



AGENDA

MEETING CALLED TO ORDER AT 5:00 PM

WORK SESSION – *Discussion items only, no action will be taken*

Property noticing for Reconstructions of historic structures

ROLL CALL

ADOPTION OF MINUTES OF MAY 4, 2011

PUBLIC COMMUNICATIONS – *Items not on regular meeting schedule.*

STAFF/BOARD COMMUNICATION & DISCLOSURES

Upcoming appointments for Historic Preservation Board

Set the visioning date

REGULAR AGENDA

Historic Preservation Awards Program – Resolution for adoption	GI-11-00124	<i>Page</i> 67
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Possible action

919 Woodside Avenue – Appeal of Staff’s Determination to deny the	PL-11-01253	11
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movement of a historic structure

Quasi-judicial hearing

ADJOURN

Times shown are approximate. Items listed on the Regular Meeting may have been continued from a previous meeting and may not have been published on the Legal Notice for this meeting. For further information, please call the Planning Department at (435) 615-5060.

A majority of Historic Preservation Board members may meet socially after the meeting. If so, the location will be announced by the Chair person. City business will not be conducted.

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Park City Planning Department at (435) 615-5060 24 hours prior to the meeting.

PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
MINUTES OF MAY 4, 2011

BOARD MEMBERS IN ATTENDANCE: Roger Durst, Ken Martz, David White, David McFawn, Sara Werbelow, Brian Guyer, Judy McKie

EX OFFICIO: Thomas Eddington, Kayla Sintz, Mark Harrington, Patricia Abdullah

ROLL CALL

Chair Durst called the meeting to order at 5:30 p.m. and noted that all Board Members were present.

WORK SESSION

Update from Awards Program Subcommittee

Chair Durst stated that preliminary work was done regarding the potential for an awards program. The intent is to put the Historic Preservation Board in front of the public and to identify potential projects in town that contribute to the historic presence and character in the community.

Board Member Werbelow reported that the subcommittee met on several occasions and had compiled a suggested list of possible categories to recognize properties in town. The list was preliminary and it would continue to evolve. After the presentation to the HPB this evening, the City Council would be the next step, followed by a way to help the community understand what the HPB is trying to acknowledge and recognize.

Board Member Werbelow outlined the categories: 1) adaptive reuse and fill; 2) excellence in restoration; 3) sustainable preservation; 4) embodiment of historical context; 5) connectivity between building and landscape. Ms. Werbelow recalled that the HPB has previously discussed the adaptive reuse concept and awarding the first HPB award to the High West Property. High West was very excited when they were informed that the HPB wanted to acknowledge them this year with the first award.

Board Member Werbelow requested that the Board discuss the awards program this evening and hear direction from the Staff on how to move forward. They could then ask the City Council to endorse the program or create a resolution. The end result would be to present the award to the recipient at a specific event. She noted that the Historic Society has scheduled a gala in August and they have preliminarily expressed a willingness to work with the HPB to present the award to High West at that event.

Board Member Werbelow explained that for the actual award, the HPB would commission a one-of-a-kind art piece that would be hung in the Marsac Building to begin to create a legacy gallery. The recipient would receive a plaque.

Board Member Werbelow commented on the importance of bringing the guidelines into play to communicate some of the benefits of the guidelines to the community. The awards program is a good way for the community to have a visual of how the guidelines

can be translated into specific projects. Board Member Werbelow requested that the Board discuss the universal guidelines to see if anyone had a specific area of interest. This would help the HPB find projects to award in the future that fit within the guidelines.

Planner Kayla Sintz stated that in addition to the universal guidelines, Patricia Abdullah had included the National Historic Register guidelines. The definitions section under "Historic Integrity" listed the National Park Service guidelines, which are indicative of the landmark structures. There were different guidelines based on new construction and historic sites. The presentation this evening focused on the guidelines for historic sites, since the High West property was a National Register Site.

Planner Sintz read the universal guidelines for historic sites. Director Eddington stated that based on direction from a previous meeting, the idea was to utilize the universal guidelines to create a criteria sheet for the awards program that would embody the guidelines in a simplistic fashion. It would also allow the criteria to serve for all of the award categories.

Board Member Werbelow felt it was important for the Board members and the community to be able to interact with the guidelines; however, she did not want the program to be overly structured. Without some structure the award would appear arbitrary. The guidelines provided the necessary structure. Commissioner Werbelow remarked that the process did not need to be marked check boxes. When a project is awarded, there should be a sense of reaction and passionate excitement as opposed to just sticking to the guidelines.

Chair Durst stated that the subcommittee recommended High West as the first recipient of the award and he was prepared to move forward with the endorsement of the Board. He had looked into arranging to have a watercolor done of the building and a plaque would be awarded to the High West entity. He reiterated that the presentation would be made in conjunction with the Historic Society's gala. Chair Durst invited comments from others as they move forward. He understood from Director Eddington that resources may be available within the City to cover the cost of the plaque and the painting. Director Eddington stated that the Staff was looking into available resources. Chair Durst had contacted a local artist that he was familiar with in the area. He welcomed other ideas.

Board Member Martz favored broadening the base for things such as appropriate infill and adaptive reuse, and not just historic houses. He also favored defining the process for choosing the award. He has been through a similar process with the Historical Society and many preservation awards and certificates have been presented. He believed that broadening the base and having more specific criteria from the HPB was a good move forward. It adds credence to the HPB, as well as having the City recognize the contributions of specific people.

With so many artists in the community, Board Member McKie wanted to know how they would let the artists know about this opportunity and how they would choose an artist. Chair Durst clarified that he had solicited a price from an artist, but an artist had not been chosen. The price he was given was approximately \$600. Chair Durst did not believe it was necessary to commission the same artist every year, as the criteria for selection continues to change. Chair Durst stated that since adaptive re-use was the category for

the first award, he thought they should wait at least two years before that category is returned.

Board Member McKie suggested that they inform the community that the HPB is looking for an artist to commission a piece, and then wait to see what type of response comes back.

City Attorney Mark Harrington stated that in proceeding with this particular award, they should be clear about whether it is awarded by the HPB or the City Council. He assumed the City Council would be pleased to have it come from the HPB. However, a resolution from the City Council gives the award more proclamation and weight. Mr. Harrington recommended that the HPB check with the City Council to see if they could award it through their own resolution, or whether the HPB would like the formality of the City Council. He felt it was important for the Board to have that discussion.

Chair Durst asked if it would be appropriate for the HPB to make the choice and refer it to City Council for their action.

City Attorney Harrington replied that either way was appropriate. The HPB could keep it as its own program and adopt a resolution, or they could do it in conjunction with the City Council. Mr. Harrington advised the Board to formally vote on the property to be awarded, as opposed to just moving forward on the recommendation of the subcommittee.

Regarding artists, City Attorney Harrington noted that the City has a Public Art Committee, headed by Sharon Bauman. He suggested that they contact Ms. Bauman to avoid any conflicts and to keep the procurement process fair. Board Member Werbelow favored the idea of interacting with the Public Art Committee.

Board Member White liked the suggestion of using a different artist each year or for each type of award. Board Member White noted that Scott Roberts is a local artist who has done historic structures in town for many years. He felt there were many local artists that could be considered. Chair Durst offered to contact Sharon Bauman to see if she could recommend a list of local artists who would meet their objective.

Assistant City Attorney pointed out that the HPB could not make a formal resolution this evening, since it was not noticed on the agenda as an action item. The agenda for this meeting specifically said no action. Planner Sintz asked the Board members about attendance if the next HPB meeting was scheduled for Wednesday, June 15th instead of June 1st.

Chair Durst asked if it would be possible to schedule a short special meeting to adopt the resolution prior to June 15th. Board Member Werbelow remarked that the HPB could use the time to speak with Sharon Bauman and be prepared for a resolution at the regular meeting on June 15th. The Board concurred. Board Member Werbelow asked if there was any objection among the Board for moving forward with High West. There were no objections. She would confirm with Sandra Morrison regarding participation with the historic society gala.

Planner Sintz summarized that the June 15th Staff report would outline the guidelines, as well as the different criteria, and have an attached resolution. Chair Durst asked if the

HPB could choose an artist prior to June 15th, or if it needed to be a formal vote by the Board. City Attorney Harrington believed the Public Art Committee had its own rules for selection and advertising. He stated that the Board had the option to either work with the Art Committee through their process, or comply with the requirements of the City Procurement Policy. Mr. Harrington explained that any action by the HPB must be done by an agenda vote. However, they could do all the preliminary work prior to a formal vote on June 15th.

Board Member McFawn asked if the award would have a name. Based on the discussion regarding delight, Planner Sintz felt it would be appropriate to have "historic delight" in the title. The theme could be different each year. Board Member Martz pointed out that if the recipient receives a plaque, it would be expensive to change the plaque each year.

Chair Durst encouraged each Board Member to submit ideas and suggestions to Board Member Werbelow for discussion and action on June 15th.

Creation of Subcommittee for McPolin Farm

Chair Durst stated that this item resulted from a conversation he had with Board member White. Neither of them had visited the barn and through the efforts of Denise Carey and Roger Evans they were able to tour the facility a month ago. From an architectural standpoint, Chair Durst found it to be a very intriguing building. It is an iconic part of the historic of Park City. He was unsure whether the barn had potential to become more available to the general public or the community. In his opinion, a conversion of the barn space itself would be a major undertaking and a significant expense. Chair Durst complimented the Friends of the Farm organization for the improvements and amenities they have accomplished, because it provides a comfortable space for small gatherings. Chair Durst observed that the exterior of the home is in good condition and the grounds are well kept. However, aside from the buildings, his concern is with the setting and the environment. He asked if the Historic Preservation Board would have a role in encouraging that the setting be kept the way it is, or whether the use could be expanded. Chair Durst had concerns about allowing additional pedestrian traffic beyond cross country skiers because it could destroy the very essence of the existing environment.

Chair Durst stated that one suggestion was to hire an American Gothic couple who could provide custodial service, similar to Williamsburg, Virginia. However, he was unsure if that would be appropriate for Park City. Chair Durst commented on the importance of sustaining the McPolin Farm based on its contribution to the historic fabric of town.

Chair Durst stated that he and Board Member White would give more thought to preserving the space, and he welcomed anyone else who was interested in looking into the potential of this fascinating place.

Board Member Martz provided some history of the area. He noted that the old Historic District Commission was involved in the original planning of the restoration of that particular area. The house itself is a reproduction of the original house and it was brought back to where it could be used. The shed was also a reproduction that was upgraded with facilities and can now be used for gatherings. The parking lot was added.

Board Member Martz agreed that it is a great facility for the community and it looks very much like the original. Some of the sheds are original.

Board Member Martz stated that Sandra Morrison had seen the McPolin Farm as an agenda item for this meeting and she provided some information. In 2003 the Historical Society received a grant from the National Historic Trust to have the barn assessed and surveyed by an engineering company, Richards Consulting Group, to see what the building needed. Upgrades were done, but based on comments by Ms. Morrison, Board Member Martz did not believe anything had been done since that time. In spite of the upgrades, a number of tie rods and other items that were suggested in 2003 still need to be replaced. He understood that if subject to a high wind, the building could collapse if it was not upgraded.

Board Member Martz presented a survey that he thought the HPB or Planning Department should review to see if the barn should be revisited in terms of continued preservation.

Director Eddington thought the suggestion to establish a subcommittee was a good idea. He noted that any suggestions from the subcommittee or the HPB would be in the form of a recommendation to the City Council as the owner of the barn.

Board Member McFawn liked the idea of a subcommittee, but he felt it should go beyond the McPolin barn. He preferred that it be a historic properties subcommittee that could address City-owned structures or properties that are deteriorating, and provide recommendations to the City Council. Board Member McFawn did not favor a subcommittee that would be static for one item. He suggested a year-round subcommittee that could pursue a new property on a quarterly basis.

Chair Durst suggested that the subcommittee plan an informal meeting to begin a discussion on historic properties that are outside of the private realm. He mentioned BLM property. Director Eddington thought the Spriggs barn was also an issue. Board Member Martz did not believe the Spriggs Barn was on the Historic Sites Inventory. Director Eddington offered to look into it.

City Attorney Harrington cautioned the Board to be aware of doing public work in subcommittees outside of the public view. Because of the amount of history on the McPolin Barn, Mr. Harrington believed a plan could already be in place. He suggested that they begin with a broader presentation from the Friends of the Farm, the Staff, or someone else who could put it in perspective. He recalled that most of the decisions were policy decisions rather than financial decisions. Finances have been a factor, but the debate has been more towards how much of the farm should be open to the public. Mr. Harrington pointed out that the Planning process was equally as complicated. There has been a series of bond and deed restrictions of a third party, as well as the conditional use permit process that allowed a certain number of events per year. Mr. Harrington stated that it was appropriate for the HPB to weigh in on changing the current policy or taking new steps, but the existing policies need to be considered in their discussion.

Chair Durst suggested that he and David White meet with the Friends of the Farm. As they move forward, they could include one additional Board member to brainstorm ideas.

Board Member McKie asked if there was a limit on the number of people who could be on a subcommittee. Assistant City Attorney stated that they cannot have more than three subcommittee members and they cannot have a meeting outside of a meeting, either electronically or through communications. They cannot have a debate with more than three. Mr. Harrington stated that in the past they tried to encourage boards to utilize subcommittees for the basis of efficiency on technical matters that do not merit the attention of the entire board. The subcommittee researches and brainstorms and provides a report to their Board or Commission. The update is scheduled on the agenda and everyone hears the report.

Board Member McKie clarified that the recommendation was to keep the subcommittee to three members. City Attorney Harrington replied that his advice would be no more than three.

Board Member White asked if the City had documentation on how the barn was originally constructed. Chair Durst stated that after he visited the site, he was able to obtain a plat of the work that was done to enhance the access, parking lot and other improvements. The Building Department was unable to locate any other documentation. Board Member White noted that the existing cables make the structure unusable. He thought it would be helpful to find out how the barn was originally braced. Chair Durst believed the cabling stabilized the barn, however, it rendered the building uninhabitable.

Board Member Martz thought they should consider Mr. Harrington's comments about past history and consult with the groups involved, as well as with the City. Director Eddington stated that the Staff could begin to pull whatever information they could find from internal City sources. Planner Sintz stated that she would invite someone from Friends of the Farms, as well as someone from the City staff, to attend the June 15th meeting and update the Board.

Historic Preservation Seminar

Chair Durst reported on a seminar he had attended in New York City. It attracted his interest because the primary topic was green design vs. historic preservation. The intended outline of the course included the identification of sustainable design principles in conflict with historic preservation guidelines; and analyzing conflicting areas between sustainability and historic preservation. Chair Durst appreciated the opportunity to attend the seminar, although in hindsight he would not have gone because the presentation was abysmally poor.

Chair Durst stated that the premise of the presentation was that global warming is no longer a scientific guess and it creates an emerging conflict between preservation purists and new-age environmentalist. The challenge was adjoining historic preservation with sustainable guidelines. Chair Durst provided a summary of the presentation.

Chair Durst commented on sustainability and what the City Council has been discussing in terms of sustainability, keeping the community green and being efficient with energy resources. With higher energy costs, he felt it is necessary to promote sustainability; otherwise the existing structures would become uneconomical.

Director Eddington recalled that the Utah Heritage Foundation talked about the green benefit of preserving buildings rather than tearing them down, and to reuse certain materials to conserve energy. He reminded the Board that Thursday and Friday of the following week was the 2011 Utah Heritage Foundation Historic Preservation Conference.

Chair Durst felt the City should emphasize that tearing down a structure takes away the invested energy in the building and creates additional waste disposal.

City Attorney Harrington stated that as the Staff works with the Planning Commission to re-write the General Plan, it is important to overlap the various components of the General Plan and the priorities of preservation with sustainability to make sure the two do not conflict.

Next Visioning Session

Director Eddington stated that the HPB had their last visioning in February 2010. He requested that the Board discuss dates for another visioning. He noted that it would be an informal session over drinks and it would be noticed to the public. Chair Durst asked about the visioning information that Phyllis Robinson was compiling. Director Eddington replied that the visioning document was based on the core values and it was being used as the foundation for the General Plan. Director Eddington stated that one topic for the visioning session would be how to involve the HPB in some of the General Plan discussions.

Planner Sintz suggested that they align the dates for visioning with the timing of new Board members. Patricia stated that new Board members would be effective in July. Terms were up for Ken Martz, Roger Durst, and Judy McKie. Board Member Martz stated that he would not seek re-appointment.

Director Eddington suggested that they wait until July to schedule a visioning session. He suggested July 18th and 19th and asked the Board to tentatively leave those dates open.

Miscellaneous Business

Chair Durst reported that a session on Treasure Mountain was schedule for June 7th at Eccles. He encouraged all the Board members to attend if possible. Chair Durst believed that Treasure Mountain is critical to the historic district, regardless of how it is developed. It is immediately contiguous and its impact will be significant. He thought it was important for the Board to see what was being proposed.

Director Eddington noted that a similar presentation would be made to the Planning Commission at their meeting on June 8th.

Chair Durst asked if the HPB could discuss Treasure Hill and make a recommendation to the City Council. City Attorney Harrington stated that the broadest language allows the HPB to advise on zone changes, but it clearly states that CUPs and MPDs remain the decision of the Planning Commission. He cautioned the Board to be careful in their comments because they some things could potentially come before them for design

Historic Preservation Board
Minutes of May 4, 2011

review. Mr. Harrington stated that it would be appropriate for Board members to individually make comment to the City Council as residents and owners. Mr. Harrington clarified that the three scenarios were only status updates from the applicants on what they have put on the table. It was not anything the City has agreed to. He stated that Board members could provide input to the City Council on which scenario they favored, but he advised them to reserve judgment.

Chair Durst referred to the nine purpose statements for the HPB and the four additional duties. He reiterated that whatever happens with Treasure Hill is critical to the historic essence of the community. City Attorney Harrington pointed out that the purposes statements do not contemplate pending projects. He noted that the Treasure Hill application is currently on hold, and for that reason it is important to maintain some type of separateness. Mr. Harrington remarked that Item C was the closest because it talks about protection of the integrity of historic buildings and structures. From a policy level, if one solution on the table impacts the integrity of the district more than the others, it would be appropriate for Board members to provide comment. He cautioned them against doing anything prematurely, since the three scenarios were only updates at this point.

The meeting adjourned at 6:38 p.m.

Approved by: _____
Roger Durst
Historic Preservation Board

Historic Preservation Board Staff Report



Subject: 919 Woodside Avenue
Author: Kayla Sintz
Date: June 15, 2011
Type of Item: Quasi-Judicial Appeal
Project Number: PL-11-01253

Summary Recommendations

Staff recommends the Historic Preservation Board hold a quasi-judicial hearing on an appeal of the Planning Staff's determination of non-compliance with the Design Guidelines for Historic Districts and Historic Sites (Design Guidelines) for the proposed relocation of a historic structure located at 919 Woodside Avenue. The Planning Staff determined that the proposed movement of the Significant Structure does not comply with the Design Guidelines or the Land Management Code (LMC).

Topic

Owner/Applicant: Louise & Jack Mahoney
Applicant Representative: Craig Elliott - Architect
Location: 919 Woodside Avenue
Zoning: HR-1
Adjacent Land Uses: Residential
Reason for Review: Appeals regarding Historic District Design Guidelines are reviewed by the Historic Preservation Board

Background

The home at 919 Woodside Avenue is a Significant Site listed on the Park City Historic Sites Inventory (HSI). The current 2009 Design Guidelines apply to this application. The site currently sits vacant, with documented Preservation Plan on file (for reconstruction) and recorded Financial Guarantee lien recorded with the County in regards to the historic structure being re-built. The property timeline is as follows:

- On May 7, 2009 the City Council along with Chief Building Official and other City representatives visited threatened historic properties in town which had been subject to neglect. 919 Woodside was one of the properties visited on that date.
- On May 11, 2009 the property owners of 919 Woodside were sent a *Notice and Order to Repair, Vacate or Demolish Building* by the Chief Building Official. The property owners were notified of the dangerous

condition in which the building was in and were given a timeframe of which to respond to documenting and removing the structure.

- On June 30, 2009 in response to the Chief Building Official's Order of Notice to Demolish/Repair, a Preservation Plan was submitted documenting the existing historic structure. The Preservation Plan was approved by staff on October 30, 2009. A Financial Guarantee for \$131,500 was recorded as a lien on the property prior to demolishing the structure.
- On August 14, 2009 Elliott Workgroup submitted a Historic District Design Review application which included an addition to the historic structure. The application was closed on April 28, 2010 due to inactivity. The applicant representative indicated the project was put on hold and new design may be submitted at a future date.
- On August 18, 2010 a permit was issued to remove the dangerous structure. The Financial Guarantee includes a timeline of events of which an application for building permit be submitted within 24 months of demolition permit, or by August 18, 2012. The Preservation Plan only related to the original historic structure and did not contemplate additions proposed to the structure. Any modification to the original design would trigger an additional historic review (HDDR).
- On February 16, 2011 Elliott Workgroup submitted a Pre-Application, as required, in order to design an addition to 919 Woodside. The proposed design concept was different than the August 14, 2009. On February 23, 2011 the applicant representatives met with the Design Review Team as part of the regular agenda. At this meeting the applicant representative indicated they proposed moving the historic structure in order to accommodate a design at the rear of the property, among other changes. The architect was made aware of the LMC and Historic District design guideline requirements limiting moving a historic structure and was asked to turn in additional information with their full Historic District Design Review responding to the LMC and Guideline requirements.
- Following the pre-application meeting, a complete application for a Historic District/Site Design Review (HDDR) was received on March 17, 2011. In that application, Applicant requested that the historic structure be moved six (6) feet towards Woodside Avenue to accommodate a rear addition.
- Staff notified the interim acting Chief Building Official and Planning Director of the request to move the historic structure. Prior to reviewing the rest of the application, the Building Official and Planning Director reviewed the application and the 'unique conditions' submitted in regards

to the request to relocate the historic structure. On April 27, 2011 they found the site did not meet the criteria as outlined in the LMC and Historic Guidelines for relocation. An Action Letter of Denial to relocate was sent to the Project Representative on April 28, 2011.

Appeal

On May 9, 2011, the applicant submitted a written appeal (Exhibit A) pursuant to Chapter 15-1-18(A) of the Land Management Code. Appeals made within ten (10) days of the staff's determination of compliance with the Design Guidelines are heard by the Historic Preservation Board (HPB). (If the 10 days falls on a weekend or holiday, the final day is the following work day).

Standard of Review

Appeals of decisions regarding the Design Guidelines for Historic Districts and Historic Sites shall be reviewed by the Historic Preservation Board (HPB) as described in 15-1-18(A) and 15-11-12(E). The HPB shall act in a quasi-judicial manner. A "quasi judicial act" is defined as a judicial act, which is performed by someone who is not a judge. Therefore, like a judge, board members shall not have communication with anyone concerning this matter ("ex parte" communication) outside of the appeal hearing.

Per LMC Section 15-11-12(E), the scope of review by the HPB shall be the same as the scope of review at the Planning Department level. The HPB shall either approve, approve with conditions, or disapprove the proposal based on written findings of fact, conclusions of law, and conditions of approval, if any, supporting the decision, and shall provide the owner and/or applicant with a copy of such. Any Historic Preservation Board decision may be appealed to the Board of Adjustment pursuant to LMC Section 15-10-7.

LMC 15-1-18(G) requires that the HPB shall review factual matters de novo and it shall determine the correctness of Staff's interpretation and application of the Historic District Guidelines and the Land Management Code. "De Novo" means anew, afresh, the same as if it has not been heard before and as if no decision had been previously rendered. Therefore, the HPB shall conduct an original, independent proceeding on the Historic District Design Review.

Analysis

The historic building had an original construction date of 1904 (per Summit County Records) despite the structure showing up on the 1900 Sanborn Map. 919 Woodside was constructed during the Mature Mining Era (1894-1930). Despite numerous non-historic additions, the home will be reconstructed to its original T/L configuration per the approved Preservation Plan on file. The site is listed as a Significant Site on the Park City Historic Sites Inventory (HSI) and is not eligible for the National Historic Register. The existing historic structure to be reconstructed consists of approximately 849 square feet of main structure and 83 square foot front porch.

The applicant has also submitted a Plat Amendment application, which is required to combine the two parcels on which the home historically sat across; Lot 5 and south ½ of Lot 6, Block 10. Lot 5 is 25 feet by 75 feet and Lot 6 is shown at 12.5 feet by 75 feet. If approved, the Plat Amendment will create a Lot which will be 37.5 feet by 75 feet in total.

The application's full design was not reviewed due to the denial to relocate the structure and move it forward on the site. Pending the outcome of this appeal, any design would still have to be reviewed for compliance with the Historic Guidelines. The proposed findings attached herein only address the request to move the historic structure, and does not address the design of the other proposed changes to the structure (basement addition with garage and rear two-story addition).

The Historic Preservation Board review is limited to the criteria and request to move the structure within the site and not the proposed addition to the structure.

Movement of the House: The design proposes moving the historic Structure six (6') feet forward towards Woodside Avenue to accommodate a rear addition. This HDDR was denied because the applicant's proposed movement of the historic Structure is not applicable to any of the criteria listed in LMC Section 15-11-13 or Historic District Guideline E.I.I and corresponding sidebar. The Design Guideline almost mirrors the LMC. In any case, LMC Section 15-11-12 states "whenever a conflict exists between the LMC and the Design Guidelines, the more restrictive provision shall apply to the extent allowed by law."

Design Guideline E.I.I states: "Relocation and/or reorientation of the historic buildings should be considered only after it has been determined by the Design Review Team that the integrity and significance of the historic building will not be diminished by such action and the application meets one of the criterion listed" (the sidebar is the same as the criteria listed below excluding criterion #4).

A site may be considered historic if:

- It is at least fifty years old
- It is associated with events or lives of important people in the past,
- It embodies distinctive characteristics of type, a period, or a construction method, or is the work of a notable architect or craftsman

Relocation moving the historic structure six feet toward Woodside Avenue was determined by the Design Review Team to not affect the integrity and Significant historic status of the building.

LMC Section 15-11-13 states:

It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the relocation and/or orientation of Historic Buildings, Structures, and Sites.

(A) In approving a Historic District or Historic Site design review Application involving relocation and/or reorientation of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the Planning Department shall find that the project complies with the following criteria:

(1) A portion of the Historic Building(s) and/or Structure(s) encroaches on an adjacent Property and an easement cannot be secured; or

Not applicable. Encroachments do not exist on this site.

(2) The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or

Not applicable. The historic structure has already been removed and has Financial Guarantee lien on file for reconstruction. The structure may remain on site and is not proposed to be moved to another site.

(3) The Planning Director and the Chief Building Official determine that unique conditions warrant the proposed relocation and/or reorientation on the existing Site; or

Does not comply. The Planning Director and Chief Building Official determined there are not unique conditions present on site.

Discussion: The Appellants argue that the historic location of 919 Woodside being sited further back on the lot (see Sanborn maps attached) is in itself a unique condition. The application to relocate the structure was based on the fact that moving the structure forward to accommodate an addition would then more closely match the front yard setback and street patterning existing in this section of Woodside Avenue and would not be noticeable since the structure had already been demolished. The Planning Director and Chief Building Official determined that a non-typical deep front yard setback not matching the other historic homes in this area was not a unique condition. Reconstruction is an identified method of preservation and, therefore, should follow exactly the historic conditions and period of which the structure was built, to include location on site. Sanborn map of 1889 does not show a structure at this location. Sanborn map of 1900 and 1907 (Exhibit D) show the structure at 919 Woodside Avenue historically built further back on the lot. The Land Management Code and Historic Guidelines do not contemplate movement of an historic structure simply for the ability of better

design and/or to accommodate an addition. The criteria for reorienting and relocating historic structures was, in part, due to the issue of these very structures being moved for additions, and in being moved and added to, they lost their historic context and historic designation.

(4) The Planning Director and the Chief Building Official determine that unique conditions warrant the proposed relocation and/or reorientation to a different Site.

Not applicable. Applicant is not requesting to relocate the house onto a different Site.

Staff has analyzed the criteria above and recommends that pursuant to LMC section 15-11-12 the application must be **denied** because the proposed project does not comply with the Historic District Guidelines or LMC 15-11-13.

Notice

The noticing requirements of LMC Section 15-1-21 have been met. The property was posted seven (7) days prior to the date set for the appeal, noticing was sent to all parties who received mailed notice for the original administrative action seven (7) days prior to the hearing, and the agenda was published in a newspaper of local circulation once seven (7) days prior to the hearing.

Public Input

Public input has not been received as of the writing of this report.

Recommendation

Staff recommends that the Historic Preservation Board review the appeal and consider upholding staff's decision for denial for relocation of 919 Woodside Avenue based on the following findings of fact and conclusions of law:

Findings of Fact

1. The site is 919 Woodside Avenue. 919 Woodside Avenue is listed as a Significant Site on the Park City Historic Sites Inventory.
2. 919 Woodside Avenue has a Financial Guarantee associated with the property, recorded as a lien, which requires the historic structure to be reconstructed as part of the approved Preservation Plan.
3. The Pre-Application Historic District Design Review was submitted to the Planning Department on February 16, 2011. The Design Review Team (DRT) met with the applicant's representatives on February 23, 2011. The applicant indicated a basement and garage addition were being proposed, as well as, a rear addition. The rear addition as proposed would require the historic structure to be moved forward on the site. The DRT directed the applicant to submit additional information, per the Historic District Guidelines and Land Management Code as to the unique

conditions present on site warranting the movement of the historic structure.

4. On March 17, 2011 the applicant submitted a full Historic District Design Review for 919 Woodside, including a memo to the Planning Director and Building Official describing unique conditions associated with the property.
5. The applicant supplemented the application request with additional information of perspective drawings on April 20 and April 27, 2011.
6. The application proposes to relocate the existing Significant Structure from the original historic location. The application proposes to move the home six (6) feet towards Woodside Avenue and keep the orientation to the street as it has historically been oriented.
7. LMC section 15-11-12 requires that an application shall be denied if the Planning Department determines that the application does not comply with the Historic District Guidelines.
8. The application does not comply with Historic District Design Guideline (HDDG) E.1.1, as follows:

“Relocation and/or reorientation of historic buildings should be considered only after it has been determined by the design review team that the integrity and significance of the historic building will not be diminished by such action and the application meets one of the criterion listed in the side bar to the left (as follows). In the HRL, HR1, HRM and HRC zones, existing historic sites that do not comply with building setbacks are considered valid complying structures. Therefore, proposals to relocate and/or reorient homes may be considered only:

 1. If a portion of the historic building encroaches on an adjacent property and an easement cannot be secured; or
 2. If relocating the building onto a different site is the only alternative to demolition; or
 3. If the Planning Director and Chief Building Official determine that unique conditions warrant the relocation or reorientation on the existing site.”
9. The design review team determined the proposed relocation of the historic building six feet toward Woodside Avenue would not affect the integrity and historical significance per outlined criteria in the Historic Guidelines.
10. LMC 15-11-13 states the criteria for the relocation of historic buildings. It states: “It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the relocation and/or reorientation of Historic Buildings, Structures, and Sites” and lists the same criteria for consideration of movement of homes as listed in HDDG E.1.1 with one additional criterion which states “The Planning Director and the Chief Building Official determine that unique conditions warrant the proposed relocation and/or reorientation to a different Site.”
11. The Planning Director and Chief Building Official determined that a non-

typical deep front yard setback not matching the other historic homes in this area was not a unique condition. Reconstruction is an identified method of preservation and, therefore, should follow exactly the historic conditions and period of which the structure was built, to include location on site.

12. The Chief Building Official did not determine that unique conditions exist to warrant the proposed relocation and/or reorientation on the existing site. There are no unique building code conditions on the site.
13. The Planning Director did not determine that unique conditions exist to warrant the proposed relocation and/or reorientation on the existing site. There are no unique planning or site conditions on the site.
14. The HPB has determined that no unique conditions exist to warrant the proposed relocation on the existing site. There are no unique planning site conditions or building code conditions on the site.
15. The findings within the analysis section are incorporated within.

Conclusions of Law

1. Pursuant to LMC section 15-11-12 the application must be denied because the proposed project does not comply with the Historic District Guidelines or LMC 15-11-13.

Order:

1. The Design Review application request for movement of the historic structure is denied.

Exhibits

Exhibit A – Appeal

Exhibit B – Staff Action Letter – Denial to relocate historic structure

Exhibit C – Approved Preservation Plan for Reconstruction 2009

Exhibit D – Historic Sites Inventory - 919 Woodside Avenue

Exhibit E – Historic District Design Review Application 2011 – Denied (design not reviewed)

Thomas Eddington
Planning Director
Park City Municipal Corporation
445 Marsac Avenue
PO Box 1480
Park City, Utah 84060

re: Application No. PL-11-01202
919 Woodside Avenue
Historic District Design Review Application
Request to Move Historic Structure

Mr. Eddington:

Please accept this letter as petition from the applicant to appeal to the Historic Preservation Board the denial ruling for the above referenced project.

The denial letter affirms that “the integrity and significance of the historic building will not be diminished by such action” because the only reference to denial is in reference to the lack of confirmation from the Building Official and Planning Director as to the Unique Conditions. So, the appeal disputes the determination of a lack of “unique conditions” to “warrant” the proposed relocation on the site. “Unique Conditions” are not defined in the Land Management Code, nor is “Warrant”. Because these terms are not defined in the code (and quite frankly should not be), the appeal will describe how the project meets the definition of “Unique” and “Conditions” and “Warrant” as required by the Land Management Code, from the Webster’s New Collegiate Dictionary, latest edition. I believe latest edition to be the Eleventh Edition, published in 2003. If the appropriate edition is different, please advise. The presentation to the Historic Preservation Board will have to use the definition of three separate words because I have been unable to find the phrase “unique conditions” in the specified dictionary.

It is clear in the Historic District Design Guidelines and Land Management Code that the “Conditions” (a premise upon which the fulfillment of an agreement depends) that are “Unique (being the only one) must be Warranted (to declare and maintain with certainty) to relocate a historic structure. So, it is clear in our submittal that the **premise upon which** the structure is to be relocated is that it is **the only one** on the block that is located significantly away from the street, facts which are **declared and maintained with certainty**.



Allowing a judgement of appropriateness (which is essentially what warranting unique conditions is) allows a project to be considered individually upon the merits of its site, both existing and proposed. This is one of the more forward looking components of Park City's historic preservation policies, because good design can not be quantified, by height, width, mass and form. And as much as the Land Management Code and Historic District Guidelines try to cause good design, the best outcome possible is to create a minimum standard of size and quality of material. A bad design can meet all of the definitions of a code and do more harm to the architectural character of Park City than any number of good designs that do not.

The reason real people review design issues is that it is impossible to create a formula for good design. Good design requires context and people to interpret that context. The existing site and proposed solution are both unique because of the context of the existing structure. Moving this structure does not damage the historic nature of Park City. Leaving the condemned, and horribly modified structure in place would have.

I look forward to the opportunity to present to the Historic Preservation Board.

Sincerely,



Craig Elliott, AIA
Elliott Workgroup Architecture
364 Main Street
P.O. Box 3419
Park City, Utah 84060
(435) 649-0092



April 28, 2011

Craig Elliott / Karen Backstrom– Project Representatives
Elliott Workgroup Architecture
PO Box 3419
Park City, UT 84060

Application #: PL-11-01202
Subject: 919 Woodside Avenue
Description: Historic District Design Review Application
Request to move historic structure

On April 27, 2011 the Park City Planning Director and Interim Building Official made an official determination of Denial of your application request to move the historic structure from its original location based on the following:

Findings of Fact

1. The site is 919 Woodside Avenue. 919 Woodside Avenue is listed as a Significant Site on the Park City Historic Sites Inventory.
2. 919 Woodside Avenue has a Financial Guarantee associated with the property, recorded as a lien, which requires the historic structure to be reconstructed as part of the approved Preservation Plan.
3. The Pre-Application Historic District Design Review was submitted to the Planning Department on February 16, 2011. The Design Review Team (DRT) met with the applicant's representatives on February 23, 2011. The applicant indicated a basement and garage addition were being proposed, as well as, a rear addition. The rear addition would require the historic structure to be moved forward on the site. The DRT directed the applicant to submit additional information, per the Historic District Guidelines and Land Management Code as to the unique conditions present on site warranting the movement of the historic structure.
4. On March 17, 2011 the applicant submitted a full Historic District Design Review for 919 Woodside, including a memo to the Planning Director and Building Official describing unique conditions associated with the property.
5. The applicant supplemented the application request with additional information of perspective drawings on April 20 and April 27, 2011.
6. The application proposes to relocate the existing Significant Structure from the original historic location. The application proposes to move the home six (6) feet towards Woodside Avenue and keep the orientation to the street as it has historically been oriented.
7. LMC section 15-11-12 requires that an application shall be denied if the

Planning Department determines that the application does not comply with the Historic District Guidelines.

8. The application does not comply with Historic District Design Guideline (HDDG) E.1.1, as follows:

“Relocation and/or reorientation of historic buildings should be considered only after it has been determined by the design review team that the integrity and significance of the historic building will not be diminished by such action **and** the application meets one of the criterion listed in the side bar to the left (as follows). In the HRL, HR1, HRM and HRC zones, existing historic sites that do not comply with building setbacks are considered valid complying structures. Therefore, proposals to relocate and/or reorient homes **may be considered only**:

- If a portion of the historic building encroaches on an adjacent property and an easement cannot be secured; or
- If relocating the building onto a different site is the only alternative to demolition; or
- If the Planning Director and Chief Building Official determine that unique conditions warrant the relocation or reorientation on the existing site.”

9. LMC 15-11-13 states the criteria for the relocation of historic buildings. It states: “It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the relocation and/or reorientation of Historic Buildings, Structures, and Sites” and lists the same criteria for consideration of movement of homes as listed in HDDG E.1.1 with one additional criterion which states “The Planning Director and the Chief Building Official determine that unique conditions warrant the proposed relocation and/or reorientation to a different Site.”
10. The Chief Building Official did not determine that unique conditions exist to warrant the proposed relocation and/or reorientation on the existing site. There are no unique building code conditions on the site.
11. The Planning Director did not determine that unique conditions exist to warrant the proposed relocation and/or reorientation on the existing site. There are no unique planning or site conditions on the site.

Conclusions of Law

1. Pursuant to LMC section 15-11-12 the application must be denied because the proposed project does not comply with the Historic District Guidelines or LMC 15-11-13.

This letter constitutes a final action by the Planning and Building Departments. You may appeal this decision pursuant to LMC Section 15-1-18 within 10 calendar days.

Sincerely,



Thomas Eddington
Planning Director



Roger Evans
Interim Building Official

Jack Mahoney

919 Woodside Avenue Preservation Package

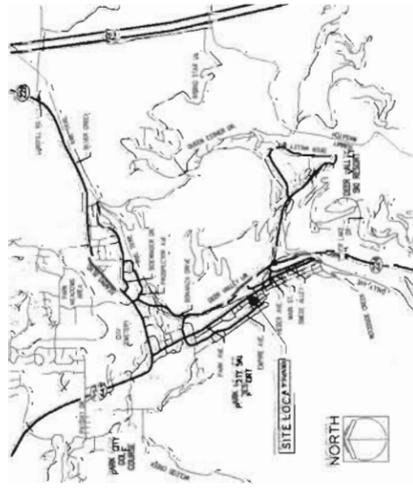
*PER DEMO ORDER
BY CHIEF
BUILDING
OFFICIAL
JMS*

919 Woodside Avenue
Park City, UT 84060

Preservation Package

June 29, 2009

VICINITY MAP



PROJECT CONTACT INFORMATION

OWNER	ARCHITECT	BUILDER
MAHONEY ENTERPRISES LP 193 N. STATE ROAD 32 KAMAS, UT 84036 435.640.4405 CONTACT: JACK MAHONEY	ELLIOTT WORKGROUP 364 MAIN STREET P.O. BOX 3419 PARK CITY, UT 84060 435.649.0092 CONTACT: CRAIG ELLIOTT, AIA	N/A
ON-SITE ENGINEER	INTERIOR DESIGN	LANDSCAPE ARCHITECTURE
N/A	N/A	N/A
STRUCTURAL ENGINEER	PLUMBING ENGINEER	ELECTRICAL ENGINEER
N/A	N/A	N/A

SERVICE CONTACTS

Rocky Mountain Power 201 South Main St, Suite 2300 Salt Lake City, UT 84111 (866) 870-3419	Quest Phone Company 5811 Lake Park Dr Park City, UT 84098 (800) 922-7387
Park City School District 2700 Kearns Blvd Park City, UT 84060 (435) 645-5600	Park City Fire Department 730 Birner Rd Park City, UT 84098 (435) 649-6706
Park City Municipal Corp 1354 Park Ave Park City, UT 84060 (435) 658-9471	Comcast Cable 1777 Sun Peak Dr. #105 Park City, UT 84098 (435) 664-4020
Quartzark P.O. Box 45260 Salt Lake City, UT 84145 (800) 541-2824	Division of Water Quality 288 South 1460 East Salt Lake City, UT 84112 (801) 538-6146
Snyderville Post Office 1400 Hwy 22 Park City, UT 84098 (800) 275-8777	Snyderville Basin Water Administration District 2800 Hwy 22 Park City, UT 84098 (435) 649-7993

DRAWING INDEX

PRESERVATION DRAWINGS
A-1 COVER SHEET
A-2 APPRAISALS, TAX PLATS, & PHOTOS
A-3 PHOTOS - EXISTING CONDITIONS
A-4 SURVEY
A-5 EXISTING SITE PLAN & STREETSCAPE
A-6 EXISTING FLOOR PLANS
A-7 EXISTING ELEVATIONS
A-8 PROPOSED FLOOR PLANS
A-9 HISTORIC DETAILS/WINDOWS & DOOR SCHEDULE
A-10 HISTORIC DETAILS/ FRONT ELEVATION

BUILDING DESCRIPTION

The residential house residing at 919 Woodside Avenue in Park City, Utah was constructed between 1890 & 1900, according to the recorded Sanborn maps from 1890 & 1900. The original building was a two-story structure with a gambrel roof. The original building was built as an "L" shaped footprint under two intersecting gabled roofs. Wood siding was used for the exterior as shown in the photo above. The original roofing material consisted of wood shingles. Three covered porches existed on the original plans (SE corner, South facade, and SW corner). These were still present on the 1949 tax plat. The 1968 tax plat shows that the porches near the SW corner were removed. The porch on the West end was framed in wood and covered with a metal roof. The porch on the East end of the building was enclosed in as well. Wood framing was used for this expansion and increased the building square footage by approximately 120 square feet. The historic photo above shows double hung windows located in the bay window to the East. Typical historic columns, trim, and details, can be seen in the photo as well. It can be assumed that these materials and details were used throughout the original residential house.

The building at 919 Woodside Avenue is in a state of unsafe conditions. The roof, floors, and walls are all rotten and are collapsing. The buildings windows and doors have currently been boarded up to protect the public from these unsafe conditions.

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COVER SHEET

919 Woodside Avenue
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PHOTOS - EXISTING CONDITIONS
 A-3

919 Woodside Avenue
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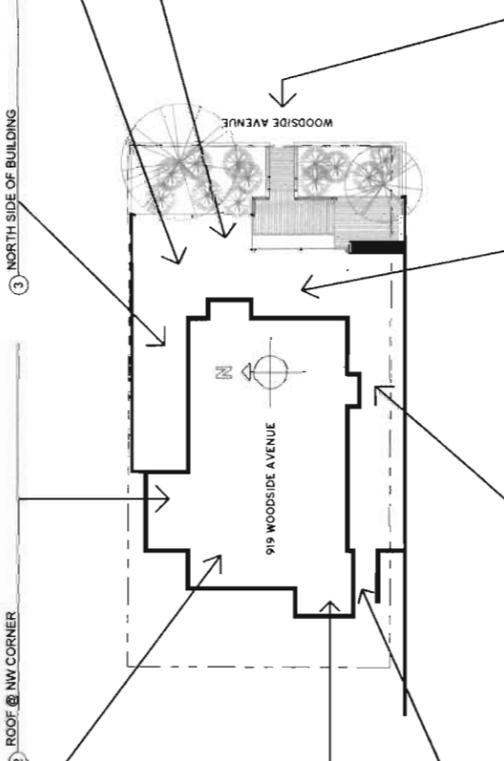
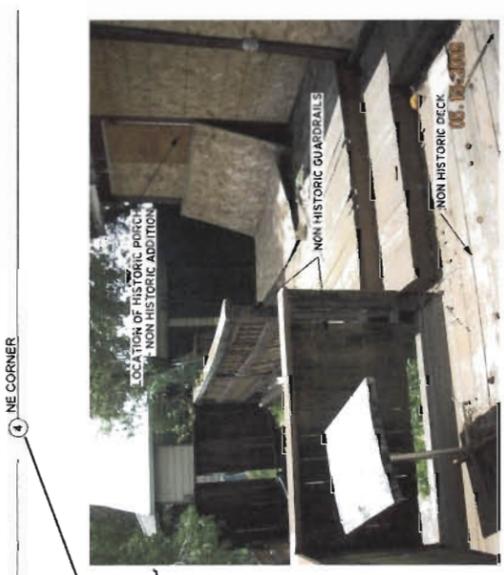
919 Woodside Avenue
 Park City, UT 84060

Jack Mahoney

elliott
 workgroup
 architecture
 435.648.0022 801.15.1839 www.elliottworkgroup.com

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 June 29, 2009

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1 NE CORNER

2 NORTH SIDE OF BUILDING

3 ROOF @ NW CORNER

4 GABLED ROOF @ NW CORNER

5 ROOF @ GRADE SW CORNER

6 EAST DECK

7 EAST ELEVATION

8 BAY WINDOW @ EAST SIDE

9 BRICK CHIMNEY & DECK @ SOUTH SIDE

10 STAIR AND CELLAR @ SW CORNER

SURVEYOR'S CERTIFICATE

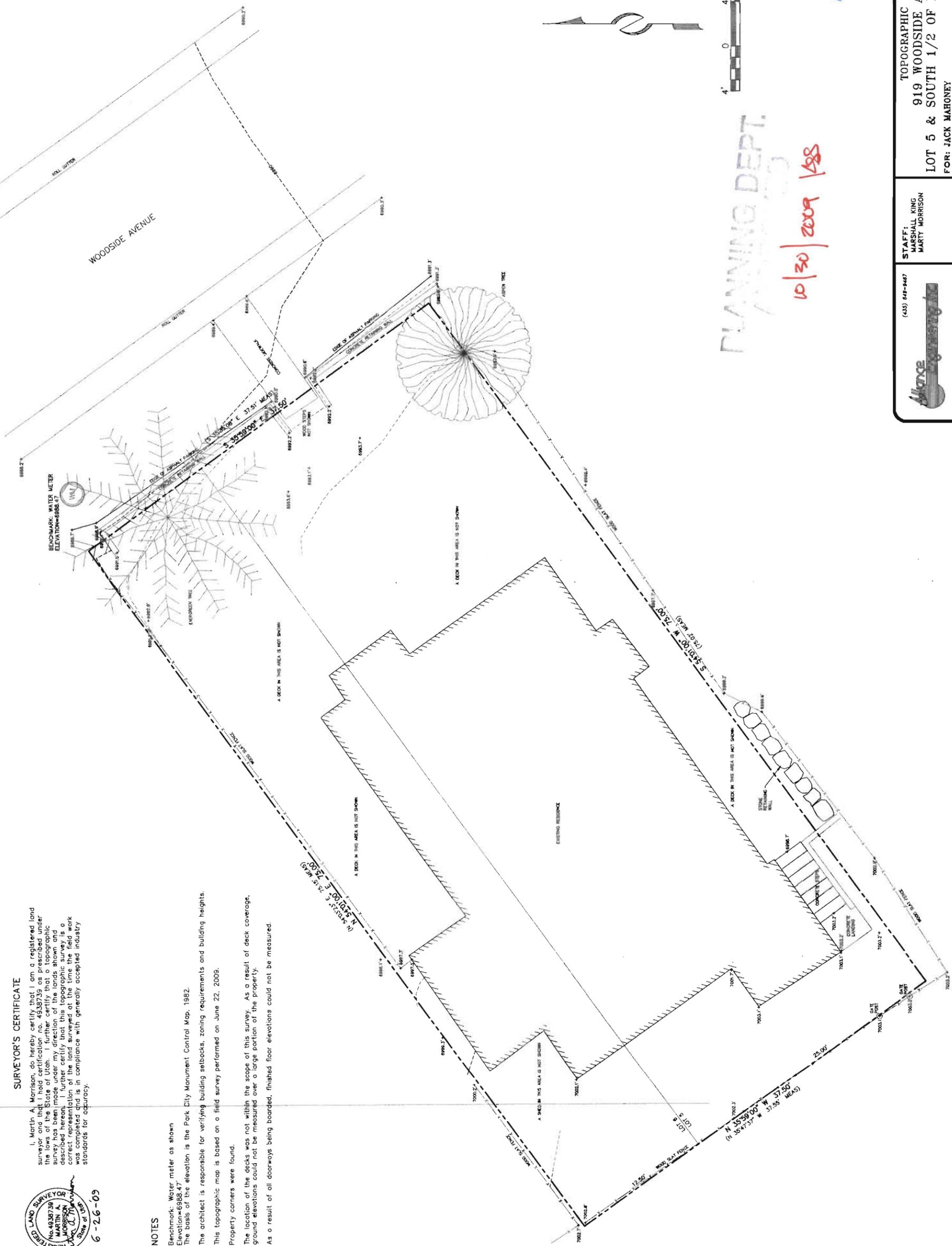
I, Martin A. Morrison, do hereby certify that I am a registered land surveyor and that I hold certification no. 4538739 as prescribed under the laws of the State of Utah. I further certify that a topographic survey has been made under my direction of the lands shown and described herein. I further certify that this topographic survey is a correct representation of the land surveyed at the time the field work was completed and is in compliance with generally accepted industry standards for accuracy.

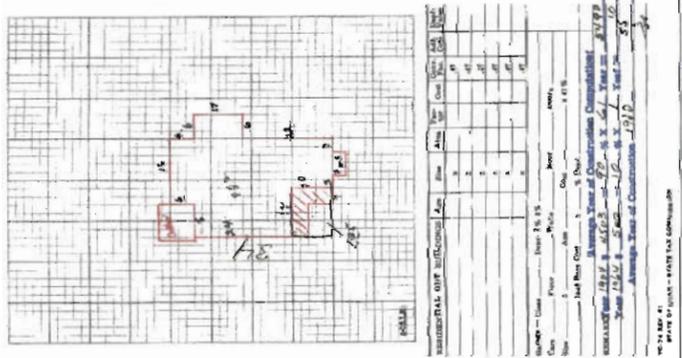


6-26-09

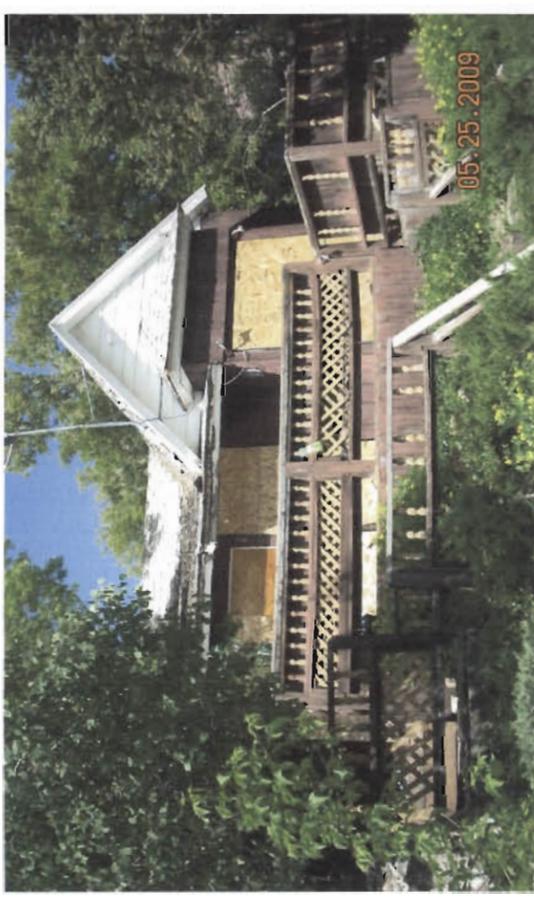
NOTES

1. Benchmark: Water meter as shown. Elevation=6988.47. The basis of the elevation is the Park City Monument Control Map, 1982.
2. The architect is responsible for verifying building setbacks, zoning requirements and building heights.
3. This topographic map is based on a field survey performed on June 22, 2009.
4. Property corners were found.
5. The location of the decks was not within the scope of this survey. As a result of deck coverage, ground elevations could not be measured over a large portion of the property.
6. As a result of all doorways being boarded, finished floor elevations could not be measured.



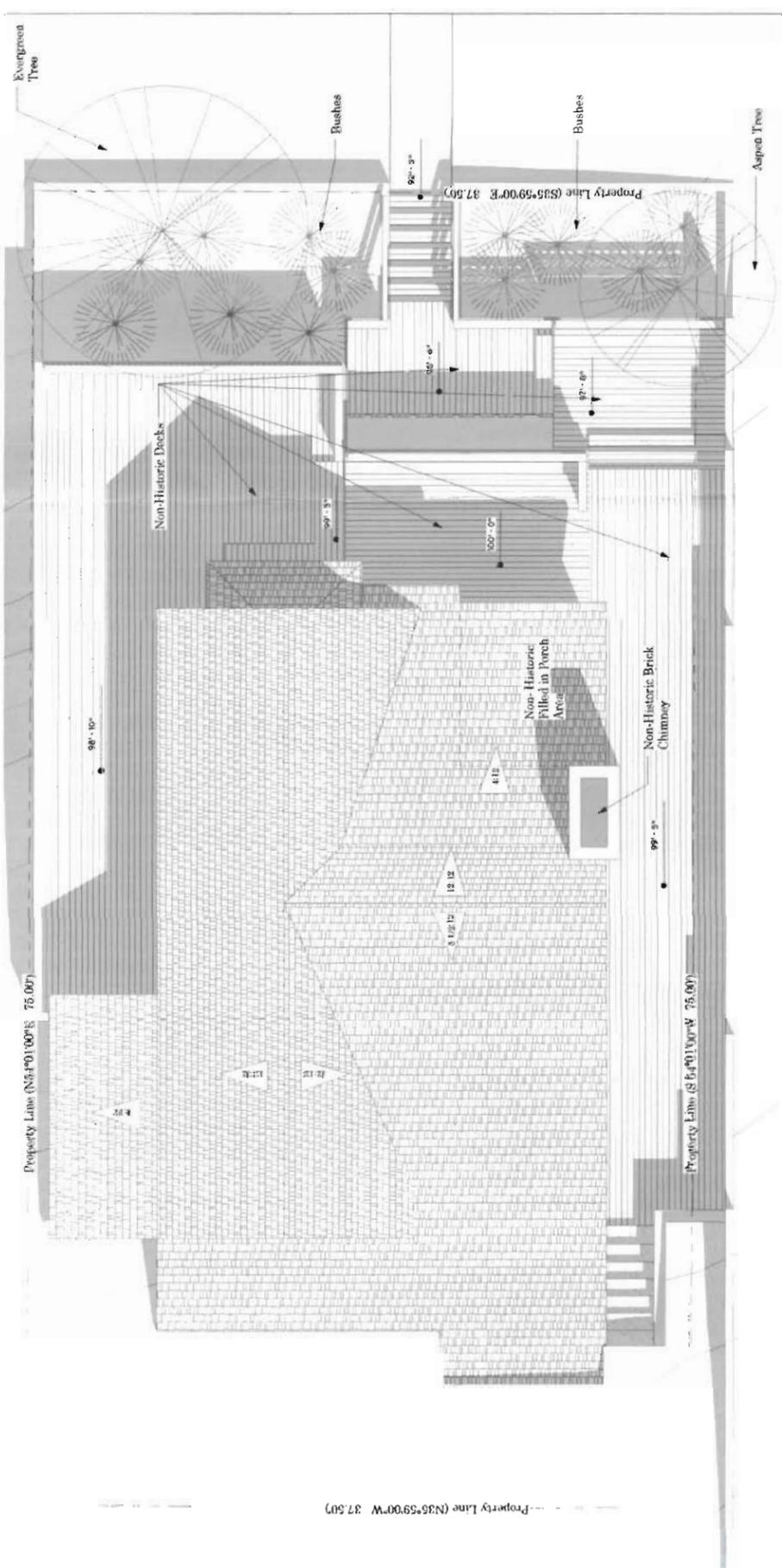


2 Copy of 1968 Tax Plat
SCALE: 1/4" = 1'-0"



3 Copy of 2009 Photo - East Elevation
SCALE: 3/32" = 1'-0"

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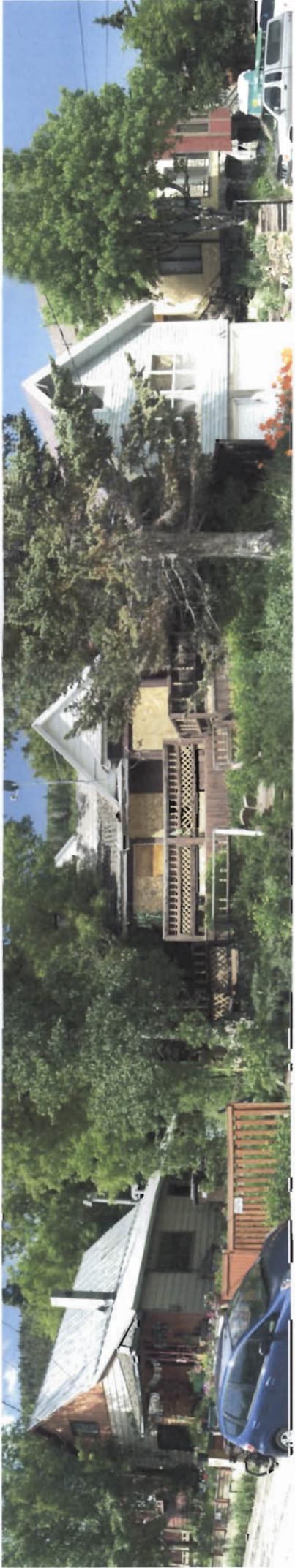
1 EXISTING SITE PLAN - 1968
SCALE: 1/4" = 1'-0"

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Jack Mahoney
919 Woodside Avenue
Park City, UT 84060

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Existing Site Plan
SD-3



1 EXISTING STREETSCAPE
SCALE: NTS



2 SITE PLAN
SCALE: 1/8" = 1'-0"

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A-5

EXISTING SITE PLAN & STREETSCAPE
02/29/2009 9:44:43 AM

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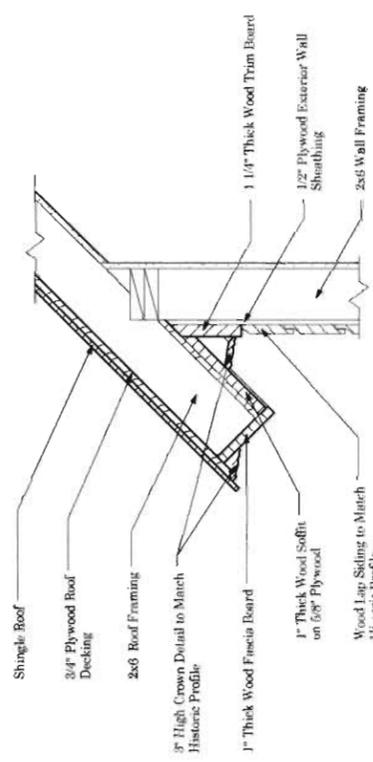
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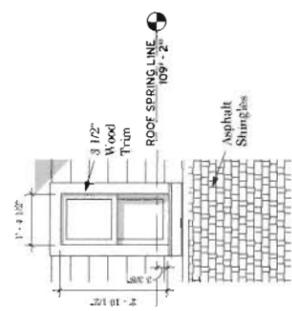
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Park City, UT 84060
919 Woodside Avenue
Preservation Package

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HISTORIC DETAILS/WINDOWS & DOOR
SCHEDULE
A-10
DATE 10/20/2007 LSS

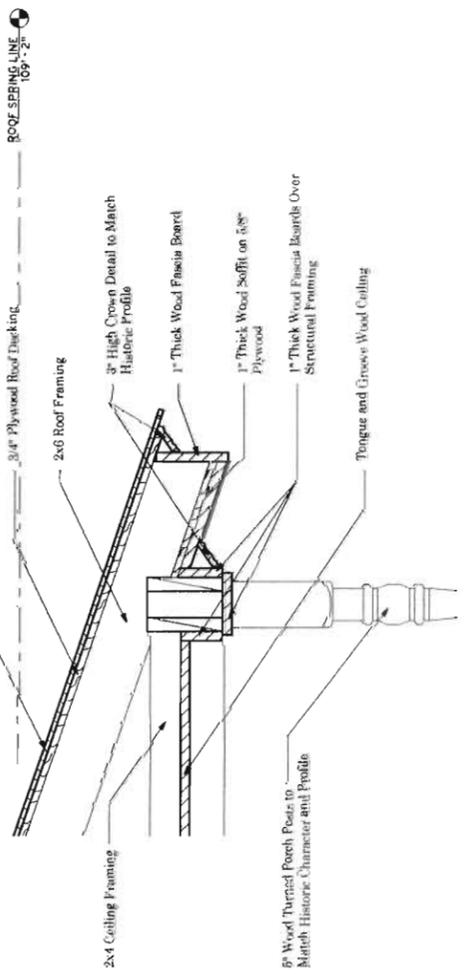
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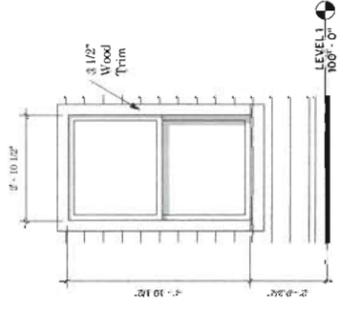
2 ROOF EAVE DETAIL
SCALE: 1/2" = 1'-0"



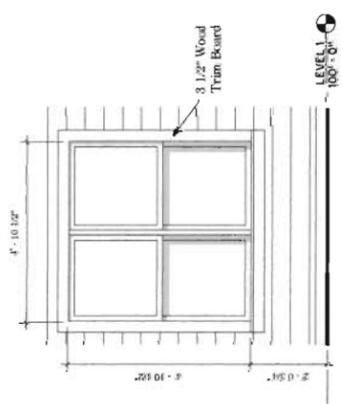
F Double Hung Wood Window-Type "F"
SCALE: 1/2" = 1'-0"



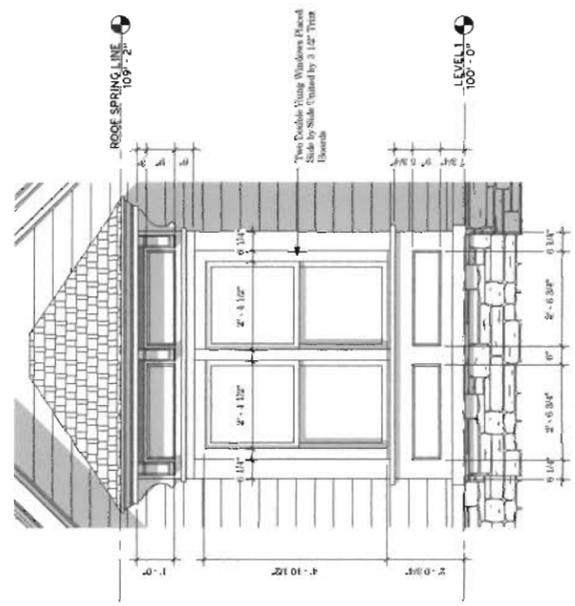
1 PORCH ROOF DETAIL
SCALE: 1/2" = 1'-0"



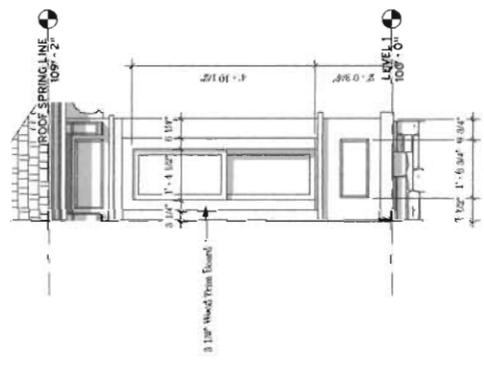
C Double Hung Wood Window-Type "C"
SCALE: 1/2" = 1'-0"



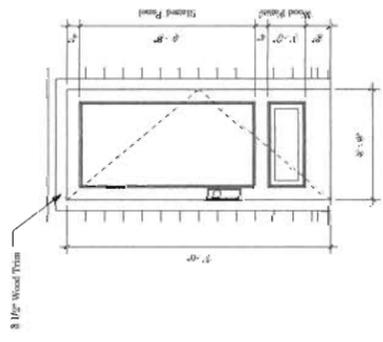
D Double Hung Wood Window-Type "D"
SCALE: 1/2" = 1'-0"



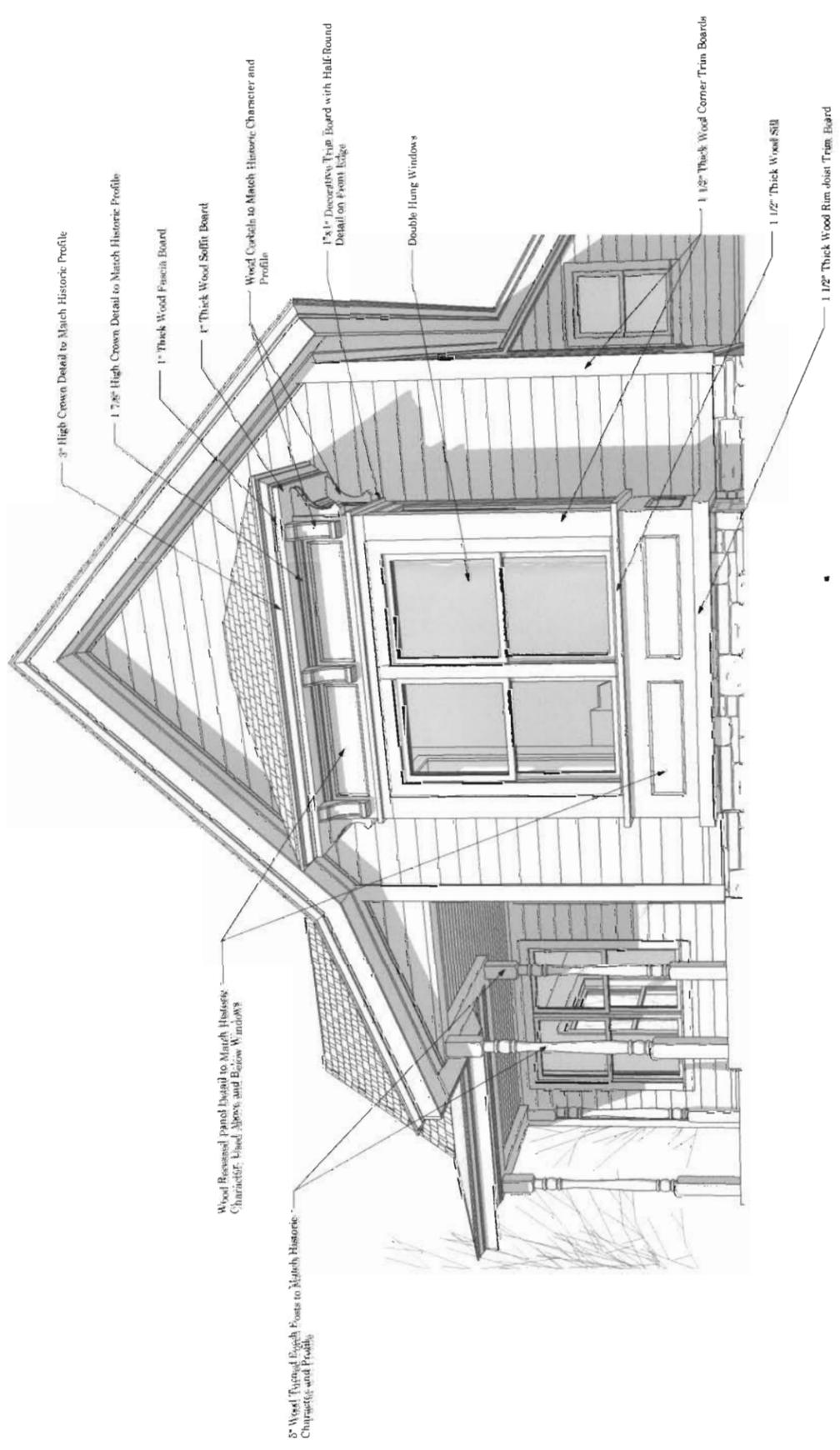
A Double Hung Wood Window - Type "A"
SCALE: 1/2" = 1'-0"



B Double Hung Wood Window - Type "B"
SCALE: 1/2" = 1'-0"



aa Typical Exterior Door
SCALE: 1/2" = 1'-0"



1 HISTORIC DETAILS - FRONT ELEVATION
SCALE:

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HISTORIC DETAILS/ FRONT ELEVATION

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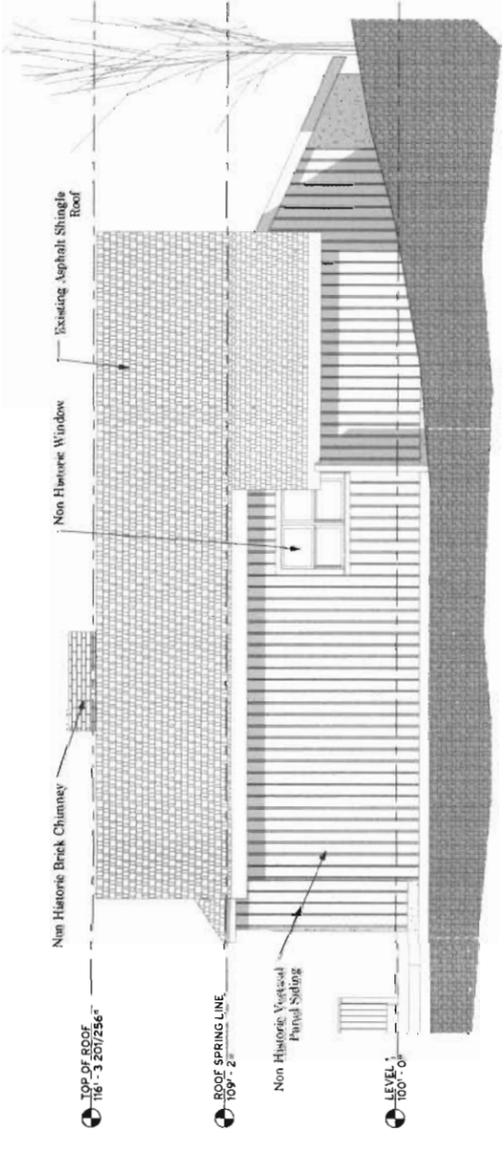
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EXISTING ELEVATIONS

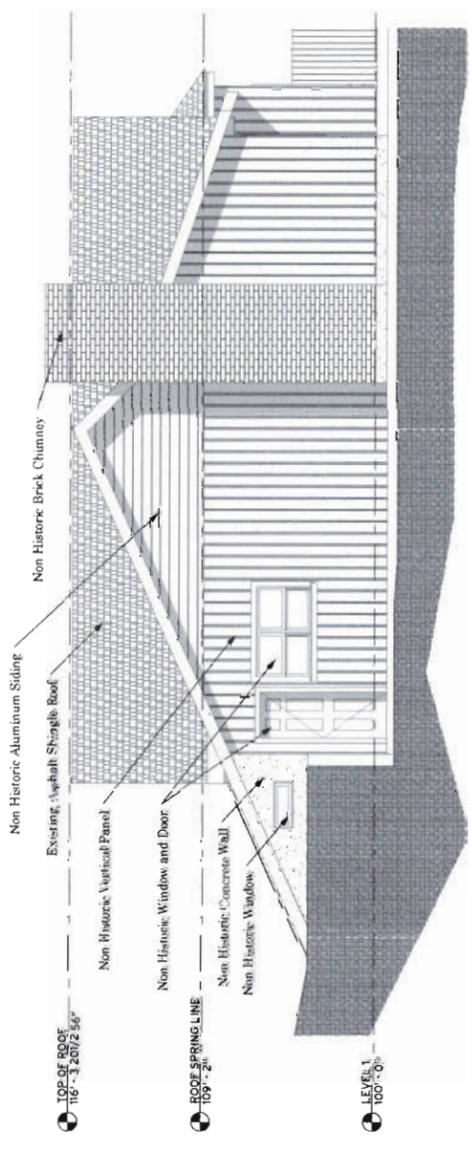
A-7

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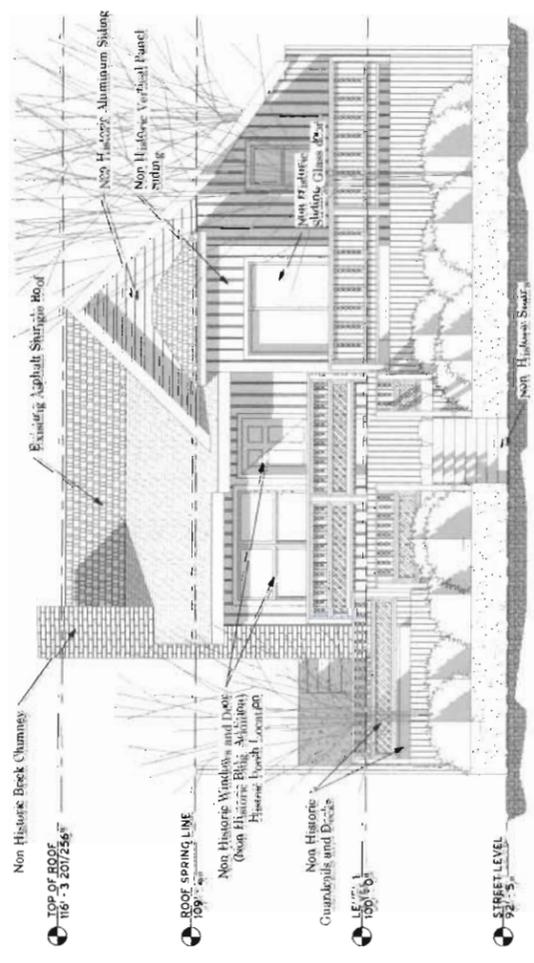
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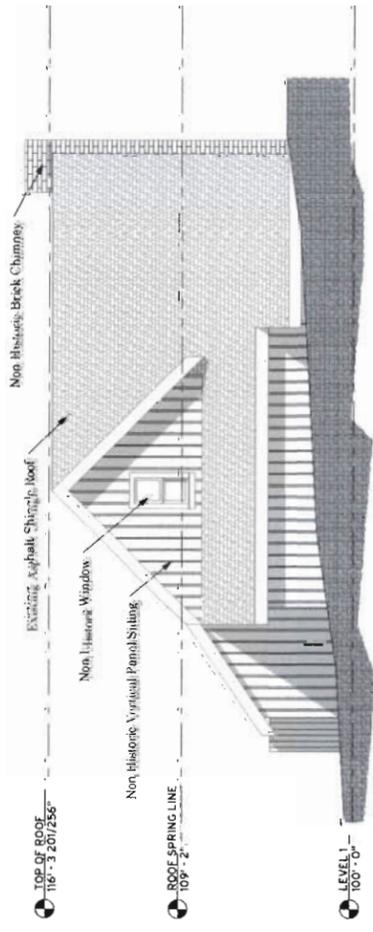
2 EXISTING - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



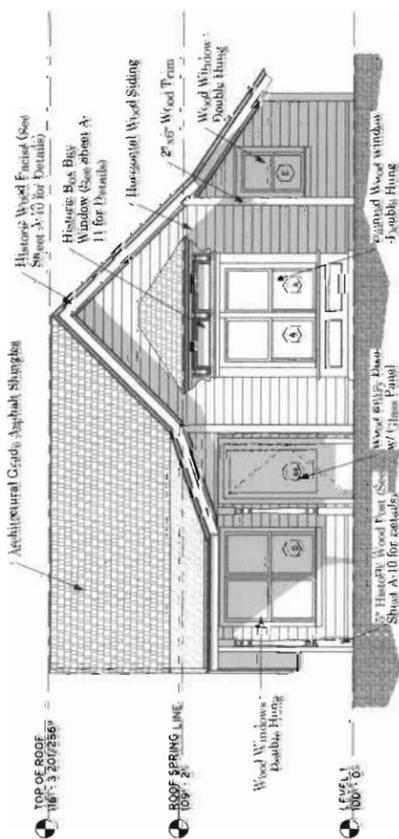
3 EXISTING - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING - EAST ELEVATION
SCALE: 1/4" = 1'-0"

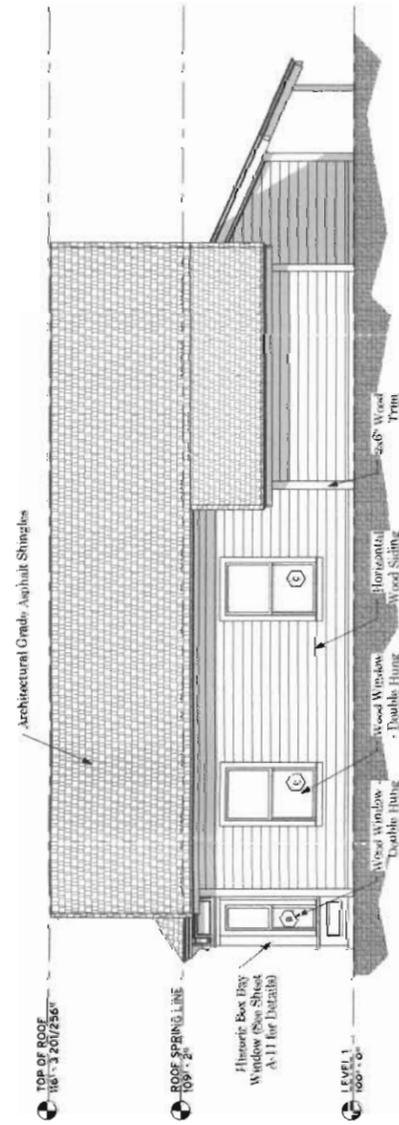


4 EXISTING - WEST ELEVATION
SCALE: 1/4" = 1'-0"



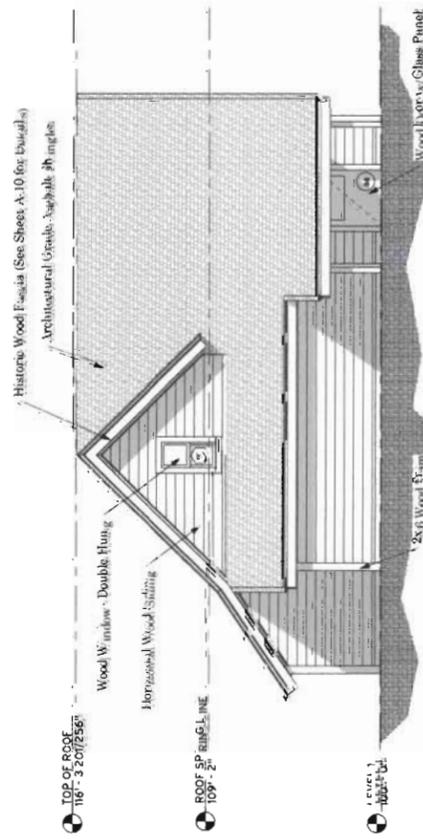
1 PROPOSED - EAST ELEVATION

SCALE: 1/4" = 1'-0"



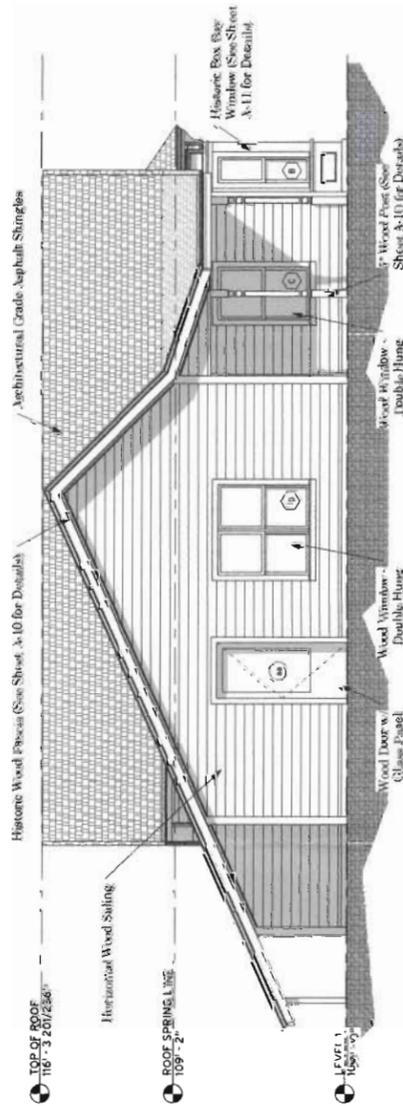
2 PROPOSED - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



4 PROPOSED - WEST ELEVATION

SCALE: 1/4" = 1'-0"



3 PROPOSED - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

Preservation Package
June 29, 2009

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PROPOSED ELEVATIONS

A-9

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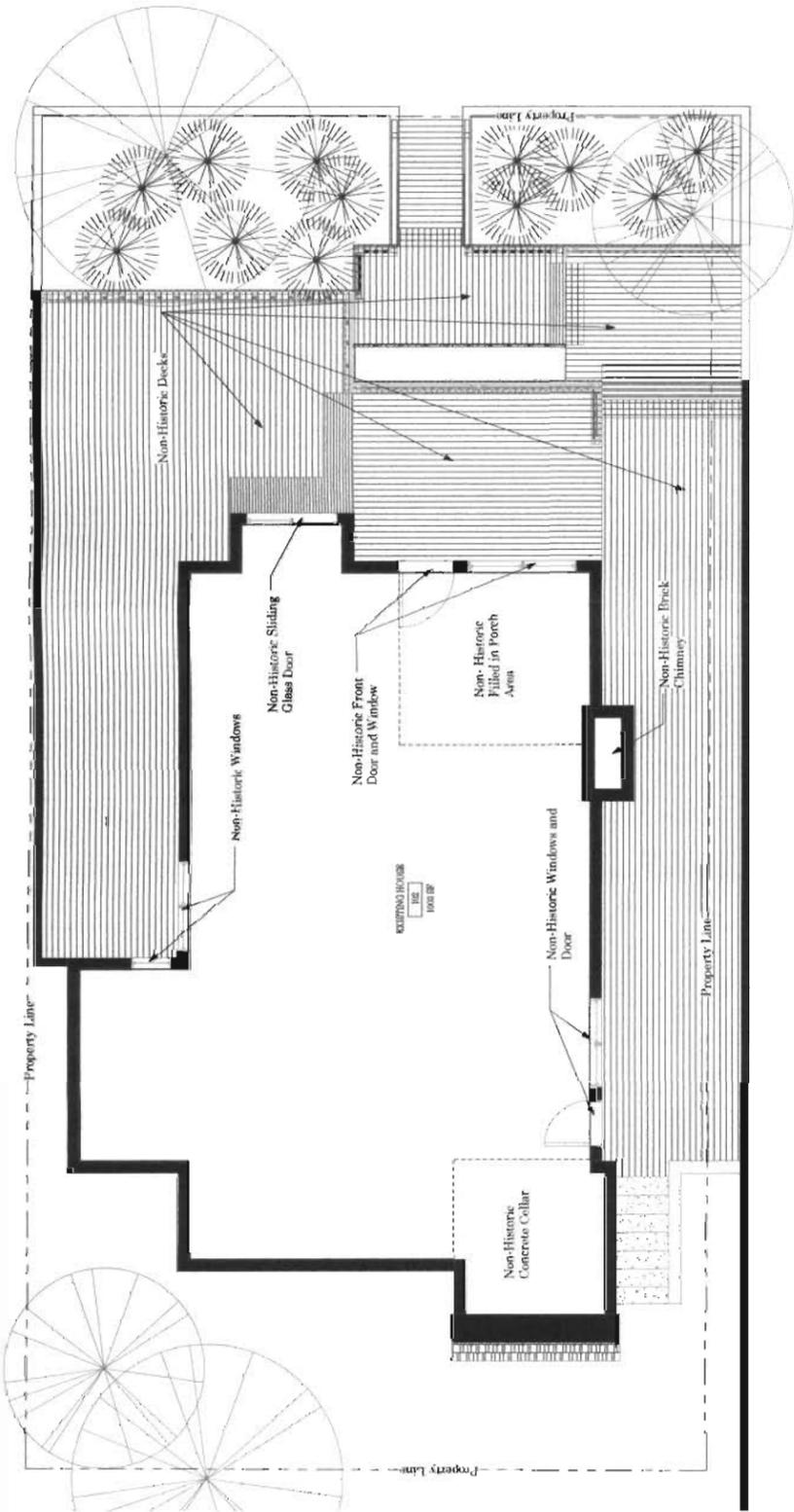
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EXISTING FLOOR PLANS

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APPROVED
DATE 10/30/2009

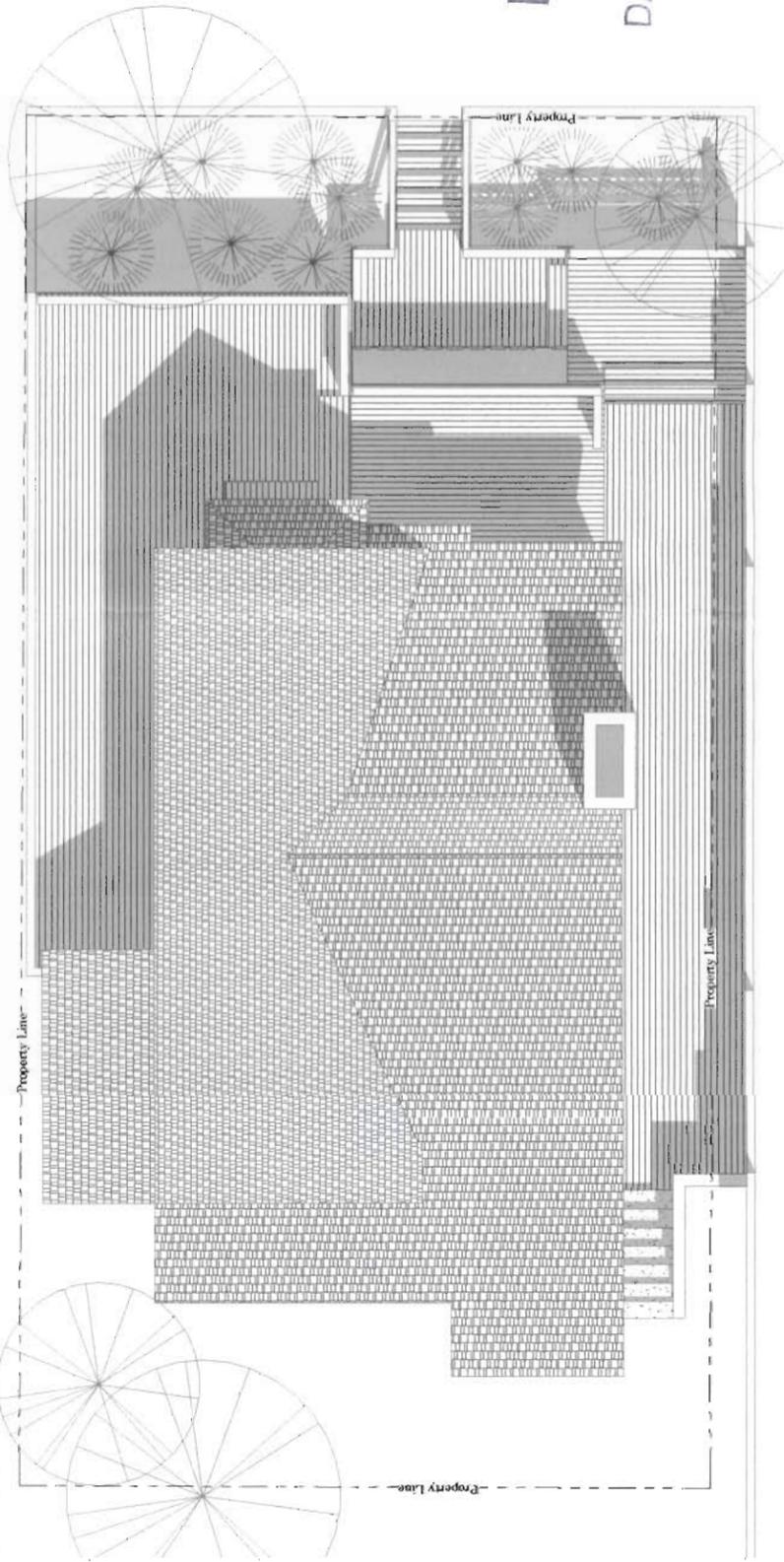
SS

A-6

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1
EXISTING - LEVEL 1
SCALE: 1/4" = 1'-0"



2
EXISTING - ROOF PLAN
SCALE: 1/4" = 1'-0"



HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 919 Woodside Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: SA-102

Current Owner Name: Mahoney Enterprises, LP

Parent Parcel(s):

Current Owner Address: 1193 N State Road 32, Kamas, UT 84036-9713

Legal Description (include acreage): 0.06 acres; LOT 5 & S ½ LOT 6 BLK 10 SNYDERS ADDITION.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date: _____
Permit #: _____
 Full Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: 1995 & 2006
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: T/L cottage

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November, 08

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Concrete retaining wall, wooden steps from roadway, terraced decks with solid rails.

Foundation: Unable to verify. Tax cards indicate no foundation other than wooden sills.

Walls: Wood sheet & clapboard siding.

Roof: Cross-wing form sheathed in asphalt shingles.

Windows: Aluminum side sliders and aluminum casement. Several are boarded.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The site and frame T/L cottage has been significantly altered. The entire house is sheathed in wood sheet and clapboard siding that has replaced the wood drop siding visible in the tax photo. The front porch, visible in the tax photo, has been enclosed and extended to the plane of the front gable. The square projecting bay on the front gable is sheathed in wood sheet and lacks any of the decorative elements visible in the tax photo. A striated brick chimney was added to the south elevation. The roof over the enclosed and expanded porch is no longer extends from the principal roof, but rather projects from the midpoint of the stem wing roof. The changes are significant and diminish the site's original character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting has been significantly altered. The typical front yard with gradual rise from a retaining wall at the street edge to the house has been replaced by a series of terraces and entry steps, both with rails made of wood sheet, bead balusters and/or sections of lattice.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Much of the physical evidence from the period that defines the typical Park City mining era home has been altered and, therefore, lost.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1904¹

Builder: Not Known Known: (source:)

¹ Summit County records.

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: East elevation. Camera facing west, 2006.

Photo No. 2: Southeast oblique. Camera facing northwest, 1995.

Photo No. 3: Southeast oblique. Camera facing northwest, tax photo.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

**SERIAL NO.
RE-APPRAISAL CARD (1940 APPR. BASE)**

Owner's Name _____
 Owner's Address _____
 Location _____
 Kind of Building RES Street No. _____
 Schedule 1 Class 4 Type 1-2-3-4 Cost \$ _____ X _____ %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Actual Factor	Totals
1	x x		882	\$	\$ 2468
	x x			\$	\$
	x x			\$	\$

No. of Rooms 51 Bath Condition Good

Description of Building	Add	Deduct
<u>75 x 2 x 1.5</u> Foundation—Stone Conc. None <input checked="" type="checkbox"/>		167
Ext. Walls <u>SIDING</u>		
Insulated—Floors Walls Clgs.		
Roof—Type <u>GAB</u> Mat. <u>T.P.</u>		26
Dormers—Small Med. Lg.		
Bays—Small Med. Lg.		
Porches—Front <u>72</u> @ <u>.60</u>	43	
Rear <u>2</u> <u>154</u> @ <u>.40</u>	62	
Cellar—Basmt— $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ full-floor <u>DIRT</u>		
Basement Apts.—Rooms Fin.		
Attic Rooms Fin. Unfin.		
Plumbing— Class <u>1</u> Tub <u>1</u> Trays _____ Basin _____ Sink <u>1</u> Toilet <u>1</u> Urns _____ Ftns. _____ Shr. _____ Dishwasher _____ Garbage Disp. _____		
Heat—Stove <u>H. A.</u> Steam <u>S.</u> Blr. _____ Oil _____ Gas _____ Coal _____		
Air Conditioned _____ Incinerators _____		
Radiant—Pipeless _____		
Finish— Hd. Wd. _____ Floors— Fir. <u>✓</u> Conc. <u>✓</u>		
Cabinets <u>1</u> Mantels _____		125
Tile— Walls _____ Wainscot. _____ Floors _____		
Lighting—Lamp _____ Drops <u>✓</u> Fix. _____		
<u>HOOD LINED</u>		75
Total Additions and Deductions.	105	393
Net Additions or Deductions.	105	288

Age 45 Yrs. by Est. Owner
 Tenant
 Neighbors
 Records
 REPRODUCTION VALUE \$ 2180
 Depr. 1-2-3-4-5-6 58/47 % \$ _____
 Reproduction Val. Minus Depr. \$ 915
 Remodeled _____ Est. Cost _____ Remodeling Inc. _____ % \$ _____
 Garage—S 8 C 1 Depr. 2% 3% _____
 Obsolence _____ \$ _____
 Cars _____ Walls SKTG _____
 Out Bldgs. _____ \$ _____
 Roof T.P. Size 10 x 14 Age 18 _____ \$ _____
 Floor PLANK Cost 88/46 Depreciated Value Garage \$ 40
 Remarks AV. AGE RECORDED ON OLD CARD. 37 YRS. (1941) Total Building Value \$ 955

Serial No. SA 102

Mary Edge
Location Block 10 SA Allot 5-S₂ Lot 6
Kind of Bldg. RES St. No. 919 Woodside Ave
Class 3 Type 1 2 3 4 Cost \$ 1765 X %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		882		\$ 1765
	x x				
	x x				

Gar.—Carport x — Flr. — Walls — Cl. —

Description of Buildings	Additions
Foundation—Stone — Conc. — None <input checked="" type="checkbox"/>	
Ext. Walls — Siding <i>ply</i>	
Insulation—Floors — Walls — Clgs. —	
Roof Type — Gab — Mtl. <i>Metal Deck</i>	
Dormers—Small — Med. — Large —	
Bays — Small — Med. — Large —	
Porches—Front — 72" @ 80 58	
Rear (2) — 138" @ 60 83	
Porch — @	
Metal Awnings — Mtl. Rail —	
Basement Entr. — @	
Planters — @	
Cellar—Bsmt. — 1/4 1/3 1/2 3/4 Full — Floor <i>Dirt</i> 50	
Bsmt. Apt. — Rooms Fin. — Unfin. —	
Attic Rooms Fin. — Unfin. —	
Plumbing { Class — 1 Tub — 1 Trays — Basin — 1 Sink — 1 Toilet — Wtr. Sfrtr. — Shr. St. — O.T. — Dishwasher — Garbage Disp. —	350
Built-in—Appliances —	
Heat—Stove <input checked="" type="checkbox"/> H.A. — Steam — Stkr. — Blr. — Oil <input checked="" type="checkbox"/> Gas — Coal — Pipeless — Radiant —	
Air Cond. —	
Finish—Fir <input checked="" type="checkbox"/> Hd. Wd. —	
Floor—Fir <input checked="" type="checkbox"/> Hd. Wd. — Other —	
Cabinets <i>Pantry</i> Mantels —	
Tile — Walls — Wainseot — Floors —	
Storm Sash— Wood D. — S. — ; Metal D. <i>2#1</i> S. —	
	541

Total Additions

Year Built	Avg. 54	Current Value	\$ 2306
Over Dep 1949-45	Age 54	Commission Adj.	%
Inf. by { Owner - Tenant - Neighbor - Record - Est.		Bldg. Value	
		Depr. Col. 1 2 3 4 5 6 33%	
Remodel Year	Est. Cost	Current Value Minus Depr.	\$ 761
Garage — Class —	Depr. 2% 3%	Carport — Factor	
Cars — Floor —	Walls —	Roof — Doors —	
Size — x —	Age —	Cost — x — %	
Other		(SEE CARD SA 23)	
		Block 3 SA, Lot 29	
		Total Building Value	\$

Appraised 5-2-1958 By 1302

5A102

Serial Number

.....OF.....
Card Number

Owners Name Mary E. Luy
 Location lot 5 + 60th lot 6 blk 10 SA
 Kind of Bldg. Res St. No. 719 No Woodside Ave
 Class 3 Type 1 2 3 4 4 Cost \$ 3984 X 1045 %

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	882		\$ 4163	\$
	x x				
	x x				

Att. Gar. — C.P. — x — Flr. — Walls — Cl. —

Description of Buildings	Additions	Additions		
Foundation—Stone _____ Conc. _____ Sills <input checked="" type="checkbox"/>				
Ext. Walls <u>all shapes</u>				
Roof Type <u>Shall</u> Mtl. <u>Metal + Pat</u>				
Dormers—Small _____ Med. _____ Large _____				
Bays—Small _____ Med _____ Large _____				
Porches—Front _____ <u>12 @ 125</u>	<u>90</u>			
Rear _____ @ _____				
Porch _____ @ _____				
Planters _____ @ _____				
Ext. Base. Entry _____ @ _____				
<u>att</u> Cellar-Bsmt. — ¼ ½ ¾ Full _____ Floor <u>Cone</u>	<u>80</u>			
Bsmt. Gar. _____				
Basement-Apt. _____ Rms. _____ Fin. Rms. _____				
Attic Rooms Fin. _____ Unfin. _____				
Plumbing {	Class <u>1</u> Tub. <u>1</u> Trays _____ Basin _____ Sink _____ Toilet <u>1</u> Wtr. Sfrtr. _____ Shr. St. _____ O.T. _____ Dishwasher _____ Garbage Disp. _____	<u>550</u>		
				Heat— <u>Stove</u> <input checked="" type="checkbox"/> H.A. <u>60</u> HW _____ Stkr _____ Elec. _____
				Oil <u>Gas</u> _____ Coal _____ Pipeless _____ Radiant _____
				Air Cond. — Full _____ Zone _____
Finish—Fir. <input checked="" type="checkbox"/> Hd. Wd. _____ Panel _____				
Floor—Fir. <input checked="" type="checkbox"/> Hd. Wd _____ Other _____				
Cabinets _____ Mantels _____				
Tile—Walls _____ Wainscot _____ Floors _____				
Storm Sash—Wood D. _____ S. _____; Metal D. <u>2</u> S. _____	<u>120</u>			
Awnings — Metal _____ Fiberglass _____				

Re app 11-27-79
 #1993

Total Additions		<u>840</u>
Year Built <u>1904</u>	Avg. <u>1.1910</u>	Replacement Cost <u>5003</u>
<u>1964 sid</u>	Age <u>2.</u>	Obsolescence _____
Inf. by {	Owner - Tenant - Neighbor - Record - Est.	Adj. Bld. Value _____
		Conv. Factor <u>x.47</u>
Replacement Cost—1940 Base _____		
Depreciation Column <u>1</u> 2 3 4 5 6 _____		
1940 Base Cost, Less Depreciation _____		
Total Value from reverse side _____		
Total Building Value \$ _____		







architecture

March 14, 2011

Thomas Eddington
Planning Director
and
Roger Evans
Acting Chief Building Official

Park City Municipal Corporation
445 Marsac Avenue, PO Box 1480
Park City, Utah 84060

re: 919 Woodside Avenue Historic District Design Review
Unique Conditions

Mr. Eddington and Mr. Evans:

Elliott Workgroup has submitted an application for Historic District Design Review for 919 Woodside Avenue. A review was held with the Design Review Team on February 23, 2011. In that meeting it was requested that the Design Team address the "unique conditions" associated with moving the house within the site boundaries.

The house was demolished after an order determining it to be unsafe and approval to reconstruct the house on the site. At the time of demolition, the owners were not able to make a decision on any improvements beyond the reconstruction due to significant economic uncertainty. We have since developed a concept that proposes an addition to the rear of the reconstructed historic structure.

Siting of the historic house was towards the rear of the property and the front facade was significantly back from the street front (approximately twenty-four feet from the front property line). The neighboring properties, and the houses on the rest of the street are much closer to the street than 919 Woodside Avenue. Elliott Workgroup does not have a survey locating the exact locations of the neighboring parcels, but using information from the Sanborn Maps, Aerial Photographs, Google Earth Satellite imagery and site observation, we project that the house to the south is located approximately six feet from the front property line and the house to the north is approximately ten feet from the front property line. This difference between the neighboring parcels and the subject property provides an interesting unique condition.

Additionally, the site has two unique site conditions that help shelter the house from view. On the south front corner of the site is a large deciduous tree and on the north front corner of the site is a mature douglas fir. These two existing trees provide a unique condition in Old Town where vegetation in the front yards are inconsistent at best.

The proposed design removes the non-historic railroad tie retaining structure at the front yard and removes the expansive non-historic "carpenter gothic" decks that were contemporary additions. Additionally, the proposal maintains the previous site elevation of the historic structure while providing a new garage under the house which removes two parking spaces from Woodside Avenue.



364 Main Street * P.O. Box 3419 * Park City, Utah * 84060 * 435-649-0092 * workgroup.com

Considering the unique conditions of the site, the proposed design moves the house forward six feet on the property. This location allows a reasonable addition at the rear of the property. Six feet is eight percent of the total site depth and still provides over twenty-five percent of the site in the front yard. A typical house in Old Town has less than fourteen percent (using a ten foot setback). Additionally, the mature vegetation continues to screen the property from the street and maintain a unique, relatively private, front yard.

It is our opinion that the proposed design does not diminish the integrity and/or significance of the historic structure and provides the opportunity to save another piece of Park City's history. For supporting information please review attached graphics from the Pre-Application for the HDDR.

Sincerely,

A handwritten signature in black ink, appearing to read 'Craig Elliott', with a long horizontal stroke extending to the right.

Craig Elliott, AIA

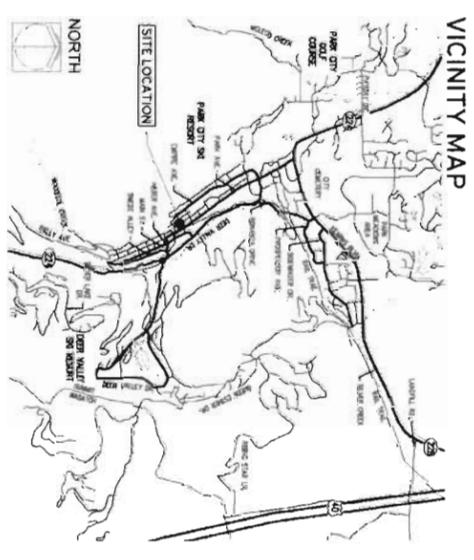
Mahoney Enterprises LP

919 Woodside Avenue

919 Woodside Avenue, Park City

Historic District Design Review

March 11, 2011
2009-12



PROJECT CONTACT INFORMATION

OWNER	Mahoney Enterprises LP 1180 N. State Road 132 Summit, UT 84095 435.630.4400 Owner: Mike Mahoney	ARCHITECT	Elliott Workgroup Architecture 364 Main Street, P.O. Box 3410 Park City, UT 84099 435.648.0092	BUILDER	
CIVIL ENGINEER		INTERIOR DESIGN		LANDSCAPE ARCHITECTURE	
STRUCTURAL ENGINEER		PLUMBING ENGINEER		ELECTRICAL ENGINEER	
		MECHANICAL ENGINEER			

DRAWING INDEX.

- HDDR-1 Cover Sheet
- HDDR-2 Site Survey
- HDDR-3 Existing Conditions
- HDDR-4 Site Plan / Foot Plan
- HDDR-5 Lower Level
- HDDR-6 Main Level
- HDDR-7 Upper Level
- HDDR-8 Elevations
- HDDR-9 Elevations
- HDDR-10 Sections



PLANNING CODE ANALYSIS SUMMARY

Title 15 - Land Management Code

Chapter 2.2 - Historic Residential (HR-1) District

15-2-2-2. Uses

- (A) Allowed Uses
- (1) Single Family Dwelling

15-2-3-1 Lot and Site Requirements

- (A) Lot Size
The minimum Lot Area is 1875 square feet for a Single Family Dwelling. The minimum width of a Lot is twenty five feet (25'), measured thirteen feet (15') back from the Front Lot Line.

(D) Building Footprint (HR-1 District)

Lot Depth 75' to	Lot Width 50' to	Side Yard Min. Width	Lot Area sq. ft.	Req. Foot Print sq. ft.	Min. Foot Print sq. ft.
75' to	37.5'	3 ft.	6 ft.	2803	733
					423

(E) Front and Rear Yards

- The minimum Front and Rear Yard is ten feet (10'-0").
- (G) Rear Yard Exceptions
- (9) A detached Accessory Building not more than eighteen feet (18') in height, located a minimum of five feet (5') behind the front facade of the Main Building, and maintaining a minimum Rear Yard Setback of one foot (1'). Such Structure must not cover fifty percent (50%) of the Rear Yard.

15-2-2-5 Side Yard

- (H) Side Yard
- (1) The minimum Side Yard is three feet (3')
- (I) Side Yard Exceptions
- (10) Detached Accessory Buildings not more than eighteen feet (18') in height, located a minimum of five feet (5') behind the front facade of the Main Building, maintaining a minimum Side Yard Set Back of three feet (3')

15-2-2-5 Building Height

- No Structure shall be erected to a height greater than twenty-seven feet (27') from Existing Grade. This is the Zone Height Final Grade must be within four vertical feet (4') of Existing Grade around the periphery of the Structure.

(C) Roof Pitch

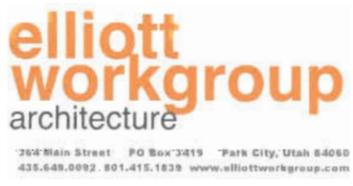
- Roof pitch must be between seven-twelve (7/12), and twelve-twelve (12/12). A Green Roof or a roof which is not part of the primary roof design may be below the required 7/12 pitch.

15-2-2-10 Vegetation Protection

- The Property Owner must protect Significant Vegetation during any Development activity. Significant Vegetation includes large trees six inches (6") in diameter or greater measured four and one-half feet (4.5') above ground.



Historic District Design Review
March 11, 2011

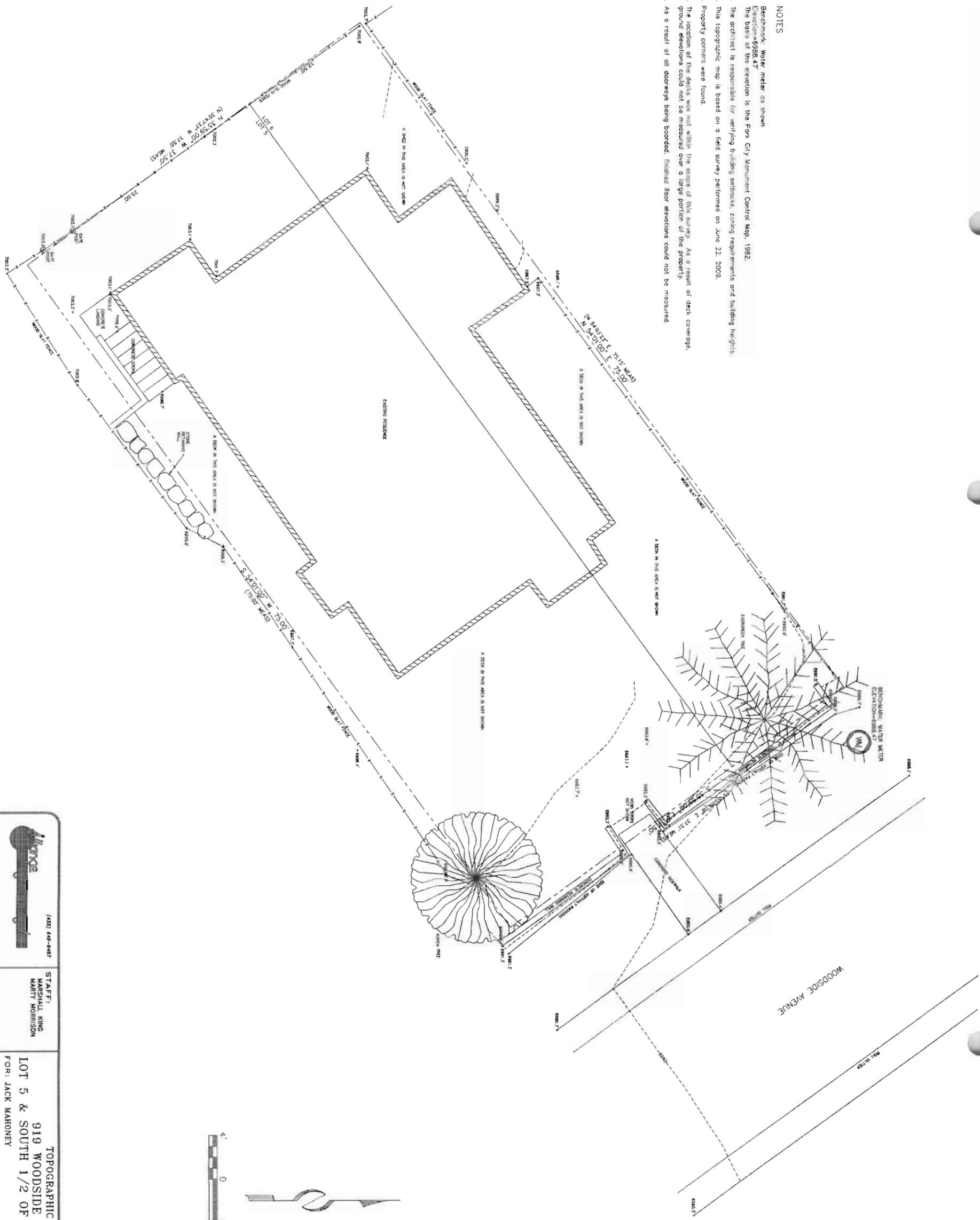


Mahoney Enterprises LP
919 Woodside Avenue
919 Woodside Avenue, Park City

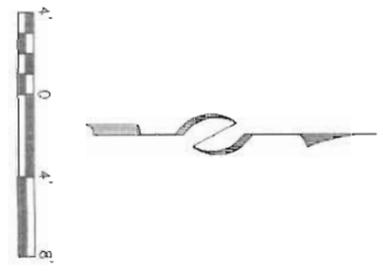
Cover Sheet
HDDR-1

NOTES

1. Benchmark: Water meter as shown
Elevation=6988.47
The base of the elevation is the Park City Monument Control Map, 1982.
2. The architect is responsible for verifying building setbacks, zoning requirements and building heights.
3. This topographic map is based on a field survey performed on June 22, 2009.
4. Property corners were found.
5. The location of the decks was not within the scope of this survey. As a result of deck coverage, ground elevations could not be measured over a large portion of the property.
6. As a result of all doorways being boarded, finished floor elevations could not be measured.



<p>CONSULTING ENGINEERS, LAND PLANNERS, SURVEYORS 321 Main Street, P.O. Box 2004, Park City, Utah 84302-2004</p>	<p>(435) 644-4487</p>
	<p>STAFF: MARGHALL KING MARTY MORRISON</p>
<p>DATE: 6/26/09</p>	<p>TOPOGRAPHIC MAP 919 WOODSIDE AVENUE LOT 5 & SOUTH 1/2 OF LOT 6, BLOCK 10</p>
<p>FOR: JACK MAHONEY</p>	<p>JOB NO.: 5-6-08 FILE: X:\Shyders\addition\dwg\an\topo2009\050609.dwg</p>
<p>SHEET 1 OF 1</p>	<p>RECEIVED PARK CITY PLANNING DEPT. APR 17 2011</p>





1 Existing Streetscape
SCALE: N.T.S.



2 Aerial View
SCALE: N.T.S.

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Existing Conditions

HDDR-3

March 11, 2011



919 Woodside
Avenue

919 Woodside Avenue, Park City

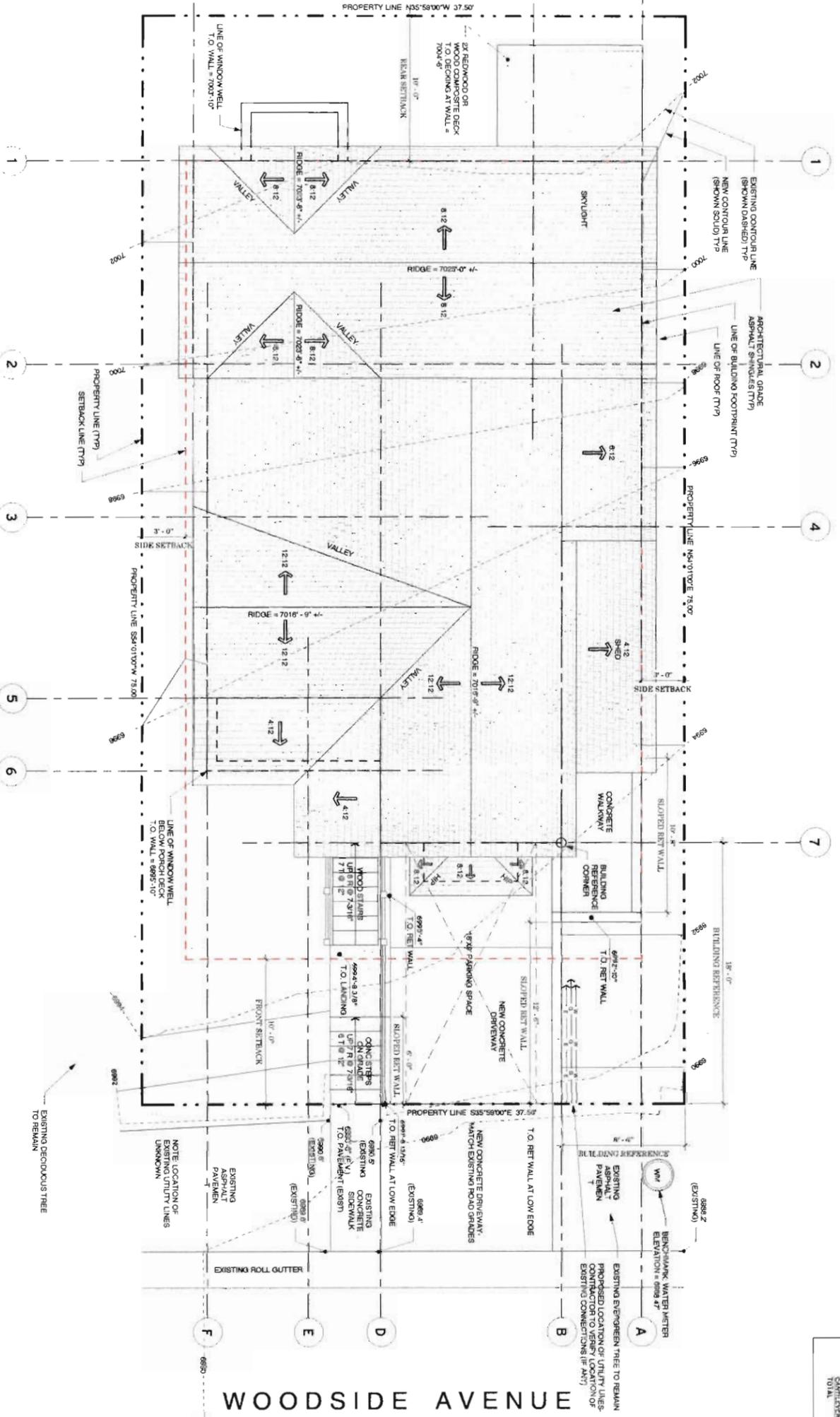


GENERAL NOTES

1544-223 Building Height
 No structure shall be erected to a height greater than twenty-seven feet (27') from Building Grade. This is the Zone Height. All structures shall be within four vehicle lanes (4) of Building Grade located on the property of the structure.
 (C) Roof Pitch: Roof pitch must be between seven-twelfths (7/12) and twelve-twelve (12/12). A Green Roof or a roof with a pitch of the primary roof design may also be used if it meets the requirements of the code.

**PROPOSED WOODSIDE AVENUE
 PROPOSED SMALL FAMILY RESIDENCE**
 LOT SIZE = 2812 SF
 ALLOWED FOOTPRINT = 1201 SF
 ACTUAL FOOTPRINT = 1201 SF
 HOUSE NUMBER = 919
 HOUSE TYPE = SINGLE-FAMILY
 TO WALL = 1201 SF

2 Proposed Streetscape
 SCALE: 1/8" = 1'-0"



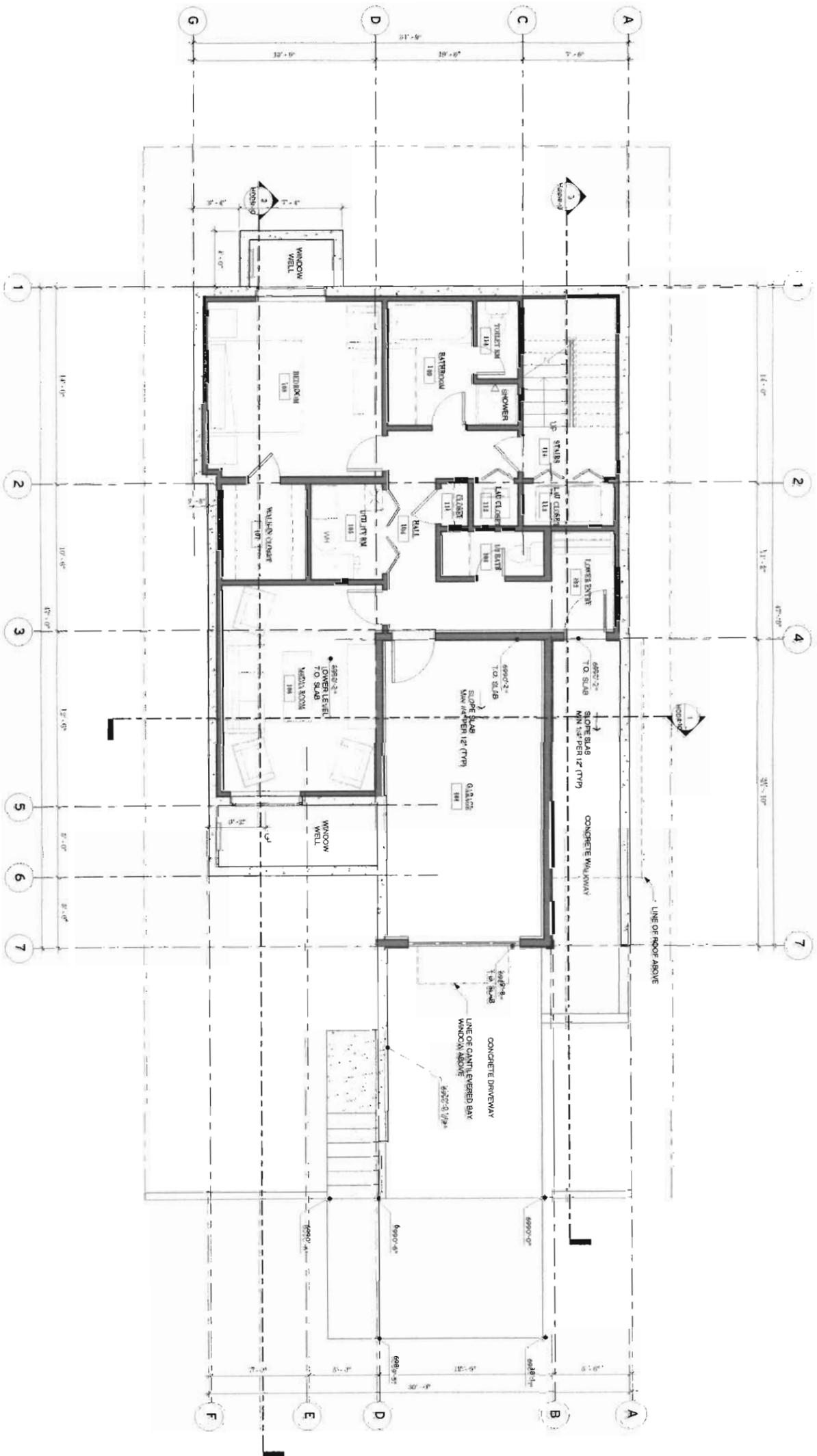
1 Site Plan
 SCALE: 1/4" = 1'-0"

**elliott
 workgroup**
 architecture

Site Plan / Roof Plan
 HDDR-4
 March 11, 2011

**919 Woodside
 Avenue**
 919 Woodside Avenue, Park City





1 Lower Level
SCALE: 1/4" = 1'-0"

Lower Level

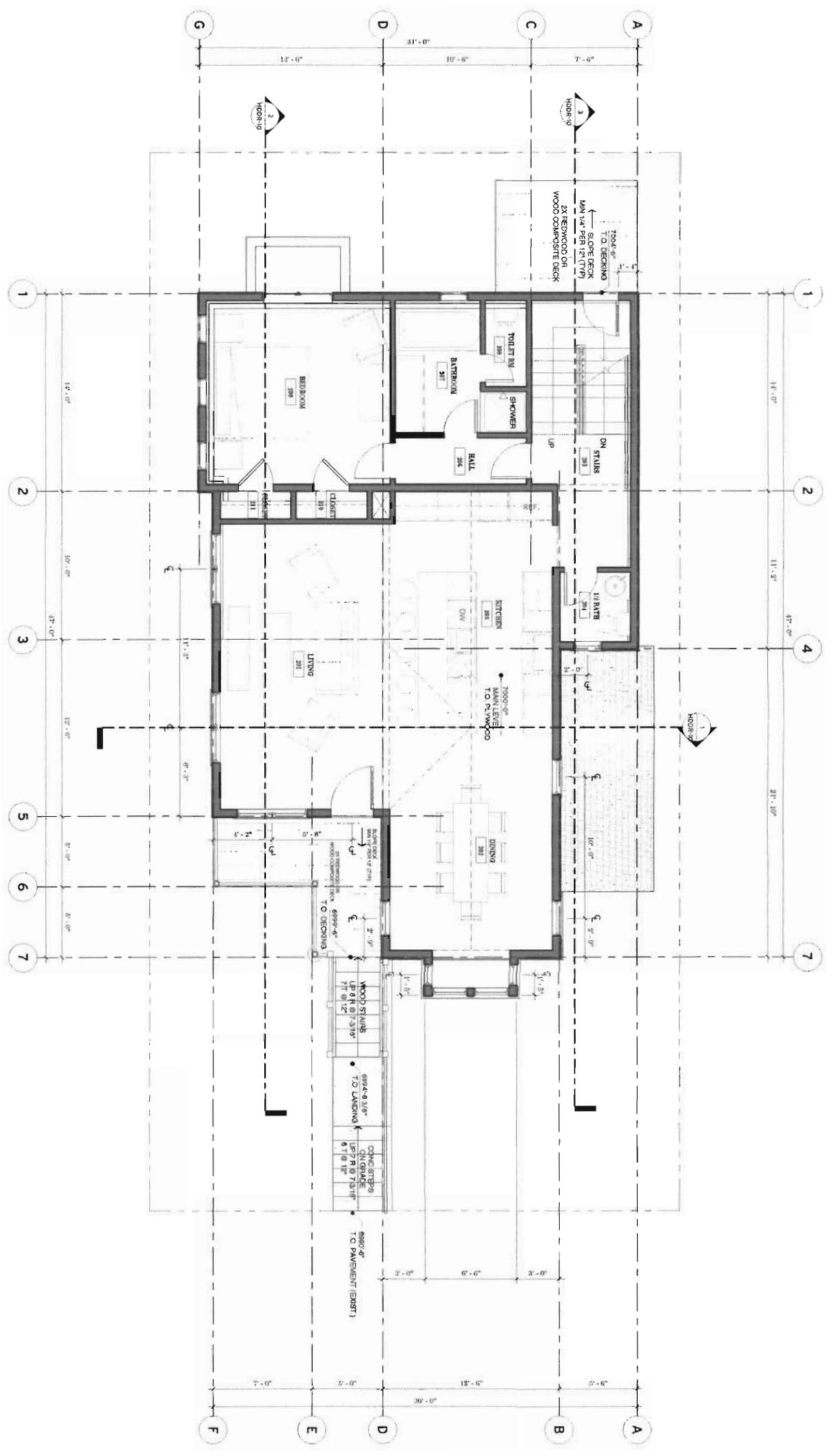
HDDR-5

March 11, 2011

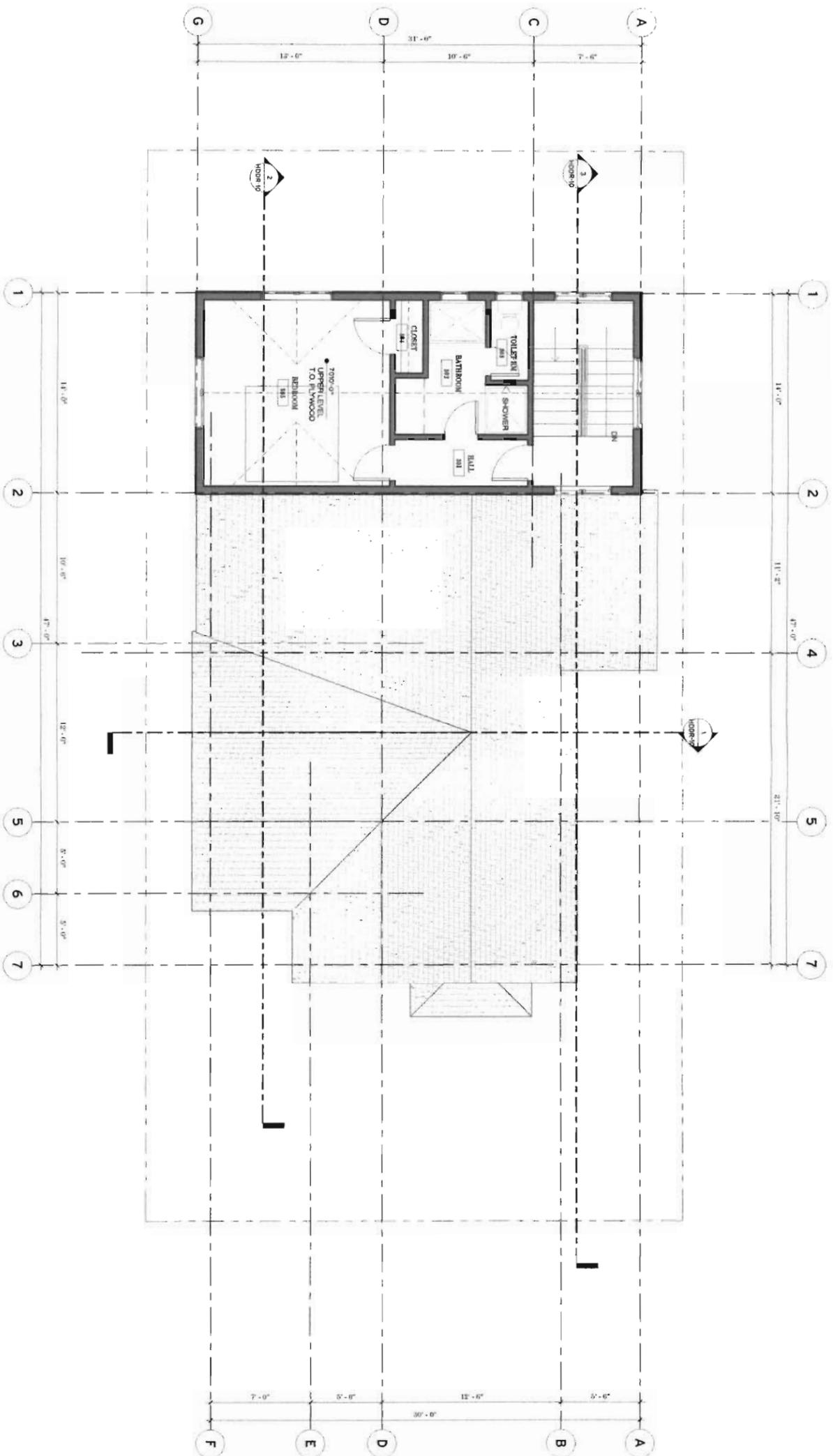
RECEIVED
PARK CITY
PLANNING DEPT.
APR 17 2011

**919 Woodside
Avenue**
Park City

RECEIVED
MAR 17 2011
PARK CITY
PLANNING DEPT.

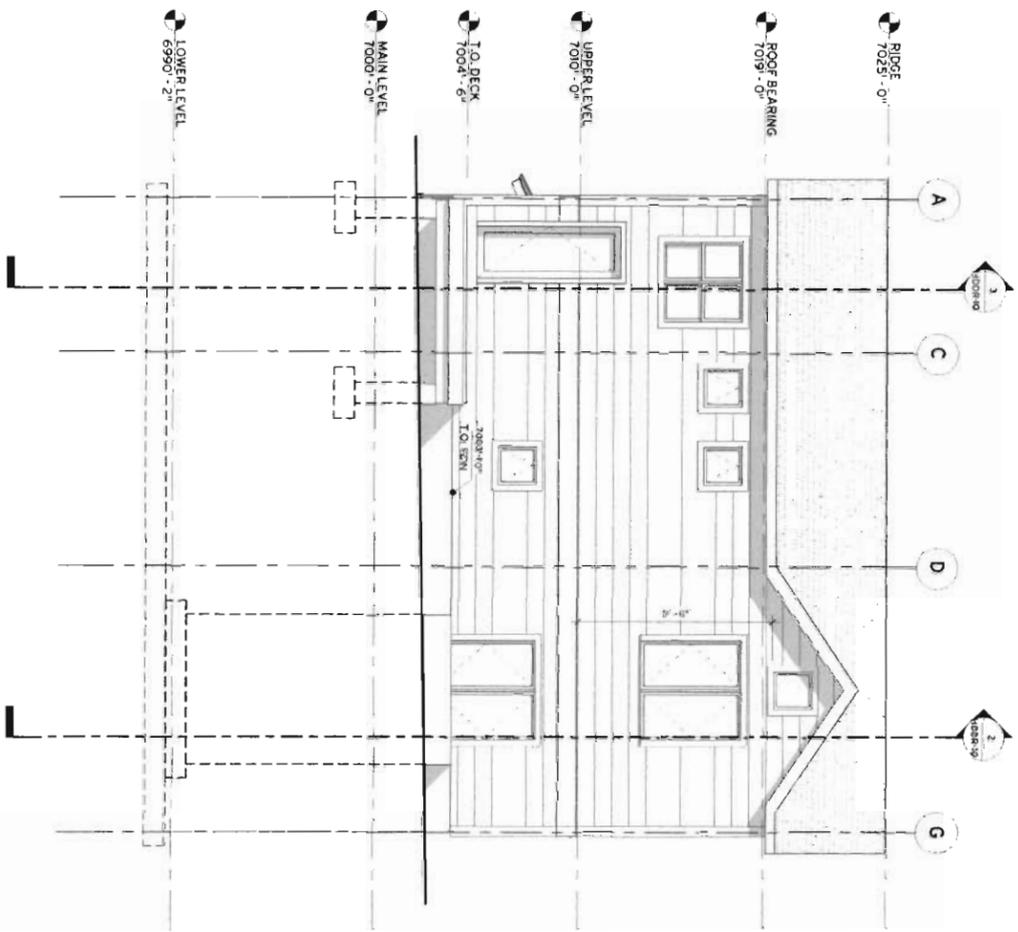


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APR 17 2011
PARK CITY
PLANNING DEPT.

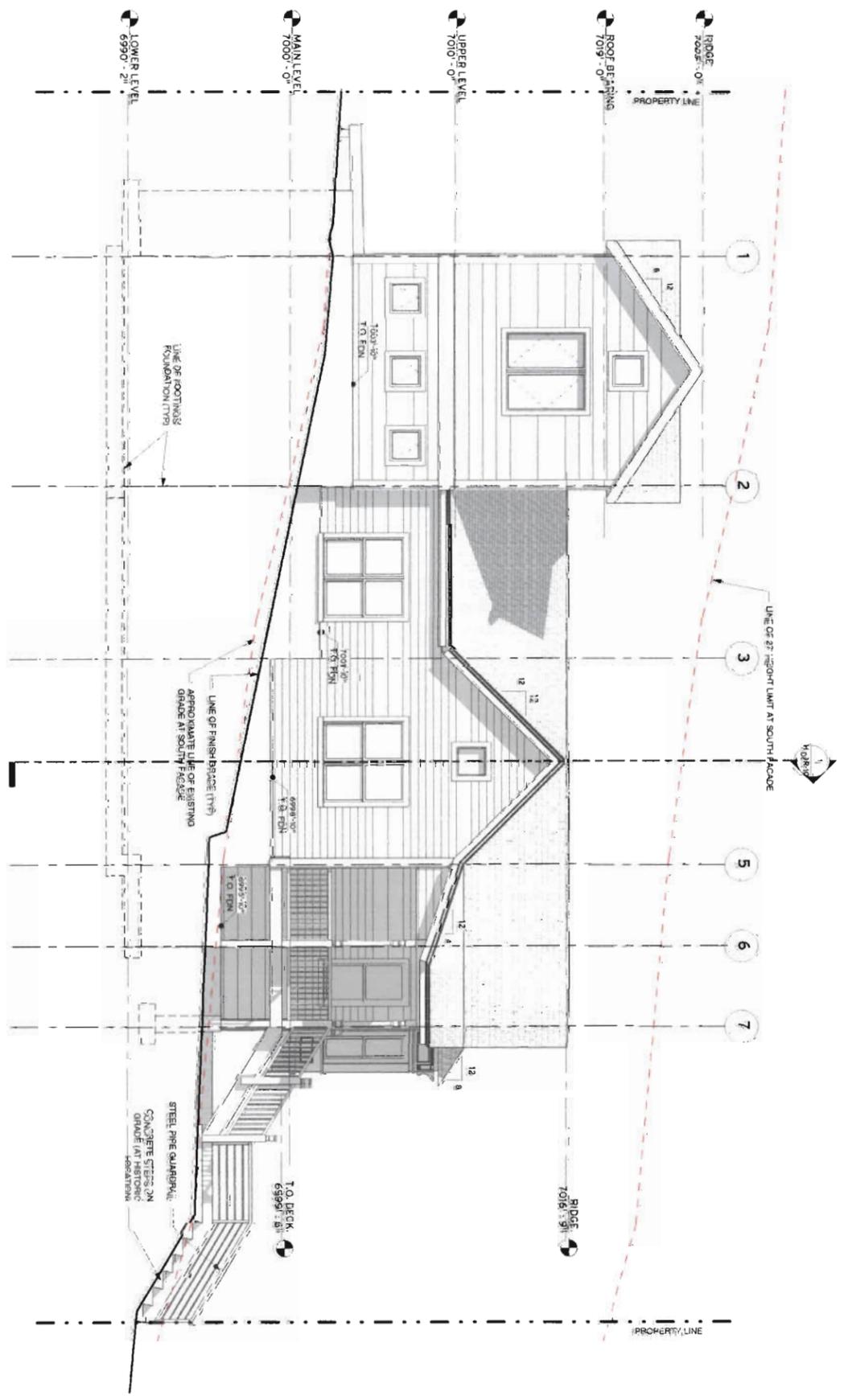


GENERAL NOTES

1. Check Building Height
 No structure shall be erected to a height greater than Twenty-seven (27) feet. Existing structure shall be limited to a height of Twenty-seven (27) feet. This is the Zone Height Final Order must be with four vertical feet (4') of Building Grade around the perimeter of the structure.
 (C) Foundation
 Footings shall be between seven (7) feet and twelve (12) feet. A Ground Rod or a rod with a rod part of the primary roof design may be below the required 7' (2) feet.



2 West Elevation
 SCALE: 1/4" = 1'-0"



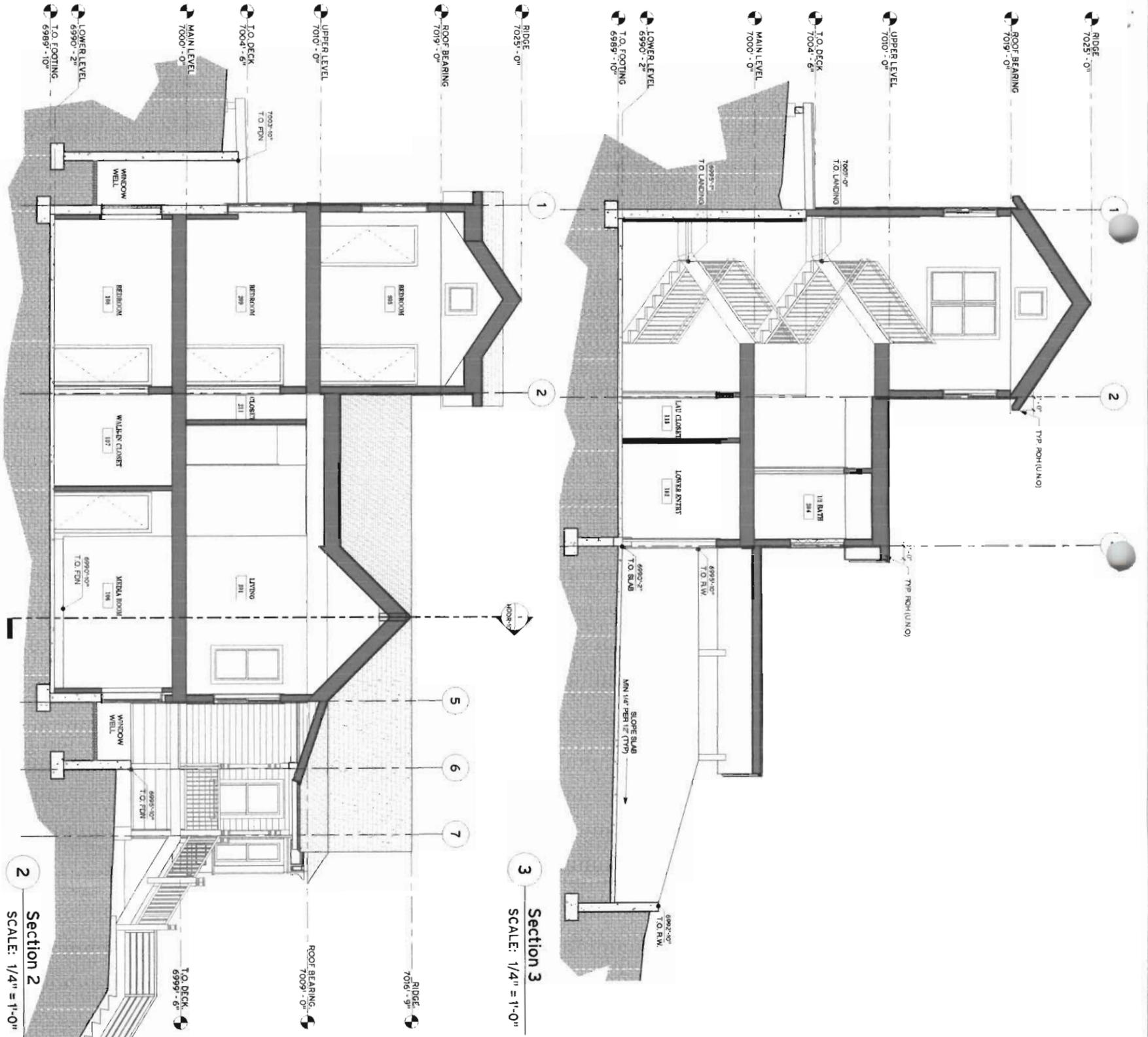
1 South Elevation
 SCALE: 1/4" = 1'-0"

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 architecture

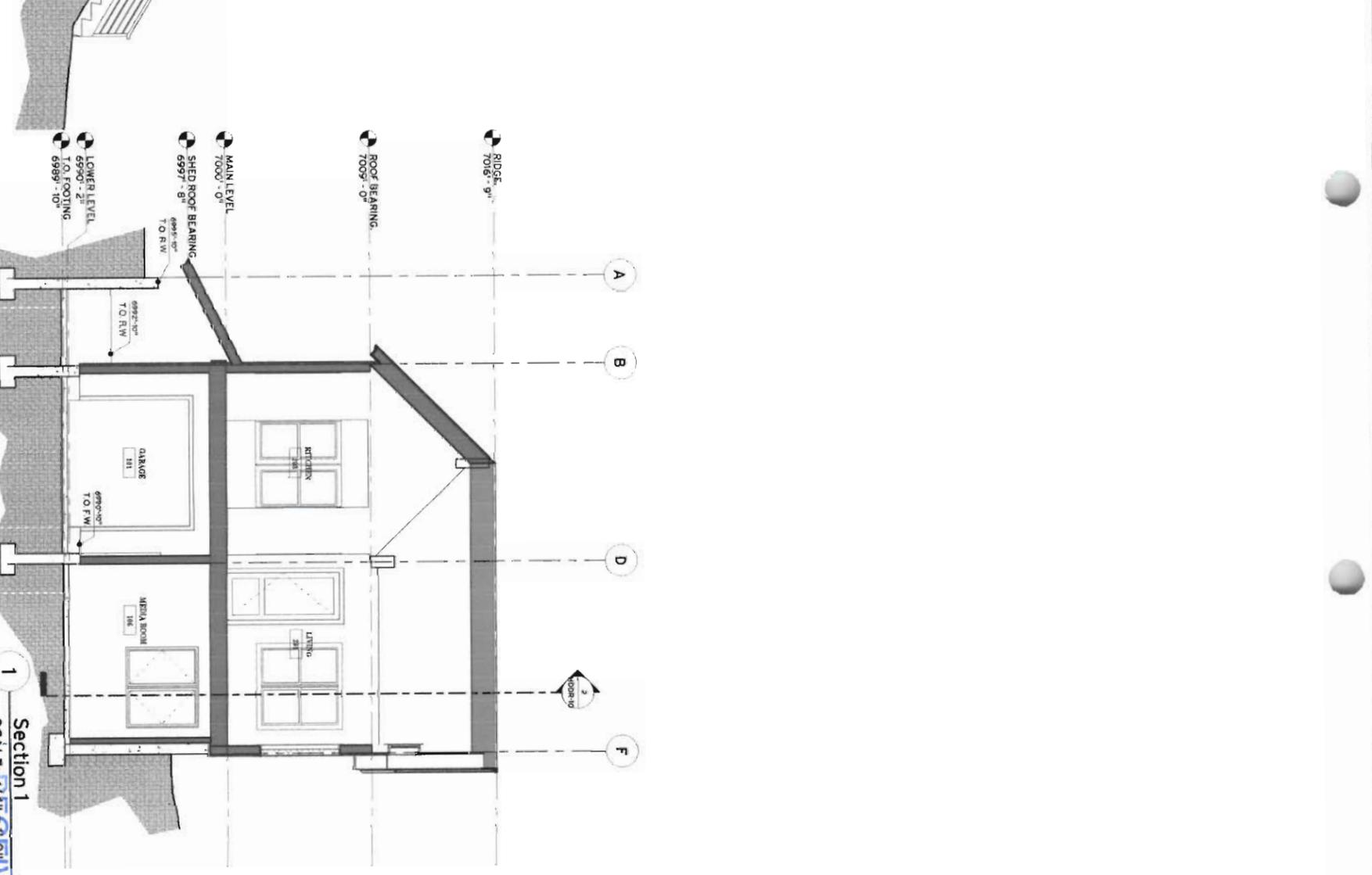
Elevations
 HDDR-9
 March 11, 2011

**919 Woodside
 Avenue**
 PARK CITY
 PLANNING DEPT.

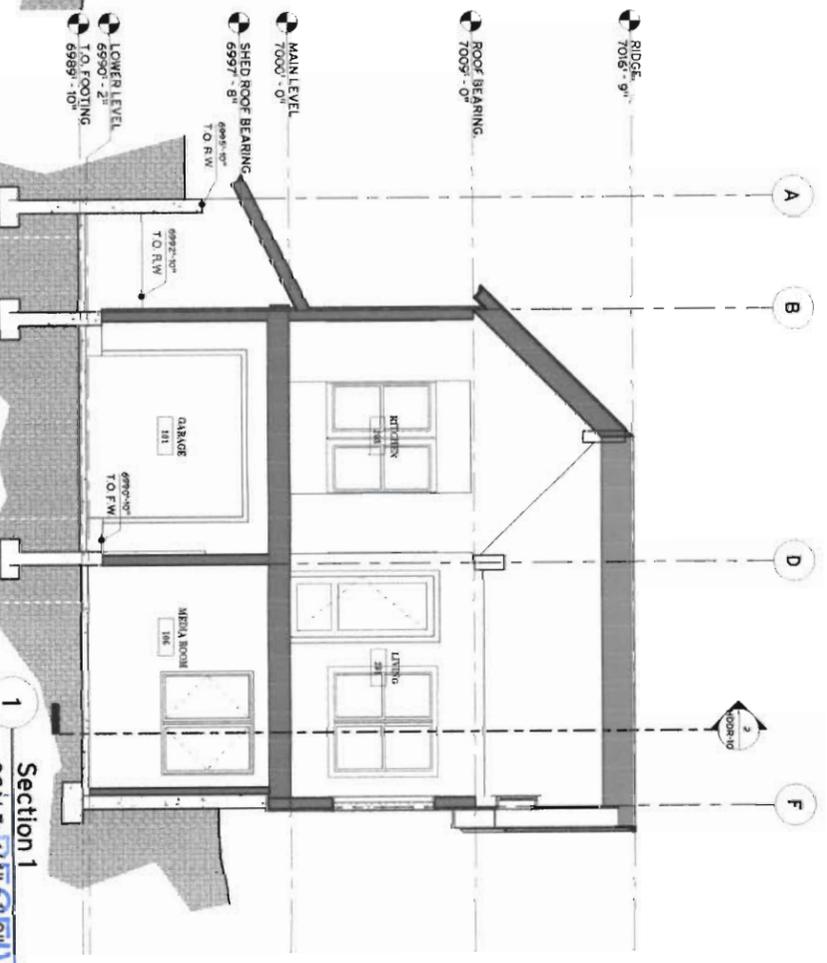
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Section 2
SCALE: 1/4" = 1'-0"



Section 3
SCALE: 1/4" = 1'-0"



Section 1
SCALE: 1/4" = 1'-0"



1 View Looking Down Wooside Avenue (Proposed)
SCALE:



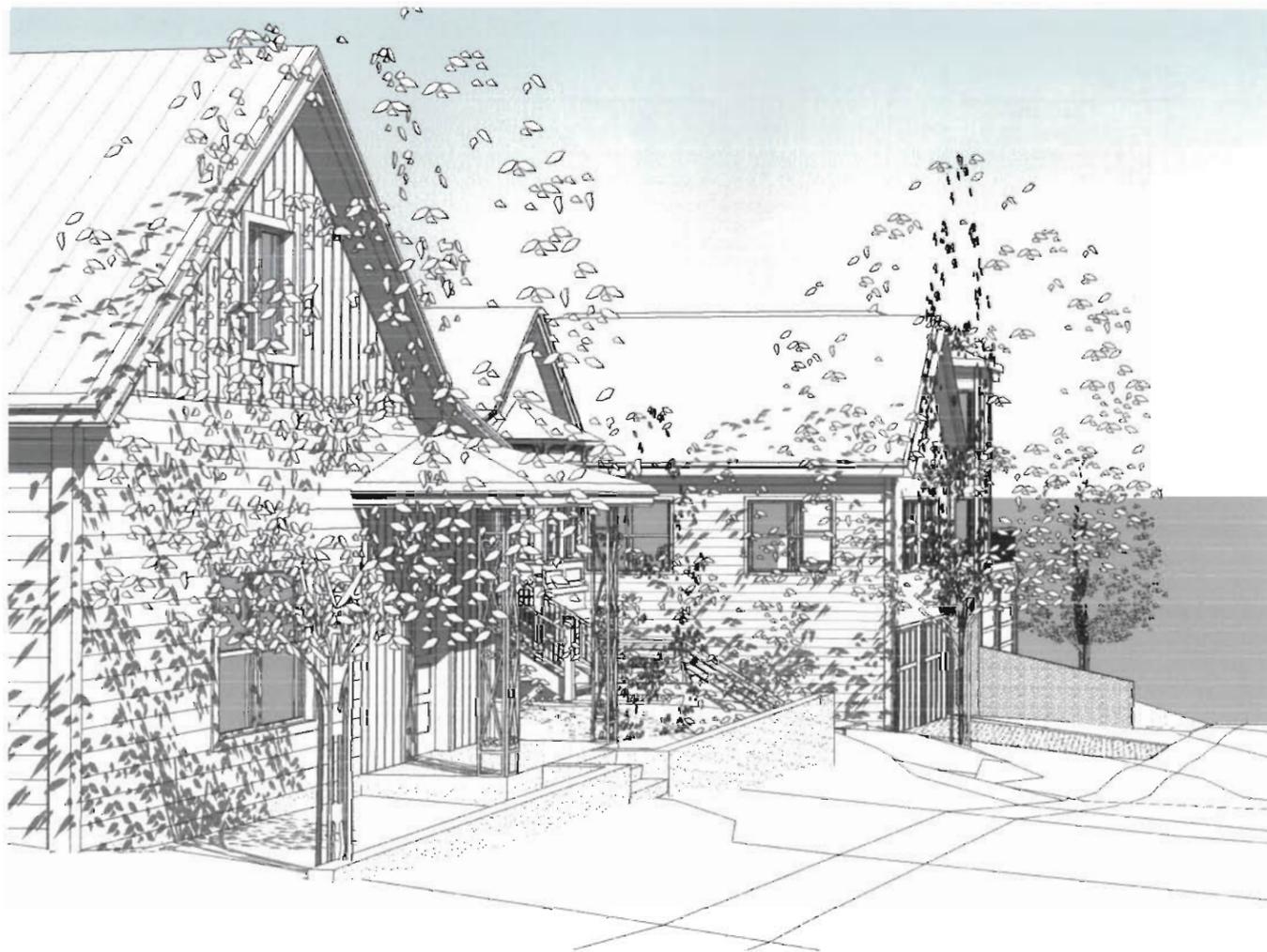
2 View Looking Down Wooside Avenue (Existing)
SCALE:

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PLANNING DEPT.

March 4, 2011

919 Wooside
Avenue
919 Wooside Avenue, Park City



1 Looking Down Wooside Avenue (Existing)
SCALE:



2 Looking Down Wooside Avenue (Proposed)
SCALE:

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**919 Wooside
Avenue**
919 Wooside Avenue, Park City



1 View Looking Up Wooside Avenue (Proposed)
SCALE:



2 View Looking Up Wooside Avenue (Existing)
SCALE:

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PARK CITY
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March 4, 2011

**919 Wooside
Avenue**
919 Wooside Avenue, Park City



1 View Looking Up Wooside Avenue (Proposed)
SCALE:



2 View Looking Up Wooside Avenue (Existing)
SCALE:

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PARK CITY
PLANNING DEPT.

**919 Wooside
Avenue**

919 Wooside Avenue, Park City



1 View Looking Down Wooside Avenue (Proposed)
SCALE:



2 View Looking Down Wooside Avenue (Existing)
SCALE:

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PARK CITY
PLANNING DEPT.

919 Wooside
Avenue

919 Wooside Avenue, Park City



1 Looking Down Wooside Avenue (Existing)
SCALE:



2 Looking Down Wooside Avenue (Proposed)
SCALE:

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PARK CITY
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**919 Wooside
Avenue**
919 Wooside Avenue, Park City

Historic Preservation Board Staff Report



Subject: Annual Historic Preservation
Award Program
Author: Kayla Sintz
Date: June 15, 2011
Type of Item: Legislative - Resolution
Project Number: GI-11-00124

Summary Recommendations

Staff recommends the Historic Preservation Board hold a public hearing and consider forwarding a positive recommendation to City Council for the adoption of the attached Resolution for the Park City Historic Preservation Board's annual Preservation Award.

Background

Over the course of the last year, the Historic Preservation Board has indicated as part of their Visioning goals the intent to implement a preservation awards program. The awards program was to be based on a Project utilizing the Historic Guidelines and the focus of the award could change from year to year. The Board also agreed the HPB Preservation Award should not compete with any of the Historic Society's awards, but complement the existing joint preservation efforts already taking place and highlight the Historic District Guidelines by which all development in the Historic Districts must comply. The Historic Preservation Board formed a subcommittee made up of Roger Durst, David White and Sara Werbelow to meet and discuss parameters of the program; to review and recommend historic preservation projects; and to nominate a recipient of the 2011 award to the rest of the Historic Preservation Board.

On May 4, 2011, the sub-committee reported back to the Board the recommendation for the 2011 recipient be based on 'adaptive re-use' of a historic structure and unanimously recommended the High West Distillery located at 703 Park Avenue, the property previously known as the National Garage.

The Board discussed that possible future themes may be:

- Infill Development – New Construction
- Excellence in Preservation
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity and Site

The Board also indicated they could award a future recipient for Adaptive Re-Use again, but that no award for the same category or theme should repeat within a

two (2) year period. Further, the project need not occur in the year the award was being given and the Board also wanted to make sure that site and landscaping elements also be considered.

The Board agreed with the sub-committee's recommendation to highlight the annual award recipient with a rendering of the selected property which would be displayed at City Hall. The selected property owner would receive a plaque to be presented by the Historic Preservation Board and the art work would be displayed at City Hall (location to be determined). The Historic Preservation Board felt this would be a worthy legacy to leave with the City.

Members of the Board met with the Arts Advisory committee to select an artist to provide the rendering for the 2011 Award. The Board indicated a desire to have a different artist each year in order to highlight different mediums and engage different artists within the community. It is anticipated that members of the Board will continue to follow the same procedure for artist procurement in the coming years. The stipend for the rendering has been identified to come out of the Planning Department's Historic Preservation Board budget.

The Board gave staff direction to come back at their next scheduled meeting with a Resolution to take action and adopt the awards program. A proposed Resolution is attached.

The Board has already indicated their selection for the 2011 award if Council chooses to adopt the recommended resolution. Staff recommends a formal vote be taken at tonight's meeting so that the 2011 award may be presented in conjunction with the Historic Society annual events scheduled for mid to late August.

Recommendation

Staff recommends that the Historic Preservation Board review the attached Resolution and forward a positive recommendation to City Council to adopt the Resolution as written.

Exhibits

Resolution – Historic Preservation Board Annual Award Program

Resolution No. 11-

A RESOLUTION ESTABLISHING THE HISTORIC PRESERVATION BOARD'S ANNUAL PRESERVATION AWARD PROGRAM

WHEREAS, the purpose of the Historic Preservation Board (HPB) is to preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design Guidelines for Park City's Historic Districts and Historic Sites;

WHEREAS, the purpose of the HPB is to recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation;

WHEREAS, the purpose of the HPB is to communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;

WHEREAS, Park City's preservation policy is to encourage the preservation of Buildings, Structures, and Sites of Historic Significance in Park City;

WHEREAS, the Historic Preservation Board recognizes the importance of the Historic Districts and Historic Sites as an integral part of Park City's character;

WHEREAS, the Historic Preservation Board recognizes and numerous historic preservation projects occurring in Park City's historic districts and work occurring to Park City's Historic Sites on an annual basis;

WHEREAS, the Purpose Statements of the Land Management Code's historic district zones are to encourage the preservation of historic structures and to encourage construction of Historically Compatible Structures that contribute to the scale of the Historic District and to facilitate the continuation of the visual character and streetscape;

NOW THEREFORE BE IT RESOLVED by the City Council of Park City, Utah as follows:

The Historic Preservation Board wishes to identify and award exemplary historic projects in compliance with the Historic Guidelines on an annual basis, to be selected during the month of June, in the form of a Preservation Award based on criteria not limited to:

- Adaptive Re-Use
- Infill Development
- Excellence in Restoration
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity of Site

EFFECTIVE DATE. This resolution shall become effective upon adoption.

Passed and adopted this ____ day of June, 2011.

PARK CITY MUNICIPAL CORPORATION

Mayor Dana Williams

Attest:

Janet M. Scott, City Recorder

Approved as to form:

Mark D. Harrington, City Attorney