landscape Zone.

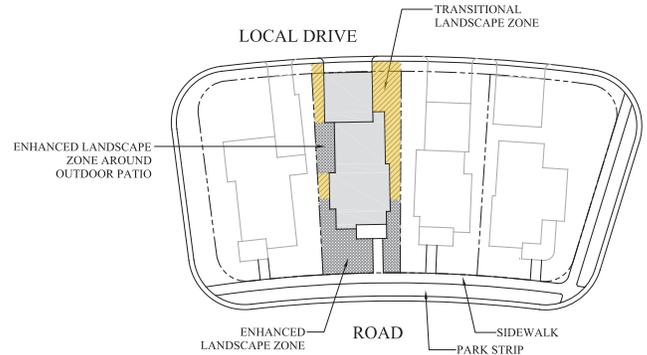
Plant material and irrigation in the ROW shall be installed and maintained by the Lot Owner.

Only Drip Irrigation is allowed in the Transitional Zone.

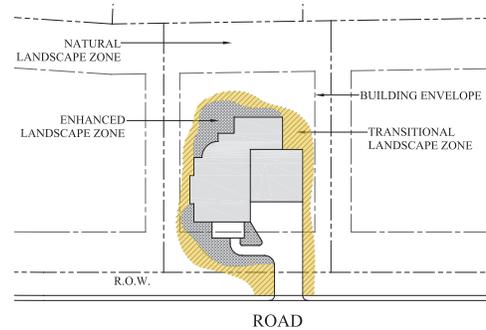


Landscaping should transition from enhanced plantings to adjacent homes or native areas

Park Home or Cottage Home Lot



Homestead Lot



Park Strip Landscaping

The intent of the park strip landscaping standards is that thirty three percent (33%) or more of the park strip surface be covered with vegetation within three (3) years of planting or when planting has reached maturity, whichever comes first. For lots with two (2) or more street frontages, this standard shall be applied separately to each adjacent park strip on each street frontage.

If the entire park strip is planted with annual or perennial flowering plants, it shall be the property owner’s responsibility to ensure that erosion does not deposit soil or other material on sidewalks or in the street.

Materials such as bark, shredded plant material, and compost, may be used as water conserving mulch for plants and may also be used as the only material in portions of a park strip.

Gravel, rocks, and boulders, may be used on portions of the park strip. Large diameter rocks and boulders shall be kept a minimum of eighteen inches (18”) away from existing street trees. Organic mulch or gravel shall be used near existing street trees.

Natural Landscape Zone

The Natural Landscape Zone is that portion of the lot that lies outside of the homes disturbed area of construction, and must remain as natural area, or revegetated area to the standards outlined in this section.

Most Cottage and Park Home lots will not contain natural landscape zones. Only those lots adjacent to existing natural open space may have natural landscape zones within the lot area.

The Natural Landscape Zone is to be planted only with those plant materials identified within Plant List C.

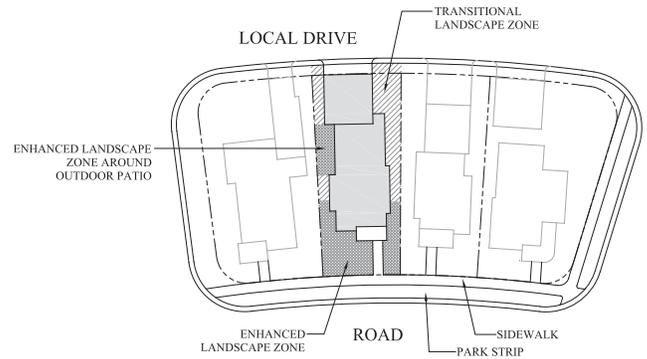
Landscape transitions to existing open spaces should be carefully planted so as to best create a seamless revegetated landscape. In addition, the density and mix of any added plant material in the Natural Landscape Zone will be required to approximate the density and mix found in the general area.

Excluding trees, permanent irrigation of the Natural Area on homesites with existing vegetation is not permitted, since the indigenous vegetation does not require additional water. Permanent irrigation of the Natural Area can lead to disease and death of the native plants, and aid in the spread of undesirable plant species or weeds.

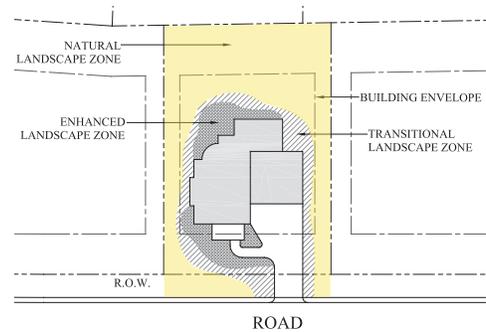
Temporary irrigation of all revegetation in the Natural Areas is allowed. Permanent irrigation for newly planted trees is permitted.

Plant material and irrigation in the ROW shall be installed and maintained by the Lot Owner.

Park Home or Cottage Home Lot



Homestead Lot



Plant List A

Trees

Celtis reticulata - Western Hackberry
 Malus spp. – Crabapple
 Pinus contorta - Lodgepole Pine
 Prunus padus - Mayday Tree
 Pyrus calleryana – Flowering Pear
 Robinia pseudoacacia - Black Locust

Shrubs

Cornus alba - Variegated Dogwood
 Cornus sericea flaviramea - Yellowtwig Dogwood
 Cotoneaster acutifolius’ - Peking Cotoneaster
 Euonymus alatus ‘compacta’ - Burning Bush
 Pinus mugo - Mugo Pine
 Pinus mugo - Big Tuna Mugo Pine
 Prunus besseyi - Western Sand Cherry
 Prunus tomentosa - Nanking Cherry
 Syringa vulgaris - Lilac

Perennials

Alcea rosea - Hollyhock
 Alchemilla spp. - Lady’s Mantle
 Armeria maritima - Sea Thrift or Sea Pink
 Artemisia spp. - Silermound
 Astilbe spp. – Astilbe
 Centaurea dealbata – Bachelor Button
 Cerastium tomentosum - Snow in Summer
 Chrysanthemum spp. - Daisy
 Coreopsis - Coreopsis
 Delphinium - Larkspur
 Dianthus - Dianthus
 Dicentra spectabilis - Bleeding Heart
 Doronicum spp. - Leopard’s Bane
 Hemerocallis - Daylilly
 Heuchera - Coral Bells
 Iris missouriensis - Western Blue Flag
 Iris siberica - Siberian Iris
 Lavendula spp. - Lavender
 Liatris spp. - Gayfeather
 Lysimachia punctata - Loosestrife
 Monarda didyma - Bee balm
 Nepeta mussini - Catmint
 Papaver orientale - Oriental Poppy
 Prunella - Prunella
 Pulsatilla vulgaris - Pasque Flower
 Rudbeckia spp. - Black-eyed Susan

Sagina subulata. - Irish Moss
 Salvia spp. - Sage
 Tradescantia spp. - Spider Wart
 Pulsatilla vulgaris - Pasque Flower
 Rudbeckia spp. - Black-eyed Susan
 Sagina subulata. - Irish Moss
 Salvia spp. - Sage
 Tradescantia spp. - Spider Wart

Grasses

Aristida purpurea - Purple Threeawn
 Bouteloua curtipendula - Side Oats Grama
 Elymus cineris - Great Basin Wild Rye
 Lolium spp. - Ryegrass
 Miscanthus spp. - Maidengrass
 Panicum spp. - Switchgrass
 Phalaris spp. - Ribbongrass
 Poa alpina - Alpine Bluegrass
 Poa secunda - Sandberg Bluegrass
 Schizachyrium spp. - Little Bluestem

Groundcover

Aegopodium podagraria - Bishop’s Weed
 Ajuga spp. - Bugleweed
 Arctostaphylos uva-ursi - Kinnikinnick
 Fragraria sp. - Strawberry
 Gallium odoratum - Sweet Woodruff
 Hypericum calycinum - St. John’s Wort
 Juniperus horizontalis - Wiltoni Juniper
 Juniperus sabina - Calgary Carpet & Buffalo
 Lamium spp. - Nettle
 Lysimachia nummularia - Creeping Jenny
 Phlox - subulata - Creeping Phlox
 Potentilla verna nana - Spring Cinquefoil
 Saponaria sp. - Soapwort
 Thymus spp. - Thyme
 Veronica spp. - Veronica
 Vinca minor - Vinca

Vines

Clematis sp. - Clematis
 Lonicera x brownii ‘Dropmore Scarlet’ - Dropmore Scarlet
 Honeysuckle
 Parthenocissus quinquefolia - Virginia Creeper

Plant List B

Trees

Abies concolor - White Fir
Acer x freemanii - Autumn Blaze Maple
Acer ginnala - Amur Maple
Acer platanoides - Norway Maple
Acer truncatum - Norwegian Sunset Maple
Acer truncatum - Crimson Sunset Maple
Alnus incana - Thinleaf Alder
Amelanchier x grandiflora - Autumn Brilliance Serviceberry
Crataegus crus-galli 'Inermis' - Thornless Cockspur Hawthorn
Crataegus crus-galli 'Inermis' - Crusader Hawthorn
Picea pungens - Colorado Green Spruce
Pinus flexilis - Limber Pine
Pinus mugo - Tannenbaum Mugo Pine
Pinus nigra - Austrian Pine
Pinus silvestris - Scotch Pine
Populus x acuminata - Lanceleaf Cottonwood
Populus angustifolia – Narrowleaf Cottonwood
Populus tremuloides 'Erecta' - Swedish Aspen
Tilia sp. - Linden

Shrubs

Caragana arborescens - Siberian Pea Shrub
Cornus sericea - Redtwig & Alleman's Compact Dogwood
Cornus sericea - Baileyi Dogwood
Fallugia paradoxa - Apache Plume
Lonicera tatarica - Tatarian Honeysuckle
Mahonia repens - Creeping Oregon Grape
Paxistima myrsinites - Mountain Lover or Oregon Boxwood
Physocarpus malvaceus – Ninebark
Potentilla fruticosa – Shrubby Cinquefoil
Ribes alpinum - Alpine Currant
Ribes aureum - Golden Currant
Rosa Woodsii - Wood's Rose
Salix spp. - Willow
Sorbaria sorbifolia - Ashleaf Spirea
Spiraea sp - Spiraea

Perennials

Achillea millefolium - Western Yarrow
Aconitum columbianum - Monkshood
Agastache rupestris - Hyssop
Alcea sp. - Hollyhock
Antennaria rosea - Pussy Toes
Aquilegia caerulea - Columbine
Arctostaphylos uva-ursi - Kinnikinnick
Campanula spp. - Bellflower
Fragaria spp. - Strawberry
Gaillardia spp. - Gaillardia
Hosta sp. - Hosta
Linum spp. - Flax
Lupinus spp. - Lupine
Papaver nudicaule - Iceland Poppy
Sedum spp. - Sedum
Solidago sphacelata - Goldenrod
Viguiera multiflora (Heliomeris multiflora) - Showy Goldeneye

Bulbs - As appropriate for Region

Plant List C

Trees

Abies lasiocarpa – Subalpine Fir
 Acer glabrum - Rocky Mountain Maple
 Juniperus scopulorum-Rocky Mountain Juniper
 Pinus aristata - Bristlecone Pine
 Prunus virginiana – Chokecherry
 Populus tremuloides - Quaking Aspen
 Pseudotsuga menziesii - Douglas Fir
 Quercus gambelii - Gambel Oak

Shrubs

Amelanchier alnifolia - Saskatoon Serviceberry
 Artemisia tridentata - Big Sage
 Atriplex canescens - Four Wing Saltbrush
 Cercocarpus ledifolius - Curleaf Mountain Mahogany
 Chrysothamnus nauseosus - Rubber Rabbitbrush
 Gutierrezia Sarothrae - Snakeweed
 Purshia tridentata - Antelope Bitterbrush
 Rhus glabra - Smooth Sumac
 Rhus trilobata - Three Leaf/Oakbrush Sumac
 Sambucus canadensis - Adams Elderberry
 Sambucus canadensis aurea - Golden Elderberry
 Shepherdia argentea - Buffalo Berry
 Symphoricarpos occidentalis - Western Snowberry

Perennials

Allium acuminatum - Tapertip or Wild Onion
 Aster spp. - Aster
 Balsamorhiza sagittata - Arrowleaf Balsamroot
 Calochortus nuttallii - Sego Lily
 Castilleja chromosa - Indian Paintbrush
 Erigeron spp. - Fleabane
 Eriogonum umbellatum - Sulfer Flower
 Geranium spp. - Geranium
 Helianthus - Sunflower
 Oenothera spp. - Evening Primrose
 Penstemon spp. - Penstemon
 Sphaeralcea spp. - Globemallow
 Vicia americana - American Vetch
 Wyethia amplexicaulis - Mule's Ear

Grasses

Achnatherum hymenoides - Indian Ricegrass
 Bromus marginatus - Mountain Brome
 Elymus lanceolatus spp. - Streambank Wheatgrass
 Festuca longifolia - Hard Fescue
 Festuca ovina - Sheep Fescue
 Festuca rubra - Red Fescue
 Festuca rubra commutata - Chewing Fescue
 Pascopyrum smithii - Western Wheatgrass
 Pseudoroegneria spicata - Bluebunch Wheatgrass
 Poa bulbosa - Bulbous Bluegrass
 Sitanion elymoides - Bottlebrush Squirreltail
 Stipa viridula - Needle Grass

Native Grass Seed Mix - Granite Seed (801)-768-4422

20.0% Slender Wheatgrass
 (Elymus trachycaulus ssp. trachycaulus)
 26.25% Western Wheatgrass
 (Pascopyrum smithii)
 22.5% Bluebunch Wheatgrass
 (Pseudoroegneria spicata ssp. spicata)
 5.0% Sheep Fescue
 (Festuca ovina)
 3.75% Sandberg Bluegrass
 (Poa sandbergii)
 22.5% Indian Ricegrass
 (Achnatherum hymenoides)

Seeding Rate

Broadcast - 30 pls pounds per acre

Seeding shall be applied by broadcast and raked into the top 1/4" of the top layer of soil. Hydro-mulch shall be sprayed over the prepared seeded areas. Hydro-mulch shall consist of fertilizer at the rate of six (6) pounds per one thousand (1000) square feet and "fiber mulch" at the rate of fourteen hundred pounds (1400) per acre of area

Seeding shall occur only during the following seasons:

Spring - Spring thaw to May 1st

Fall - September 15th until consistent ground freeze.

Sustainability

Building Sustainability

Park City Heights has been conceived and planned using sustainable site design concepts and “green building” principles. The main objectives are: (1) Create a standard where homes are durable, healthy, comfortable, affordable and energy-efficient; and (2) Protect, conserve and ensure the long-term availability of one of the community’s most precious and scarce natural resources: water.

The Leadership in Energy and Environmental Design (LEED™) Green Building Rating System represents the U.S. Green Building Council’s effort to provide a national standard for green building. By using established and innovative practices, standards and technologies, LEED provides common design guidelines and a third-party certification tool.

Sustainable building is a whole systems approach to the design, construction, and operation of the home and the site. By incorporating the building standards of the U.S. Green Building Council, Park City Heights will ensure that energy and resources are used efficiently.

Residential building quality is a very important and integral part of a sustainable community because it directly contributes to the long-term satisfaction of the people who live there. Park City’s semi-arid climate makes certain that effective and sustainable water management is a constant priority. Reducing water consumption is critical to water conservation.



To create a more sustainable community and environment the following standards will apply:

Each home must meet the LEED for Homes Silver Rating;

AND

Each home must achieve a combined 10 points within the Sustainable Sites Landscaping and the Water Efficiency sections of LEED for Homes Checklist.

Points achieved in this Water Efficiency section will count towards the overall score.

A Third Party Inspection is required to ensure that the home meets the LEED for homes Silver rating.



In addition to the requirements above, there are other fundamental elements that may be applied to achieve higher levels of sustainability and should be incorporated into each home. These sustainability elements include design practices that apply to the three specific categories within the development:

- Building Sustainability
- Community Sustainability
- Landscape Sustainability

Building Sustainability

Building Materials

Encourage the use of green or sustainable construction materials and products, including recycled content, salvaged, and FSC-certified materials. Promote sustainability through building practices that reduce energy consumption, as well as through the continued review of viable alternative energy sources.

Alternative (Renewable) Energy Sources

While energy conservation is an integral component of sustainability, alternative energy sources may provide a more effective solution to reducing the impact and consumption of fossil fuel energy.

Solar

Solar equipment (panels, shingles and cells) is encouraged and can be used as a Solar Electric or Solar Water Heat System. Solar Electric Systems, also known as Photovoltaic (PV) systems, use solar panels to convert sunlight into electricity. Solar Water Heat Systems, use solar panels to collect heat from the sun and in turn warm the water. Solar equipment is allowed to be mounted on roofs, but must be placed to minimize their visual impact to the adjacent homes and neighborhood while still maximizing their effectiveness. All Solar equipment shall be approved by the Design Review Board. Solar equipment may not appear to be set on a sub-structure foreign to the roofline of the home. All trim must be anodized bronze or finished to match the roof. No plumbing or bright metal may be exposed. Solar equipment may be incorporated into the landscaping, as approved by the Design Review Board.



Geothermal

Ground Source Heat Pumps or Geoexchange systems may be allowed where feasible but in no way may interfere with adjacent properties. Solar Heating and a Ground Source Heat Pump may be combined to form a geosolar system for even greater efficiency. Any above grade equipment must be incorporated into the landscaping and be of similar color.

Wind

Wind energy systems may be allowed must must conform to the Park City Municipal Corporation Land Management Code.

Alternative Energy Technology

It may be necessary to update the Park City Heights Design Guidelines as new technology emerges in the future. It is not the intent of these Guidelines to limit the use of alternative energy sources to those currently in practice. As technology advances and as new innovations continue to come on the market, it will be necessary to incorporate these into the Guidelines. The Guidelines are intended to take advantage of renewable energy now and those yet to come in the future.

Construction Waste Mitigation & Recycling

Builders are required to reduce, reuse and recycle construction waste to include wood, drywall, metals, concrete, dirt and cardboard. A project construction recycling center will be established on Parcel(s) I or J. Separate recycling bins will be provided for different materials and it will be the responsibility of each contractor to ensure that jobsite material is recycled to the greatest extent possible. Builders are to incorporate strategies such as “efficient framing” techniques and “optimum value engineering” that reduces the amount of wood used in the framing process without compromising structural integrity. Framing with engineered lumber rather than dimensional lumber is encouraged. Engineered lumber makes good use of small trees and wood chips, where dimensional lumber comes from big trees and represent more raw material than alternatives such as roof trusses, I-joists (floor trusses), laminated veneer lumber (LVL), and structural insulated panels (SIPs).



Building Sustainability

In-Home Recycling

It is required to provide an in-home recycling center in each dwelling unit where materials are separated and free from contamination. Encourage the use of available street side recycling service or materials can be taken to the Park City recycling center.



ENERGY STAR®

In addition to each home meeting the required LEED for Homes Silver Rating, all homes will be built to ENERGY STAR® Standards for the year in which the building permit is issued. All appliances installed should be ENERGY STAR approved.



Skylights

Skylights are an effective way to light and heat a home passively. Low-E glass or triple glazed acrylic units save energy and money while keeping the home more comfortable. Skylights must be integrated with the design of the home. Skylights should be designed as an integral part of the roof. Only flat skylights with clear or bronze glazing will be allowed, while bubble or dome skylights with frosted or colored glazing are not.

Light pollution from skylights will not be permitted. All light sources shall be shielded and both outdoor and indoor lighting will be carefully reviewed to assure that neighboring properties are protected from direct light sources.

Fireplaces

All fireplaces, barbecues or decorative heating appliances must be non wood burning and comply with Park City Municipal regulations.

Non Air-Conditioned Homes

Provide as an environmentally sensitive option to buyers to reduce energy consumption. This can be augmented by installing ceiling fans which improve interior comfort by circulating cold and warm air. Ceiling fans can be adjusted to either draw warm air upward during summer months or push it downward during the winter.

Heated Driveways

Heated Driveways may be allowed, but only if it receives its power from an Alternative Energy Source as specifically approved by the Design Review Board.

Lighting

Develop and design strategies to provide natural lighting in each home. It is encouraged to install high-efficiency lighting systems with advanced lighting controls. Include motion sensors tied to dimmable lighting controls and provide task lighting which reduces general overhead light levels.

All homes are required to install compact fluorescent lamps (CFLs), halogens, or light emitting diodes (LEDs), or other approved bulbs or light source at time of construction. These light bulbs and sources last longer and use less energy than traditional incandescent bulbs. Most states are incorporating new laws that effectively phase out the traditional light bulb. The Department of Energy has set efficiency standard levels for all light bulbs, and today's standard incandescents cannot meet those levels. The traditional incandescent light bulbs will not be allowed.



Community Sustainability

Transportation

Encourage alternative modes of transportation through site planning and building orientation that emphasize connections to sidewalks, bike paths and trail networks. Homes should be placed and built incorporating easy connections for pedestrian and bike access to trails, sidewalks and streets. These options make it easier for people to choose alternative modes of transportation that contribute to a more sustainable environment that is healthier and more enjoyable for everyone.

Open Space

Encourage design that emphasizes the natural connection to open space and parks. Provide maximum continuity of open space and preserve important natural vistas that reinforce a sense of place and relationship to the natural environment. Integrate views and access into the greenway network from homes. Promote the development of site plans that create attractive, comfortable outdoor spaces.

Topography

Integrate natural site features such as topography, views and vegetation into site design. Building placement should follow contours rather than being placed at right angles to the prevailing slope. On sloping sites, staggering placement of homes along opposite sides of the street, rather than siting homes directly opposite one another, can provide better preservation of views. Use topography to create continuous green space connectivity between homes. Retain the maximum possible amount of natural vegetation. Avoid excessive grading and cutting of hillsides.

Water Conservation

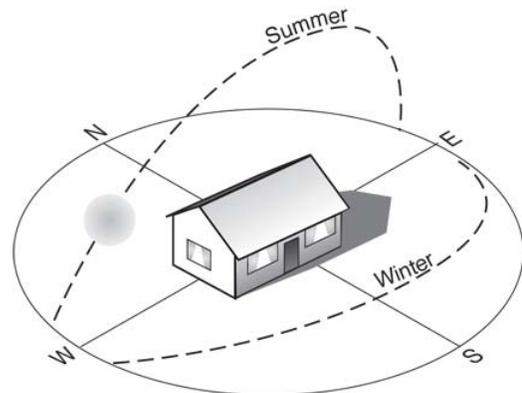
Incorporate the installation of low flow toilets and flow reducers on faucets and shower heads. Flow reducers can cut water usage of faucets by as much as 40% with little noticeable effect. Park City Heights has defined the minimum Low Flow as:

- Toilets - 1.5 gallons per flush
- Kitchen Faucets – 2.0 gallons per minute
- Bathroom Faucets – 1.8 gallons per minute
- Shower Heads – 2.4 gallons per minute

Solar Orientation

Where possible, the longer axis of the home should be oriented east/west. By orienting the home in that direction, the longer dimension of the home faces sunny south. The optimum position for maximum solar benefits is true south but you can vary the orientation within 15-20 degrees of that direction with minimal effect. This placement creates optimum conditions for the use of passive and active solar strategies reducing energy costs substantially.

Encourage site and building design that improves energy efficiency by incorporating natural cooling and passive solar heating. This may include extended eaves, window overhangs, awnings and tree placement for natural cooling, and building and window orientation to take advantage of passive solar heating.



Stormwater Management

Pervious pavement is designed to allow percolation or infiltration of stormwater through the surface into the soil below where the water is naturally filtered and pollutants are removed. Design that uses alternatives to reduce impervious pavement is a positive step toward improving the quality of our water resource and is highly encouraged. However, pervious pavement is easily compromised by plowing that dislodges pavers and sanding which disrupts the pavements

Community Sustainability

Fire Protection

Roofing Materials & Fire Sprinklers

Roofing Materials must be non-combustible and have a Class “A” Fire Rating. No wood shake roofing material will be permitted.

All buildings over 750 square feet must be constructed with an Automatic Fire Extinguishing System installed as required and approved by Park City.

Fires

No person shall build, ignite or maintain any outdoor fire of any kind for any purpose with the exception of a permanent barbecue, portable barbecue, outdoor fireplace, or grill and they are located a minimum of thirty (30) feet from any combustible material or nonfire-resistive vegetation.

Defensible Space

Non-fire resistive vegetation or growth shall be kept clear of buildings or structures, in such a manner as to provide clear area for fire suppression operations at a minimum of thirty (30) feet from any structure. Deadwood shall be regularly removed from trees.

Where ornamental vegetative fuels or cultivated ground cover, such as green grass, ivy, succulents or similar plants are used as ground cover, they are allowed to be within the designated thirty (30) feet of defensible space, provided they do not form a means of transmitting fire from the native growth to any structure.

Landscape Sustainability

Hydrozoning

Grouping plants that have similar water requirements. Hydrozoning is a key component of a water-efficient irrigation system and landscape. Plant species with similar needs should be selected and grouped within each hydrozone. It is also effective to create microclimate zones so that plants with higher water needs are closest to the house and plants with lower water needs are on the perimeter of the garden or landscape.

Each hydrozone will contain plants that will be irrigated on the same schedule, using the same irrigation method. Generally, each hydrozone is served by one valve or control zone (although more than one valve may be required to service an area due to flow and water pressure). By using controllers with multiple run times that are able to support low-volume systems (cycle and soak) and by dividing the landscape into hydrozones, each area will receive the amount of water it needs without puddling or runoff. The result of hydrozoning is improved plant health and less water use.



Turf not a dominate component of the landscape

Turf

Turf, when used, must not be a dominant component of the landscape. Individual homesites in the Park Home and Cottage Home lots shall not contain turf areas greater than 20% of the total lot area. Individual homesites in the Homestead lots shall not contain turf areas greater than 10% of the homes total lot area. All turf area must be located within the Enhanced Landscape Zone.

Irrigation

All landscape areas within the Enhanced and Transitional Landscape Zones shall be irrigated. All irrigation provided shall be drip irrigation with the exception of turf areas. All drip tubing shall be concealed below plant bed mulch and must remain covered at all times.

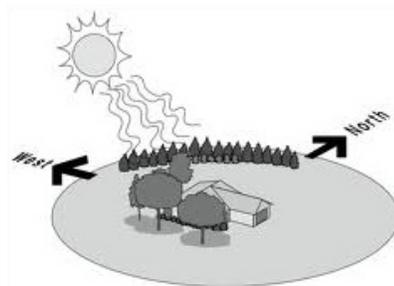
All irrigation systems shall be controlled by an automatic controller which includes a rain sensor. Rain sensors should be utilized to detect the presence of rainfall and disable the irrigation controller from operating during periods of wet weather. Rain Sensors should be adjusted to suit the requirements of the landscape and soil conditions for each home.

Rain Harvesting

Water tanks used for storing harvested rain from roofs are encouraged (see Roof Appurtenances/Rain Storage Devices for approvals). Rainwater tanks are installed to make use of rain water (rain, hail, sleet or snow) for later use especially for landscape watering, thus reducing one's reliance of culinary water for irrigation.

Shade Trees/Heat Gain

Deciduous trees placed on the south and east or west can shade your home in the summer before dropping their leaves in the winter to let the sunlight into your home. Trees can bring the ambient temperature down as much as five degrees on a hot day. This reduces heat gain, allowing for cooler ventilation. Deciduous trees and vines in front of south facing walls and windows will further cool homes.



Properly placed trees can reduce energy consumption throughout the year

Disclaimers

1. Any Commercial or Community structures proposed within the project boundaries are required to follow these Design Guides and should follow all Guides required for Park Homes.
2. Unless addressed in these Guides all additional requirements must follow the projects Codes, Covenants and Restrictions (C.C. & R'S) as adopted and/or the Park City Municipal Codes.
3. Illustrations and Photos are included throughout the Guidelines to help convey the thoughts and concepts described in the document's text. These images are intended to express general design concepts and are not meant to impose specific plans or design solutions.

PARK CITY MUNICIPAL CORPORATION
STANDARD PROJECT CONDITIONS

1. The applicant is responsible for compliance with all conditions of approval.
2. The proposed project is approved as indicated on the final approved plans, except as modified by additional conditions imposed by the Planning Commission at the time of the hearing. The proposed project shall be in accordance with all adopted codes and ordinances; including, but not necessarily limited to: the Land Management Code (including Chapter 5, Architectural Review); International Building, Fire and related Codes (including ADA compliance); the Park City Design Standards, Construction Specifications, and Standard Drawings (including any required snow storage easements); and any other standards and regulations adopted by the City Engineer and all boards, commissions, agencies, and officials of the City of Park City.
3. A building permit shall be secured for any new construction or modifications to structures, including interior modifications, authorized by this permit.
4. All construction shall be completed according to the approved plans on which building permits are issued. Approved plans include all site improvements shown on the approved site plan. Site improvements shall include all roads, sidewalks, curbs, gutters, drains, drainage works, grading, walls, landscaping, lighting, planting, paving, paths, trails, public necessity signs (such as required stop signs), and similar improvements, as shown on the set of plans on which final approval and building permits are based.
5. All modifications to plans as specified by conditions of approval and all final design details, such as materials, colors, windows, doors, trim dimensions, and exterior lighting shall be submitted to and approved by the Planning Department, Planning Commission, or Historic Preservation Board prior to issuance of any building permits. Any modifications to approved plans after the issuance of a building permit must be specifically requested and approved by the Planning Department, Planning Commission and/or Historic Preservation Board in writing prior to execution.
6. Final grading, drainage, utility, erosion control and re-vegetation plans shall be reviewed and approved by the City Engineer prior to commencing construction. Limits of disturbance boundaries and fencing shall be reviewed and approved by the Planning, Building, and Engineering Departments. Limits of disturbance fencing shall be installed, inspected, and approved prior to building permit issuance.
7. An existing conditions survey identifying existing grade shall be conducted by the applicant and submitted to the Planning and Building Departments prior to issuance of a footing and foundation permit. This survey shall be used to assist

the Planning Department in determining existing grade for measurement of building heights, as defined by the Land Management Code.

8. A Construction Mitigation Plan (CMP), submitted to and approved by the Planning, Building, and Engineering Departments, is required prior to any construction. A CMP shall address the following, including but not necessarily limited to: construction staging, phasing, storage of materials, circulation, parking, lights, signs, dust, noise, hours of operation, re-vegetation of disturbed areas, service and delivery, trash pick-up, re-use of construction materials, and disposal of excavated materials. Construction staging areas shall be clearly defined and placed so as to minimize site disturbance. The CMP shall include a landscape plan for re-vegetation of all areas disturbed during construction, including but not limited to: identification of existing vegetation and replacement of significant vegetation or trees removed during construction.
9. Any removal of existing building materials or features on historic buildings shall be approved and coordinated by the Planning Department according to the LMC, prior to removal.
10. The applicant and/or contractor shall field verify all existing conditions on historic buildings and match replacement elements and materials according to the approved plans. Any discrepancies found between approved plans, replacement features and existing elements must be reported to the Planning Department for further direction, prior to construction.
11. Final landscape plans, when required, shall be reviewed and approved by the Planning Department prior to issuance of building permits. Landscaping shall be completely installed prior to occupancy, or an acceptable guarantee, in accordance with the Land Management Code, shall be posted in lieu thereof. A landscaping agreement or covenant may be required to ensure landscaping is maintained as per the approved plans.
12. All proposed public improvements, such as streets, curb and gutter, sidewalks, utilities, lighting, trails, etc. are subject to review and approval by the City Engineer in accordance with current Park City Design Standards, Construction Specifications and Standard Drawings. All improvements shall be installed or sufficient guarantees, as determined by the City Engineer, posted prior to occupancy.
13. The Snyderville Basin Water Reclamation District shall review and approve the sewer plans, prior to issuance of any building plans. A Line Extension Agreement with the Snyderville Basin Water Reclamation District shall be signed and executed prior to building permit issuance. Evidence of compliance with the District's fee requirements shall be presented at the time of building permit issuance.

14. The planning and infrastructure review and approval is transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
15. When applicable, access on state highways shall be reviewed and approved by the State Highway Permits Officer. This does not imply that project access locations can be changed without Planning Commission approval.
16. Vesting of all permits and approvals terminates upon the expiration of the approval as defined in the Land Management Code, or upon termination of the permit.
17. No signs, permanent or temporary, may be constructed on a site or building without a sign permit, approved by the Planning and Building Departments. All multi-tenant buildings require an approved Master Sign Plan prior to submitting individual sign permits.
18. All exterior lights must be in conformance with the applicable Lighting section of the Land Management Code. Prior to purchase and installation, it is recommended that exterior lights be reviewed by the Planning Department.

April 2007



Noise Wall FAQs

1. We are experiencing a lot of noise at our home from traffic on a nearby road. Will UDOT erect a noise wall?

UDOT only constructs noise walls as part of roadway projects that increase traffic capacity, thereby substantially increasing noise to neighboring areas. Such projects may include adding new traffic lanes to an existing roadway or constructing a brand new roadway. All noise abatement measures, such as walls, must meet the conditions outlined in UDOT's [Noise Abatement Policy](#).

2. What conditions must be satisfied in order for UDOT to build a noise wall?

For an area to qualify for noise abatement measures, all the conditions listed below must be met:

- The roadway must be either an interstate or a limited-access highway. A limited-access highway has access restricted to designated points determined by UDOT, for example Bangerter Highway.
- The cost of abatement must not exceed \$30,000 per residence.
- A noise reduction of at least 5 decibels (dBA) must be achieved for the nearest effected property.
- Those impacted are in favor of abatement.
- The expected impact is 10 dBA more than the noise level prior to changes in the roadway configuration, or if the predicted noise level is greater than 65 dBA.

4. Our developer said that UDOT will build us a noise wall, is this true?

This is only true if UDOT has an existing, or recently completed, roadway project in the vicinity where noise to nearby areas has substantially increased. The criteria listed in questions one and two would also need to be met.

5. A noise wall was built across the roadway from our home; it seems that the noise is twice as loud as before, what can we do?

There are studies that suggest sound may sometimes bounce off noise walls and increase in nearby areas by as much as 2 to 3 dBA. However, this is accounted for in the models that UDOT uses to estimate the noise impacts of a project. Although there might be more noise than before the wall was installed, it is unlikely that this extra noise meets the prescribed thresholds.

6. What happens if our neighborhood has a lot of traffic noise but doesn't qualify to receive a noise wall?

In this case a noise wall may be provided by individual property owners, or through city or county funding. Remember that a wall that is only adjacent to your property line is likely to be ineffective. A noise wall must be contiguous, and extend beyond your property line with no gaps, to effectively abate noise for your home and yard.

7. Do noise walls act as safety barriers?

No, noise walls are not designed to withstand vehicle impacts. Noise walls are either placed outside of the safety clear zone or are protected using barrier and crash cushions.

8. The noise wall near our home has been damaged, who do I call to report this?

Please call your regional office.

- Region 1 – Northern Utah - 801.620.1600
- Region 2 – Wasatch Front - 801.975.4900

- Region 3 – Southern Wasatch Front and Uintah Basin - 801.227.8000
- Region 4 – Southern Utah - 435.893.4799

To view a map of Region boundaries click [here](#).

9. The noise wall near our home has graffiti on it, who do I call to have it removed?

Please call your regional office.

10. I have questions about traffic noise, who should I call?

Please call your regional office.

Contact Us

If you need further assistance please submit your question or comment in the form below. If you wish to be contacted, please provide your e-mail address. Thank you.

Name	<input type="text"/>
E-mail	<input type="text"/>
Question/Comment	<div style="border: 1px solid #ccc; height: 100px; width: 100%;"></div>
<input type="button" value="Submit"/> <input type="button" value="Reset"/>	

From: Scott Adams [SAdams@pcfd.org]
Sent: Thursday, April 14, 2011 5:19 PM
To: Kirsten Whetstone; Spencer White; Roger Evans
Subject: FW: Park City Heights MPD - Fire Protection Compliance

Attachments: Park City Heights Wildland Urban Interface Code Compliance.pdf; Appendix B,C,D 2006 IFC.PDF; C_3.0_Utility_Plan_Hydrants.pdf

Kirsten:

I have met with Spencer White to review the Fire Hazard Severity for the Park City Heights Project.

We made our review in accordance with the 2006 Utah Wildland-Urban Interface Code.

Mr. White has attached the evaluation sheets that we used to conduct this review.

After conducting our review and evaluating the results, will feel confident in recommending to Park City Planning and Building Departments, that this project be reviewed as a "Moderate Hazard," in accordance with the 2006 Utah Wildland-Urban Interface Code. In addition our recommendation for this approval is based on all structures being provided with fire sprinkler protection, fire department access roads in compliance with the 2009 edition of the International Fire Code, and that the required fire flows for this project are provided in accordance with Park City criteria.

Please let me know if I can be of any further assistance.

Scott W. Adams
Assistant Fire Chief
District Fire Marshal
Park City Fire Service District
Office: (435) 940-2532
Direct: (435) 940-2503



From: Spencer White [mailto:white.spencer@gmail.com]
Sent: Monday, March 21, 2011 12:14 PM
To: Scott Adams
Cc: revans@parkcity.org
Subject: Park City Heights MPD - Fire Protection Compliance

Scott,

Thanks for taking the time and going through each item with me. Attached you will find our the Fire Hazard Severity Form and the designations. I have tried to also include information on each of these items.

I have also copied Roger Evens from Park City.

Please let me know if there is any other information you need or require. I believe the City Planning office is expecting some kind of written approval.

Thanks for your help.

APPENDIX B

FIRE-FLOW REQUIREMENTS FOR BUILDINGS

The provisions contained in this appendix are not mandatory unless specifically referenced in the adopting ordinance.

SECTION B101 GENERAL

B101.1 Scope. The procedure for determining fire-flow requirements for buildings or portions of buildings hereafter constructed shall be in accordance with this appendix. This appendix does not apply to structures other than buildings.

SECTION B102 DEFINITIONS

B102.1 Definitions. For the purpose of this appendix, certain terms are defined as follows:

FIRE-FLOW. The flow rate of a water supply, measured at 20 pounds per square inch (psi) (138 kPa) residual pressure, that is available for fire fighting.

FIRE-FLOW CALCULATION AREA. The floor area, in square feet (m²), used to determine the required fire flow.

SECTION B103 MODIFICATIONS

B103.1 Decreases. The fire chief is authorized to reduce the fire-flow requirements for isolated buildings or a group of buildings in rural areas or small communities where the development of full fire-flow requirements is impractical.

B103.2 Increases. The fire chief is authorized to increase the fire-flow requirements where conditions indicate an unusual susceptibility to group fires or conflagrations. An increase shall not be more than twice that required for the building under consideration.

B103.3 Areas without water supply systems. For information regarding water supplies for fire-fighting purposes in rural and suburban areas in which adequate and reliable water supply systems do not exist, the fire code official is authorized to utilize NFPA 1142 or the *International Wildland-Urban Interface Code*.

SECTION B104 FIRE-FLOW CALCULATION AREA

B104.1 General. The fire-flow calculation area shall be the total floor area of all floor levels within the exterior walls, and under the horizontal projections of the roof of a building, except as modified in Section B104.3.

B104.2 Area separation. Portions of buildings which are separated by fire walls without openings, constructed in accordance with the *International Building Code*, are allowed to be considered as separate fire-flow calculation areas.

B104.3 Type IA and Type IB construction. The fire-flow calculation area of buildings constructed of Type IA and Type IB construction shall be the area of the three largest successive floors.

Exception: Fire-flow calculation area for open parking garages shall be determined by the area of the largest floor.

SECTION B105 FIRE-FLOW REQUIREMENTS FOR BUILDINGS

B105.1 One- and two-family dwellings. The minimum fire-flow requirements for one- and two-family dwellings having a fire-flow calculation area which does not exceed 3,600 square feet (344.5 m²) shall be 1,000 gallons per minute (3785.4 L/min). Fire-flow and flow duration for dwellings having a fire-flow calculation area in excess of 3,600 square feet (344.5 m²) shall not be less than that specified in Table B105.1.

Exception: A reduction in required fire flow of 50 percent, as approved, is allowed when the building is provided with an approved automatic sprinkler system.

B105.2 Buildings other than one- and two-family dwellings. The minimum fire-flow and flow duration for buildings other than one- and two-family dwellings shall be as specified in Table B105.1.

Exception: A reduction in required fire-flow of up to 75 percent, as approved, is allowed when the building is provided with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2. The resulting fire-flow shall not be less than 1,500 gallons per minute (5678 L/min) for the prescribed duration as specified in Table B105.1.

SECTION B106 REFERENCED STANDARDS

ICC	IBC	International Building Code	B104.2, Table B105.1
ICC	IWUIC	International Wildland-Urban Interface Code	B103.3
NFPA	1142	Standard on Water Supplies for Suburban and Rural Fire Fighting	B103.3

**TABLE B105.1
MINIMUM REQUIRED FIRE-FLOW AND FLOW DURATION FOR BUILDINGS^a**

FIRE-FLOW CALCULATION AREA (square feet)					FIRE-FLOW (gallons per minute) ^c	FLOW DURATION (hours)
Type IA and IB ^b	Type IIA and IIIA ^b	Type IV and V-A ^b	Type IIB and IIIB ^b	Type V-B ^b		
0-22,700	0-12,700	0-8,200	0-5,900	0-3,600	1,500	2
22,701-30,200	12,701-17,000	8,201-10,900	5,901-7,900	3,601-4,800	1,750	
30,201-38,700	17,001-21,800	10,901-12,900	7,901-9,800	4,801-6,200	2,000	
38,701-48,300	21,801-24,200	12,901-17,400	9,801-12,600	6,201-7,700	2,250	
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500	
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750	
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3,000	3
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3,250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3,500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3,750	
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4,000	4
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4,250	
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4,500	
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4,750	
203,701-225,200	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5,000	
225,201-247,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5,250	
247,701-271,200	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5,500	
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,400	5,750	
295,901-Greater	166,501-Greater	106,501-115,800	77,001-83,700	47,401-51,500	6,000	
—	—	115,801-125,500	83,701-90,600	51,501-55,700	6,250	
—	—	125,501-135,500	90,601-97,900	55,701-60,200	6,500	
—	—	135,501-145,800	97,901-106,800	60,201-64,800	6,750	
—	—	145,801-156,700	106,801-113,200	64,801-69,600	7,000	
—	—	156,701-167,900	113,201-121,300	69,601-74,600	7,250	
—	—	167,901-179,400	121,301-129,600	74,601-79,800	7,500	
—	—	179,401-191,400	129,601-138,300	79,801-85,100	7,750	
—	—	191,401-Greater	138,301-Greater	85,101-Greater	8,000	

For SI: 1 square foot = 0.0929 m², 1 gallon per minute = 3.785 L/m, 1 pound per square inch = 6.895 kPa.

a. The minimum required fire flow shall be allowed to be reduced by 25 percent for Group R.

b. Types of construction are based on the *International Building Code*.

c. Measured at 20 psi.

APPENDIX C

FIRE HYDRANT LOCATIONS AND DISTRIBUTION

The provisions contained in this appendix are not mandatory unless specifically referenced in the adopting ordinance.

SECTION C101 GENERAL

C101.1 Scope. Fire hydrants shall be provided in accordance with this appendix for the protection of buildings, or portions of buildings, hereafter constructed.

SECTION C102 LOCATION

C102.1 Fire hydrant locations. Fire hydrants shall be provided along required fire apparatus access roads and adjacent public streets.

SECTION C103 NUMBER OF FIRE HYDRANTS

C103.1 Fire hydrants available. The minimum number of fire hydrants available to a building shall not be less than that listed in Table C105.1. The number of fire hydrants available to a complex or subdivision shall not be less than that determined by spacing requirements listed in Table C105.1 when applied to fire apparatus access roads and perimeter public streets from which fire operations could be conducted.

SECTION C104 CONSIDERATION OF EXISTING FIRE HYDRANTS

C104.1 Existing fire hydrants. Existing fire hydrants on public streets are allowed to be considered as available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads.

SECTION C105 DISTRIBUTION OF FIRE HYDRANTS

C105.1 Hydrant spacing. The average spacing between fire hydrants shall not exceed that listed in Table C105.1.

Exception: The fire chief is authorized to accept a deficiency of up to 10 percent where existing fire hydrants provide all or a portion of the required fire hydrant service.

Regardless of the average spacing, fire hydrants shall be located such that all points on streets and access roads adjacent to a building are within the distances listed in Table C105.1.

**TABLE C105.1
NUMBER AND DISTRIBUTION OF FIRE HYDRANTS**

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS ^{a, b, c} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT ^d
1,750 or less	1	500	250
2,000-2,250	2	450	225
2,500	3	450	225
3,000	3	400	225
3,500-4,000	4	350	210
4,500-5,000	5	300	180
5,500	6	300	180
6,000	6	250	150
6,500-7,000	7	250	150
7,500 or more	8 or more ^e	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

- a. Reduce by 100 feet for dead-end streets or roads.
- b. Where streets are provided with median dividers which can be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis up to a fire-flow requirement of 7,000 gallons per minute and 400 feet for higher fire-flow requirements.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
- d. Reduce by 50 feet for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.

APPENDIX D

FIRE APPARATUS ACCESS ROADS

The provisions contained in this appendix are not mandatory unless specifically referenced in the adopting ordinance.

SECTION D101 GENERAL

D101.1 Scope. Fire apparatus access roads shall be in accordance with this appendix and all other applicable requirements of the *International Fire Code*.

SECTION D102 REQUIRED ACCESS

D102.1 Access and loading. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34 050 kg).

SECTION D103 MINIMUM SPECIFICATIONS

D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm). See Figure D103.1.

D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.

Exception: Grades steeper than 10 percent as approved by the fire chief.

D103.3 Turning radius. The minimum turning radius shall be determined by the fire code official.

D103.4 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.

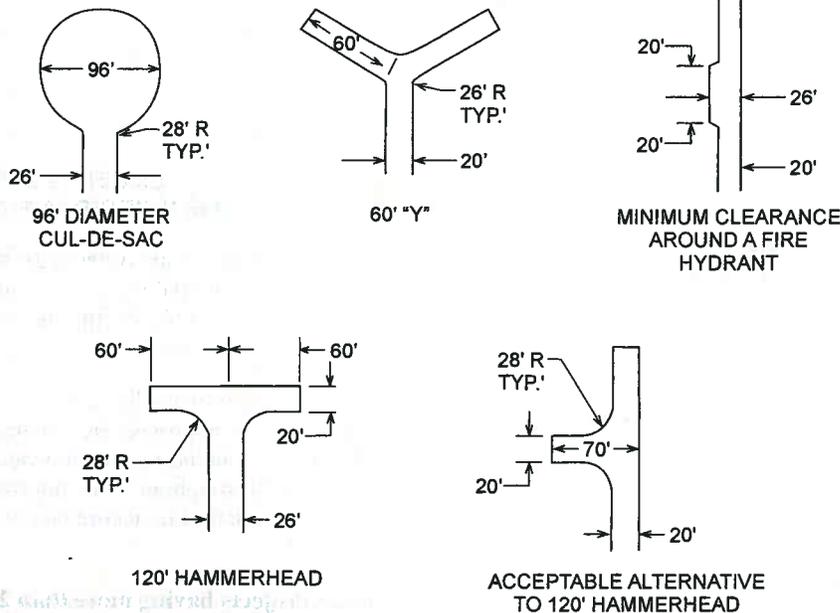
**TABLE D103.4
REQUIREMENTS FOR DEAD-END FIRE
APPARATUS ACCESS ROADS**

LENGTH (feet)	WIDTH (feet)	TURNAROUNDS REQUIRED
0-150	20	None required
151-500	20	120-foot Hammerhead, 60-foot "Y" or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
501-750	26	120-foot Hammerhead, 60-foot "Y" or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
Over 750	Special approval required	

For SI: 1 foot = 304.8 mm.

D103.5 Fire apparatus access road gates. Gates securing the fire apparatus access roads shall comply with all of the following criteria:

1. The minimum gate width shall be 20 feet (6096 mm).



For SI: 1 foot = 304.8 mm.

**FIGURE D103.1
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND**

2. Gates shall be of the swinging or sliding type.
3. Construction of gates shall be of materials that allow manual operation by one person.
4. Gate components shall be maintained in an operative condition at all times and replaced or repaired when defective.
5. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official.
6. Manual opening gates shall not be locked with a padlock or chain and padlock unless they are capable of being opened by means of forcible entry tools or when a key box containing the key(s) to the lock is installed at the gate location.
7. Locking device specifications shall be submitted for approval by the fire code official.

D103.6 Signs. Where required by the fire code official, fire apparatus access roads shall be marked with permanent NO PARKING—FIRE LANE signs complying with Figure D103.6. Signs shall have a minimum dimension of 12 inches (305 mm) wide by 18 inches (457 mm) high and have red letters on a white reflective background. Signs shall be posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2.

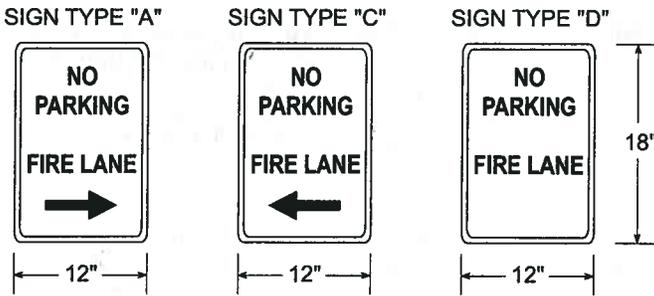


FIGURE D103.6
FIRE LANE SIGNS

D103.6.1 Roads 20 to 26 feet in width. Fire apparatus access roads 20 to 26 feet wide (6096 to 7925 mm) shall be posted on both sides as a fire lane.

D103.6.2 Roads more than 26 feet in width. Fire apparatus access roads more than 26 feet wide (7925 mm) to 32 feet wide (9754 mm) shall be posted on one side of the road as a fire lane.

SECTION D104 COMMERCIAL AND INDUSTRIAL DEVELOPMENTS

D104.1 Buildings exceeding three stories or 30 feet in height. Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have at least three means of fire apparatus access for each structure.

D104.2 Buildings exceeding 62,000 square feet in area. Buildings or facilities having a gross building area of more than 62,000 square feet (5760 m²) shall be provided with two separate and approved fire apparatus access roads.

Exception: Projects having a gross building area of up to 124,000 square feet (11 520 m²) that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems.

D104.3 Remoteness. Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

SECTION D105 AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.

D105.2 Width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building.

SECTION D106 MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENTS

D106.1 Projects having more than 100 dwelling units. Multiple-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads.

Exception: Projects having up to 200 dwelling units may have a single approved fire apparatus access road when all buildings, including nonresidential occupancies, are equipped throughout with approved automatic sprinkler systems installed in accordance with Section 903.3.1.1 or 903.3.1.2.

D106.2 Projects having more than 200 dwelling units. Multiple-family residential projects having more than 200 dwelling units shall be provided with two separate and approved fire apparatus access roads regardless of whether they are equipped with an approved automatic sprinkler system.

BENCHMARK
 2008 NORTH 2000 WEST 1000 SOUTH
 2008 NORTH 2000 WEST 1000 SOUTH
 2008 NORTH 2000 WEST 1000 SOUTH
 2008 NORTH 2000 WEST 1000 SOUTH

ALL DISTANCES
 TO BE MEASURED AT THE
 COMMENCEMENT OF ANY
 CONSTRUCTION

Planning Commission - April 27, 2011



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PARK CITY HEIGHTS
 PARK CITY, UTAH



OVERALL UTILITY PLAN

DATE: 04/27/11
 DRAWN BY: J. FORD
 CHECKED BY: R. ELDER
 PROJECT NO.: 11-0001

C 3.0

PARK CITY HEIGHTS

FIRE HAZARD SEVERITY

SECTION 502 FIRE HAZARD SEVERITY

The fire hazard severity of building sites for all buildings hereafter constructed, modified or relocated into wildland-urban interface areas shall be established in accordance with Appendix C.

The fire hazard severity is allowed to be reduced by implementing a vegetation management plan in accordance with Appendix B.

APPENDIX C

FIRE HAZARD SEVERITY FORM

This appendix is to be used to determine the fire hazard severity.

	Points		
A. Subdivision Design			
1. Ingress/Egress			
Two or more primary roads	1 <input checked="" type="checkbox"/>		
One road	10 <input type="checkbox"/>		
One-lane road in, one-lane road out	15 <input type="checkbox"/>		
2. Width of Primary Road			
20 feet or more	1 <input checked="" type="checkbox"/>		
Less than 20 feet	5 <input type="checkbox"/>		
3. Accessibility			
Road grade 5% or less	1 <input type="checkbox"/>		
Road grade 5-10%	5 <input checked="" type="checkbox"/>		
Road grade greater than 10%	10 <input type="checkbox"/>		
4. Secondary Road Terminus			
Loop roads, cul-de-sacs with an outside turning radius of 45 feet or greater	1 <input checked="" type="checkbox"/>		
Cul-de-sac turnaround	5 <input type="checkbox"/>		
Dead-end roads 200 feet or less in length	8 <input type="checkbox"/>		
Dead-end roads greater than 200 feet in length	10 <input type="checkbox"/>		
5. Street Signs			
Present but unapproved	3 <input type="checkbox"/>		
Not present	5 <input type="checkbox"/>		
B. Vegetation (IUWIC Definitions)			
1. Fuel Types			
Surface			
Lawn/noncombustible	1 <input type="checkbox"/>		
Grass/short brush	5 <input checked="" type="checkbox"/>		
Scattered dead/down woody material	10 <input type="checkbox"/>		
Abundant dead/down woody material	15 <input type="checkbox"/>		
Overstory			
Deciduous trees (except tall brush)	3 <input type="checkbox"/>		
Mixed deciduous trees and tall brush	10 <input type="checkbox"/>		
Clumped/scattered conifers and/or tall brush	15 <input type="checkbox"/>		
Contiguous conifer and/or tall brush	20 <input type="checkbox"/>		
2. Defensible Space			
70% or more of lots completed	1 <input checked="" type="checkbox"/>		
30% to 70% of lots completed	10 <input type="checkbox"/>		
Less than 30% of lots completed	20 <input type="checkbox"/>		
C. Topography			
Located on flat, base of hill, or setback at crest of hill	1 <input type="checkbox"/>		
On slope with 0-20% grade	5 <input checked="" type="checkbox"/>		
On slope with 21-30% grade	10 <input type="checkbox"/>		
On slope with 31% grade or greater	15 <input type="checkbox"/>		
At crest of hill with unmitigated vegetation below	20 <input type="checkbox"/>		
D. Roofing Material			
Class A Fire Rated	1 <input checked="" type="checkbox"/>		
Class B Fire Rated	5 <input type="checkbox"/>		
Class C Fire Rated	10 <input type="checkbox"/>		
Nonrated	20 <input type="checkbox"/>		
E. Fire Protection—Water Source			
500 GPM hydrant within 1,000 feet	1 <input checked="" type="checkbox"/>		
Hydrant farther than 1,000 feet or draft site	5 <input type="checkbox"/>		
Water source 20 min. or less, round trip	10 <input type="checkbox"/>		
Water source farther than 20 min., and 45 min. or less, round trip	15 <input type="checkbox"/>		
Water source farther than 45 min., round trip	20 <input type="checkbox"/>		
F. Siding and Decking			
Noncombustible siding/deck	1 <input type="checkbox"/>		
Combustible siding/no deck	5 <input type="checkbox"/>		
Noncombustible siding/combustible deck	10 <input type="checkbox"/>		
Combustible siding and deck	15 <input checked="" type="checkbox"/>		
G. Utilities (gas and/or electric)			
All underground utilities	1 <input type="checkbox"/>		
One underground, one aboveground	3 <input checked="" type="checkbox"/>		
All aboveground	5 <input type="checkbox"/>		
Total for Subdivision			<u>39</u>
Moderate Hazard			50-75
High Hazard			76-100
Extreme Hazard			101+

Description of Fire Hazard Severity Form – Appendix C:

A. Subdivision Design

1. Ingress/Egress – Phase 1 will have two (2) access points off of Old Dump Road. At a certain level of build-out there will be a third access point off of the hwy 40 Frontage Road. Both Old Dump Road and the Frontage Road will be fully improved to Park City Standards for access to the project site. **1 Point**
2. Width of Primary Road – All roads will be public roads and will have a minimum of 20' paved width. **1 Point**
3. Accessibility – The majority of the road grades in the project are less than 5% slope. The roads were designed to run with the topography. There are a few roads that will have grades between 5%-10%, but nothing over that. **5 Points**
4. Secondary Road Terminus – Primarily the project has loop roads. The roads that do have cul-de-sacs all have an outside turning radius of 45 feet or greater. **1 Point**
5. Street Signs – All of the streets will be named and have signs at the intersections as required by Park City Engineering. **0 Points**

B. Vegetation

1. Fuel Types
 - Surface – Homes will have three (3) distinct landscape zones around the building. They are: Enhanced Landscape Zone, Transitional Landscape Zone, and Natural Landscape Zone. Both the Enhanced and Transitional Zones will be irrigated and will consist of grasses, ground cover, and typical landscaping as it complies with the Landscape Section within the Project Design Guidelines. The Natural Landscape Zone will be left as is and will be located approximately 30 to 50 feet from the building. **5 Points**
 - Overstory – In the area to be developed and place homes there are no areas of Overstory. **0 Points**
2. Defensible Space – The development plan shows a clustering of homes to the greatest extent possible and more than 70% of the lots will be completed. **1 Point**

C. Topography

- The development site is generally located at the base of the hill, but will consist of slopes between 0-20% grades. **5 Points**

D. Roofing Material

- All roofs will require a Class A Fire Rated roofing Material. This note will be placed on the Plat maps as well as in the Project Design Guidelines. **1 Point**

E. Fire Protection – Water Source

- All of the buildings will be sprinkled with a 13R system. Required fire flow would be 1750 gpm for a 4,800 square foot building with a Type V-B construction. If a fire sprinkler 13R system is used than a 50% reduction could be granted, however minimum fire flow requirements should not be reduced lower than 1500 gpm. Maximum Fire Hydrant spacing per Appendix C of the 2006 International Fire Code is 500 Feet, for fire flow requirements less than 1750 gpm. **1 Point**

* Attached Appendix B, C, & D of the 2006 International Fire Code and the development Water Line and Hydrant Spacing Plan.

F. Siding and Decking

- Combustible siding and decking will be allowed; however, because of the cost and maintenance requirements of wood, it is likely that many of the homes will use noncombustible siding and decking. **15 Points**

G. Utilities

- All utilities within the project will be placed underground. There is an existing overhead power line that runs through the project site. The existing power line easement is 50 feet wide. Rocky Mountain Power has asked, and the developer has provided, an additional 10 feet of easement for a total of 60 feet wide. **3 Points**

Total for Subdivision: 39 Points

Subdivision Fire Hazard Severity is Moderate Hazard.

IGNITION-RESISTANT CONSTRUCTION

SECTION 503 IGNITION-RESISTANT CONSTRUCTION

503.1 General. Buildings and structures hereafter constructed, modified or relocated into or within wildland-urban interface areas shall meet the construction requirements in accordance with Table 503.1. Class 1, Class 2 or Class 3 ignition-resistant construction shall be in accordance with Sections 504, 505 and 506, respectively.

TABLE 503.1
IGNITION-RESISTANT CONSTRUCTION^a

DEFENSIBLE SPACE ^c	FIRE HAZARD SEVERITY					
	Moderate Hazard		High Hazard		Extreme Hazard	
	Water Supply ^b		Water Supply ^b		Water Supply ^b	
	Conforming ^a	Nonconforming ^a	Conforming ^a	Nonconforming ^a	Conforming ^a	Nonconforming ^a
Nonconforming	IR 2	IR 1	IR 1	IR 1 N.C.	IR 1 N.C.	Not Permitted
Conforming	IR 3	IR 2	IR 2	IR 1	IR 1	IR 1 N.C.
1.5 x Conforming	Not Required	IR 3	IR 3	IR 2	IR 2	IR 1

a. Access shall be in accordance with Section 402.

b. Subdivisions shall have a conforming water supply in accordance with Section 402.1.

IR 1 = Ignition-resistant construction in accordance with Section 504.

IR 2 = Ignition-resistant construction in accordance with Section 505.

IR 3 = Ignition-resistant construction in accordance with Section 506.

N.C. = Exterior walls shall have a fire-resistance rating of not less than 1-hour and the exterior surfaces of such walls shall be noncombustible. Usage of log wall construction is allowed.

c. Conformance based on Section 603.

d. Conformance based on Section 404.

e. A nonconforming water supply is any water system or source that does not comply with Section 404, including situations where there is no water supply for structure protection or fire suppression.

2006 UTAH WILDLAND-URBAN INTERFACE CODE

15

SECTION 506 CLASS 3 IGNITION-RESISTANT CONSTRUCTION

506.1 General. Class 3 ignition-resistant construction shall be in accordance with Section 506.

506.2 Roof covering. Roofs shall have at least a Class A roof covering, Class C roof assembly or an approved noncombustible roof covering. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eave ends shall be firestopped to preclude entry of flames or embers.

506.3 Unenclosed underfloor protection. Buildings or structures shall have all underfloor areas enclosed to the ground with exterior walls.

Exception: Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior 1-hour fire-resistance-rated construction or heavy timber construction.

506.4 Vents. Attic ventilation openings, soffit vents, foundation or underfloor vents or other ventilation openings in vertical exterior walls and vents through roofs shall not exceed 144 square inches (0.0929 m²) each. Such vents shall be covered with noncombustible corrosion-resistant mesh with openings not to exceed 1/4 inch (6.4 mm).

Park City Heights Ignition-Resistant Construction is classified as IR 3 and shall be in accordance with Section 506.

REQUIRED DEFENSIBLE SPACE

TABLE 603.2
REQUIRED DEFENSIBLE SPACE

WILDLAND-URBAN INTERFACE AREA	FUEL MODIFICATION DISTANCE (feet)
Moderate hazard	30
High hazard	50
Extreme hazard	100

For SI: 1 foot = 304.8 mm.

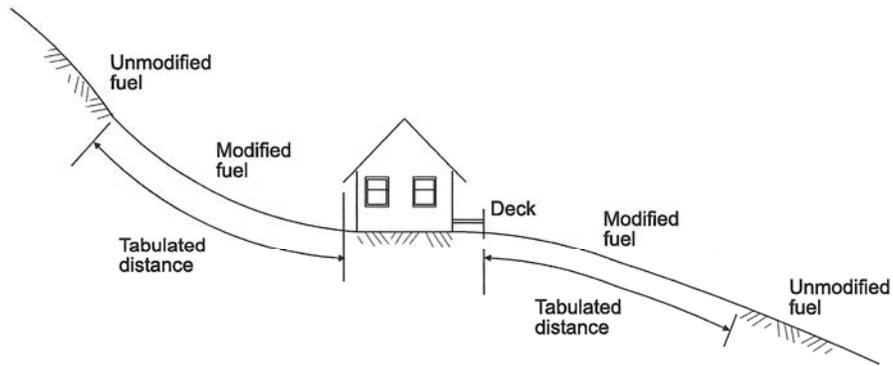
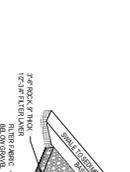
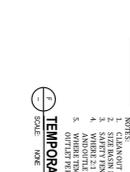
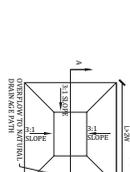
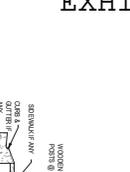
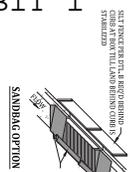
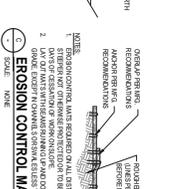
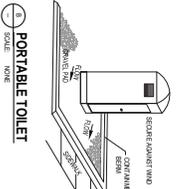
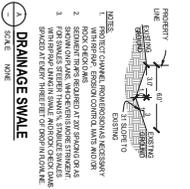


FIGURE 603.2
MEASUREMENTS OF FUEL MODIFICATION DISTANCE

Park City Heights required Defensible Space in the Wildland-Urban Interface Area for Moderate Hazard Fuel Modification Distance is 30 feet. Park City Heights will comply with the Fire Protection Requirements as shown in Chapter 6.

EXHIBIT I



1. EROSION CONTROL MATS SHALL BE INSTALLED AT THE CONSTRUCTION AREA.
2. EROSION CONTROL MATS SHALL BE INSTALLED AT THE CONSTRUCTION AREA.
3. EROSION CONTROL MATS SHALL BE INSTALLED AT THE CONSTRUCTION AREA.
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PARK CITY HEIGHTS

PARK CITY, UTAH

EROSION CONTROL PLAN

C4.0

Planning Commission -

PARK CITY HEIGHTS - ISSUES MATRIX

ISSUE	REQUIREMENT / CRITERIA	STATUS	HOW TO BE RESOLVED
WILDLIFE MITIGATION	MPD (I)- SLO	RESOLVED – REVISED WILDLIFE STUDY AND RECOMMENDATIONS	SEE WILDLIFE STUDY 3.23.11 PACKET COA # 39, 40
FIRE PROTECTION/WILDLAND INTERFACE	MPD (I) -SLO	RESOLVED WITH REVISED EXHIBIT/DESIGN GUIDELINES/COA	SEE EX I DG PG # COA # 23, 24
CUT AND FILL SLOPE MITIGATION CONSTRUCTION MITIGATION	MPD (G)	RESOLVED FOR MPD LEVEL- FINAL DESIGN SUBJECT TO PLAT APPROVAL	SEE EX K DG PG # COA # 2, 10, 11, 12, 13,, 38
TRAILS CONSTRUCTION AND MAINTENANCE	MPD (G) AND ANNEX AGREEMENT	RESOLVED	REVISED PLANS – EX J COA # 14, 21, 26, 27
TRANSPORTATION MITIGATION	ANNEX AGREEMENT	RESOLVED	COA # 11, 36, 46, 48
SUSTAINABILITY	CT ZONE, MPD, ANNEX AGREEMENT	RESOLVED	DG PG # COA # 5, 45
AFFORDABLE HOUSING	CT ZONE, MPD (J) AND ANNEX AGREEMENT	RESOLVED	COA # 28, 29
UTILITIES, SNOW STORAGE, EMERGENCY ACCESS, LOD, GEOTECHNICAL, STORMWATER	MPD (G)	RESOLVED FOR MPD LEVEL- FINAL DESIGN SUBJECT TO PLAT APPROVAL	COA# 2, 3, 16, 18, 22, 25, 13 FINAL PLAT
COMMUNITY BENEFITS	CT ZONE AND ANNEX AGREEMENT	RESOLVED	REVISED PLANS AND COA # 21, 27,
SUPPORT COMMERCIAL/DAY CARE CENTER	MPD (K), ANNEX AGREEMENT	RESOVLED	REVISED PLANS AND COA # 41
NEIGHBORHOOD SITE LAYOUT AND DESIGN, VISUAL ANALYSIS, AND ARCHITECTURAL GUIDELINES SENSITIVE LANDS LIGHTING	MPD (C, D, E, F, G, H, I)	RESOLVED	REVISED PLANS, DG PG # COA # 6, 7, 8, 9, 41, 42, 43, 45

Issue	Condition of Approval	Timeline to be Completed
Completion of Final Subdivision Plan (for each phase or sub-phase)	#2	The subdivision (illustrating phases and/or all lots) must be approved by Planning Commission and City Council prior to issuance of building permits for individual units.
Submission of Final Landscaping and Irrigation Plan	#6	The landscape/irrigation plan must be submitted with final plats for each phase. The landscaping/irrigation must be complete within nine (9) months of issuance of 50% of building permits or within six (6) months of any individual Certificate of Occupancy.
Construction Mitigation Plan (CMP)	#10	A complete Construction Mitigation Plan must be submitted and approved prior to any grading or building permit issuance. This submittal shall also include a detailed Limits of Disturbance (LOD) plan.
Stormwater Runoff & Drainage Plan	#13	The stormwater management plan (and drainage plan) must be submitted prior to issuance of any building permits.
Financial Guarantee	#15	A financial guarantee (exact cost to be determined based upon anticipated construction activity) must be submitted prior to issuance of any building permits.
Final Utility Plan	#17	The final utility plan must be submitted with the final subdivision plats. The City Engineer must approve all components of this submittal.
Fire Protection and Emergency Access Plan	#24	The fire protection and emergency access plans must be submitted prior to the issuance of any building permits.
Construction of Public Park and Trails (Phase I and subsequent phases)	#27	The construction of the public park and trails shall commence upon issuance of the 59 th building permit for Phase I (noted in the Annexation Agreement) and be complete within nine (9) months. Trails associated with subsequent phases must be complete upon issuance of 50% of the Certificates of Occupancy (CO).
Affordable Housing Plan	#28	An affordable housing plan must be approved by the Park City Housing Authority prior to issuance of any building permit in the MPD.

Timeline to Complete MPD Requirements

Master Sign Plan	#30	A master sign plan shall be submitted prior to any issuance of any individual sign permits.
MPD Expiration	#32	The MPD will expire two (2) years from the date of execution of the Development Agreement unless construction has commenced on site.
Development Agreement	#33	The Development Agreement must be submitted within six (6) months of this MPD approval.
Re-vegetation Plan for Parcels I & J	#37	The revegetation plan for parcels I and J shall be submitted with the final subdivision (road) plan and utility plan.
Wildlife Management Plan	#39	The two (2) additional site visits, as required by the Planning Commission, must be completed during May/June 2011. These will validate observations noted in the previously submitted report.
Conditional Use Permit requirement	#41	A CUP shall be required for any structure containing more than four (4) units. This is an ongoing requirement.
Conditional Use Permit requirement	#42	A CUP shall be required for any roof height proposed to exceed the zone height of 28'. This is an ongoing requirement.

