

**PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
COUNCIL CHAMBERS, CITY HALL
MAY 29, 2012 - 5:30 PM**



AGENDA

ROLL CALL AT 5:30 PM

PUBLIC COMMUNICATIONS – *Items not on regular meeting schedule.*

STAFF/BOARD COMMUNICATION & DISCLOSURES

REGULAR AGENDA – *Discussion, public hearing, and possible action as outlined below.*

335 Woodside Avenue – Appeal of Design Review

PL-12-01541

Quasi-Judicial hearing

ADJOURN

Times shown are approximate. Items listed on the Regular Meeting may have been continued from a previous meeting and may not have been published on the Legal Notice for this meeting. For further information, please call the Planning Department at (435) 615-5060.

A majority of Historic Preservation Board members may meet socially after the meeting. If so, the location will be announced by the Chair person. City business will not be conducted.

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Park City Planning Department at (435) 615-5060 24 hours prior to the meeting.

Historic Preservation Board Staff Report



PLANNING DEPARTMENT

Subject: 335 Woodside Avenue
Author: Francisco Astorga
Date: May 29, 2012
Type of Item: Quasi-Judicial – Appeal of Staff’s Determination of Compliance with the Design Guidelines for Historic Districts and Historic Sites

Summary Recommendations

Staff recommends the Historic Preservation Board review the submitted appeal of Staff’s determination of compliance with the Design Guidelines for Historic Districts and Historic Sites at 335 Woodside Avenue. Staff has prepared findings of fact, conclusions of law, and conditions of approval affirming the determination of compliance for the Board’s consideration.

Description

Appellant: Ruth Meintsma, 305 Woodside Avenue
Applicant: John Watkins represented by David White, Architect
Location: 335 Woodside Avenue
Zoning: Historic Residential (HR-1)
Adjacent Land Uses: Residential
Reason for Review: Appeals of Staff decisions on compliance with the Design Guidelines for Historic Districts and Historic Sites are reviewed by the HPB per 15-1-18(A) of the Land Management Code.

Background

On May 7, 2012 the City received an appeal of a Historic District Design Review (HDDR) application approved on April 26, 2012 of compliance with the Design Guidelines for Historic Districts and Historic Sites (Design Guidelines). See Exhibit A – appeal. The appeal was filed within ten (10) business days from the approval date. The site is located at 335 Woodside Avenue, within the HR-1 District. The Historic Sites Inventory (HSI) identifies the site as a Landmark site. The structure eligible for the National Register of Historic Places as it is listed on the Mining Boom Era Residences Thematic National Register Historic District. The Planning Department reviewed this project for compliance with the Design Guidelines and approved the rehabilitation, restoration, and addition shown on the plans, physical conditions report, and historic preservation plan received on April 24, 2012. See Exhibit B – approved plans.

The structure is presently in poor condition as verified by studying the physical conditions report. The project proposal is to completely renovate the structure, front porch and stairway access from the street to its 20th century presence. The rotting foundation will be replaced with a new concrete foundation with full basement and a

single car garage. The proposal does *not* include relocation/reorientation, disassembly/reassembly (panelization), or reconstruction. The final floor elevation will remain the same. The existing structure will have to be structurally braced and raised intact in order to facilitate the proposed construction of the basement/garage portion of the project. Upon completion of the basement, the structure will be set back down to its original position. A new addition is proposed behind the existing historic structure consisting of three (3) stories.

According to the historic site form for 335 Woodside Avenue, the setting and exterior envelope of the house have not changed from the description provided in the 1983 National Register nomination- excerpted below:

This house is a one story frame hall and parlor house with a gable roof. Typical of the hall and parlor house is the rectangular form, the symmetrical facade with a door centered between two windows, and the porch spanning the facade. The piers that support the section of porch between the windows may be original, but the porch roof, the side piers, and the balustrade were later additions. Those changes are unobtrusive and are reversible. The roof of this house slopes off to the rear, resembling a saltbox roof. An original shed extension such as this was common in Park City houses, allowing the two room hall and parlor form to be expanded to a four room house. There is a door with a small balcony set in the top half story of the south gable end. All of the original windows are the one over one double hung sash type. Two small windows in the north wall are more recent additions, but the change is minor. Despite the minor porch and window changes, the house maintains its original character.

It should be noted, however that the interior has been completely gutted. According to the Sanborn Fire Insurance Maps (Sanborn maps) the structure was built between 1889 and 1900. It was probably built in 1893, the year that William Tretheway purchased this property from the Park City Townsite Corporation.

Historic District Design Standard of Review and Appeal Process

Pursuant to LMC § 15-1-18 Appeals and Reconsideration Process, appeals of decisions regarding the Design Guidelines shall be reviewed by the Historic Preservation Board (HPB) as described in LMC § 15-11-12(E). The HPB shall approve, approve with conditions, or disapprove the proposal based on written findings, conclusions of law, and conditions of approval, if any, supporting the decisions. Any HPB decision may be appealed to the Board of Adjustments (BOA) within ten (10) days of the HPB decision.

Appeal

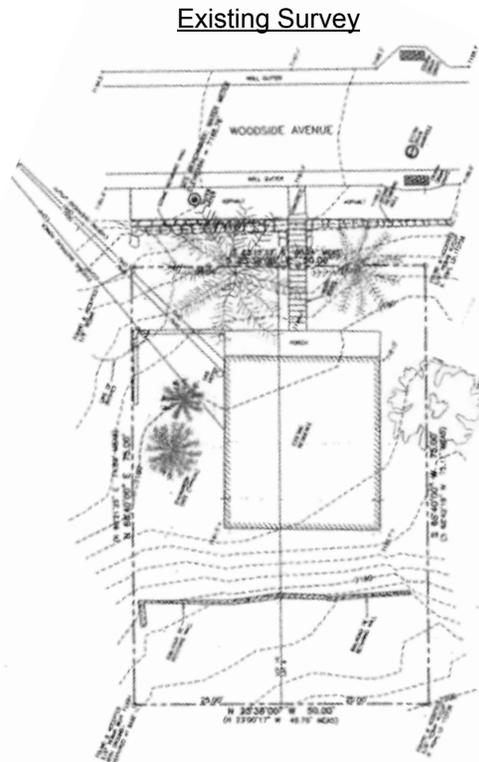
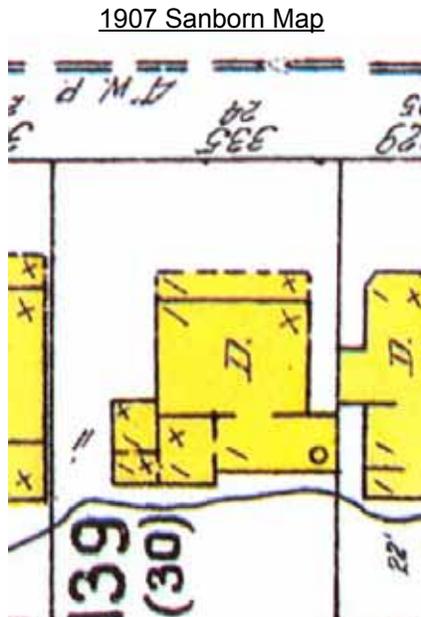
The appellant raised the following objections related to removal of the nearly four and a half feet (4.5') rear portion of the existing structure in the appeal:

- *Material-concept of integrity*
- *Footprint shown on the Sanborn Fire Insurance Maps*
- *Universal Guideline no. 3.*

See Exhibit A – Appeal. Because the proposed work deals with the restoration and addition to a historic site, the “Historic Sites” design guidelines are applicable.

Analysis

The rear wall was scheduled to be removed because it has been determined to be part of a non-contributory footprint/addition. The Sanborn maps of 1900, 1907, 1929, 1940, and 1958¹ indicate the same exterior configuration, see Exhibit C, also illustrated in the 1907 Sanborn map shown below to the left. This configuration shows the footprint of the front half to remain unchanged in its square form with the porch covering the entire length of the front façade. However the rear half of the structure is completely different from what exists today. See existing survey map shown below to the right, also found on Exhibit B – approved plans. The illustrations below are not to scale as the purpose of the illustrations is to show the difference in footprint.



As shown on the historic and existing footprints above, one can clearly identify that the rear façade is completely different as the historic footprint has a small change in the rear wall plane. In addition, the historic footprint shows that the rear portions of both sides have respective bump-out features extending past the side façades which were removed after 1958.

There is clear evidence that the rear façade and the rear portion of the side façades have been reconfigured from the original footprint. The existing rear addition, though

¹ The 1958 Sanborn map is not available as a digitized graphic as this time. The illustration drafted in Exhibit C is a representation of it.

constructed of older materials, does not contribute to the historic significance as defined in the Design Guidelines and LMC because it was modified from the original configuration after 1958, which is outside the period of historic significance (1896-1929) for this property.

The construction of the rear portion of the structure is different from that of the rest of the building. The walls are 2" x 4" studs at 24" on center with tar paper on the outside and wood siding over. The wall structure of the front and side façades is of the typical historic construction, known as "single-wall construction," typically found in Old Town consisting of two (2) layers of 1" x 12" pine boards running perpendicular to each other.

Due to the lack of evidence, Staff is unable to determine whether the existing rear façade matches with either one of the rear façades of the historic configuration or it may simply be another façade. Due to the available evidence, the extensive modification to the historic rear addition, and the fact that this is a tertiary façade; Staff authorized the approval of the removal of the rear portion to accommodate the proposed rear addition. Staff also recognizes that this site is listed on the National Register and maintains local Landmark designation because of its architectural significance as a hall-parlor house type. This house type is one of the three (3) most common house types constructed during Park City's mining era. Removal of the post-1958 rear addition/modification does not render it ineligible for listing on the National Register of Historic Places or for designation as a local Landmark Site.

Staff acknowledges that there is historic material on the exterior of the rear façade that is the same as the front and side facades, 1" x 7" pine drop siding. This exterior material is in very poor condition because a steep bank of earth comes right down to it; its proximity to the earth and many winters or deep snow against it has rotted most of it.

Staff finds that the *Concept of Integrity* related to the material has been met and that this principle has been properly applied as the overall mass and form of the rear façade is not intact. The following statement was submitted by the Appellant's as part of their appeal:

"Generally, the majority of the structure's materials, structural system, architectural details, and ornamental features, as well as the overall mass and form must be intact in order for a building to retain its integrity." [...]

Because the existing rear façade is not intact, it does not meet the *concept of integrity* explained on the Design Guidelines (page 5, first paragraph) and the principle has been properly applied.

The footprint analysis of the *Sanborn maps* has been properly applied as this evidence has been utilized to compare the historic configuration to the existing shape and a determination has been made that the existing rear façade currently does not provide historical contribution to the site. Staff finds that *Universal Guideline no. 3* has also been met as the historic exterior features of the building are retained and preserved in

conjunction with the historic preservation practices and theory followed by the Planning Department.

The existing configuration tends to reflect a residential building type/style resembling a saltbox structure. As indicated on the HSI and confirmed on the Sanborn maps, the actual building type/style was a hall and parlor, which is common to Old Town. For a clearer understanding of residential building types & styles, see page 13-14 in the Design Guidelines.

Notice

The property was re-posted and a new notice was mailed to adjacent property owners. Legal notice was also placed in the Park Record.

Public Input

No public input has been received by the time of this report.

Summary Recommendation

Staff recommends the Historic Preservation Board review the submitted appeal of Staff's determination of compliance with the Design Guidelines for Historic Districts and Historic Sites at 335 Woodside Avenue. Staff has prepared findings of fact, conclusions of law, and conditions of approval affirming the determination of compliance for the Board's consideration:

Findings of Fact:

1. The rear wall is scheduled to be removed because it has been determined to be part of a non-contributory footprint/addition.
2. The Sanborn maps of 1900, 1907, 1929, 1940, and 1958 indicate the same exterior configuration.
3. The historic configuration shows the footprint of the front half to remain unchanged in its hall-parlor form with the porch covering the entire length of the front façade.
4. The historic configuration shows that the rear half of the structure is different from what exists today.
5. There is clear evidence that the rear façade and the rear portion of the side facades have been reconfigured from its original footprint.
6. The existing post-1958 rear façade was not built within the historic period and it has not reached historic significance on its own as defined in the LMC because it is not at least fifty (50) years old and does not meet the criteria for designation.
7. Staff finds that removal of the post-1958 rear addition/modification does not render the site ineligible for listing on the National Register of Historic Places or for designation as a local Landmark Site.
8. The construction methods used on the extant rear portion of the structure are different from those used on the original hall-parlor portion of the building.
9. The wall structure of the rear façade is 2" x 4" studs at 24" on center with tar paper on the outside and wood siding over.
10. The wall structure of the front and side façades is of the typical historic construction, known as "single-wall construction," found in Old Town consisting of two (2) layers of

- 1" x 12" pine boards running perpendicular to each other.
11. Staff acknowledges that there is historic material on the exterior of the rear façade that is the same as the front and side facades, 1" x 7" pine drop siding.
 12. This exterior material is in very poor condition.
 13. The evidence found on rear façade as deteriorated historic material is not enough to support that the existing rear façade has achieved a level of historic contribution.
 14. Generally, the majority of the structure's materials, structural system, architectural details, and ornamental features, as well as the overall mass and form must be intact in order for a building to retain its integrity.
 15. Staff finds that the Concept of Integrity related to the material has been met and that this principle has been properly applied as the overall mass and form of the rear façade is not intact.
 16. The footprint analysis of the Sanborn maps has been properly applied as this historical evidence has been utilized to compare the historic configuration to the existing shape.
 17. Staff finds that Universal Guideline no. 3 has also been met as the historic exterior features of the building are retained and preserved in conjunction with the historic preservation theory practiced by the Planning Department.
 18. The existing configuration tends to reflect a residential building type/style resembling a saltbox structure.
 19. As indicated on the HSI and confirmed on the Sanborn maps, the actual building type/style was a hall and parlor, which is a more common to Old Town.
 20. The discussion in the Analysis section in the May 29, 2012 staff report is incorporated herein.

Conclusions of Law:

1. The Historic District Design Review application is consistent with the Park City Land Management Code (LMC) and the Design Guidelines for Historic Districts and Historic Sites.
2. Approval of the Historic District Design Review application does not adversely affect the health, safety, and welfare of the citizens of Park City.
3. The Concept of Integrity has been properly applied.
4. The Sanborn maps were corrected utilized to make a determination of contributory significance.
5. Universal Guideline no. 3 has been met as the historic exterior features of the building are retained and preserved in conjunction with the historic preservation theory practiced by the Planning Department.

Order:

1. The appeal is denied in whole and the Staff's determination is upheld.

Condition of approval:

1. The architect and contractor shall schedule an on-site meeting with the Planning and Building Department to inspect existing historic siding material along the rear façade to determine if there are any materials that can be retained for future repairs, maintenance, etc.

Alternatives

- The Historic Preservation Board may affirm the determination of compliance of the Design Guidelines for Historic District and Historic Sites, wholly or partly; or
- The Historic Preservation Board may reverse the determination of compliance of the Design Guidelines for Historic District and Historic Sites; wholly or partly; or
- The Historic Preservation Board may continue the discussion to a specified or unspecified date.

Exhibits

Exhibit A – Appeal

Exhibit B – Approved Plans

Exhibit C – Sanborn Maps

Exhibit D – HSI Site Form

May 7, 2012



Ruth Meintsma
305 Woodside Avenue
P.O. Box 1971
Park City, Utah 84060-1971
ruthworldwide@gmail.com
435-649-2860

Francisco Astorga, Planner
Park City Municipal Planning Department
445 Marsac Avenue
P. O. Box 1480
Park City, Utah 84060

Re: Historic District Design Review
Subject: 335 Woodside Avenue
Job Number: PL-10-00936

Mr. Astorga,

I am respectfully appealing the April 26, 2012 decision regarding the 335 Woodside Historic District Design Review Staff approval of the removal of the west portion of the historic structure for the following reasons:

The removal of the back 4.5 feet extending across the entire width of the building, from the southwest corner to the northwest corner, does not meet the Design Guidelines "**Concept of Integrity**" where the retention of historic integrity that is "*evidenced by the survival of physical characteristics that existed during the property's historic period*" is discussed:

"Generally, the majority of the structure's materials, structural system, architectural details, and ornamental features, as well as the overall mass and form must be intact in order for a building to retain its integrity.", where, "Landmark Sites, ...must retain their historic integrity..."

There are roofing, framing, and siding materials still evident on the back 4.5 foot portion of the 335 Woodside structure that are the same as those used at the turn of the last century. These materials show the wear and patina of age. Because the historic nature of the materials at the back portion of the roof and structure can be shown to be consistent with the same materials in the main portion of the structure, the west 4.5 feet of 335 Woodside can be shown to be historic and should remain intact in order for the building to retain its historic integrity.

The mass of 335 Woodside with regard to the footprint (horizontal mass) as it existed at the turn of the last century is manifest in both the 1900 and 1907 Sanborn Insurance maps. The

structure's footprint as it appears today matches the Sanborn maps when evaluated in terms of horizontal mass with regard to the placement of the structure as it sits on the lot; front, back and side yard setbacks of the main structure as shown in the applicant's Dimensioned Site Plan resemble the same placement of the main structure in the Sanborn maps. If the west portion of the structure is removed the new backyard setback will be come greater; there will no longer be a similarity in footprints between the Dimensioned Site Plan and the Sanborn maps.

When the form, or dimensions, of the Sanborn maps footprint are compared to the dimensions of the Dimensioned Site Plan footprint, the current form is, again, similar to the 1900 and 1907 form where the main structure is slightly *deeper than it is wide*. If the back portion is removed from 335 Woodside, then the form of the new footprint will no longer match the proportions of the footprint on the Sanborn maps; the structure would become slightly *wider than it is deep*.

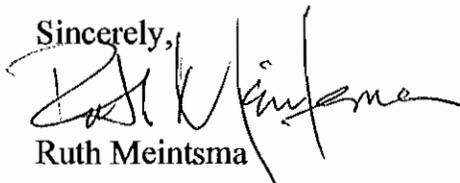
These changes in *mass and form* that would occur with the removal of the back portion of 335 Woodside would compromise the historic integrity of the structure so should not be allowed. The Sanborn Maps show the *physical characteristics that existed during the property's historic period*.

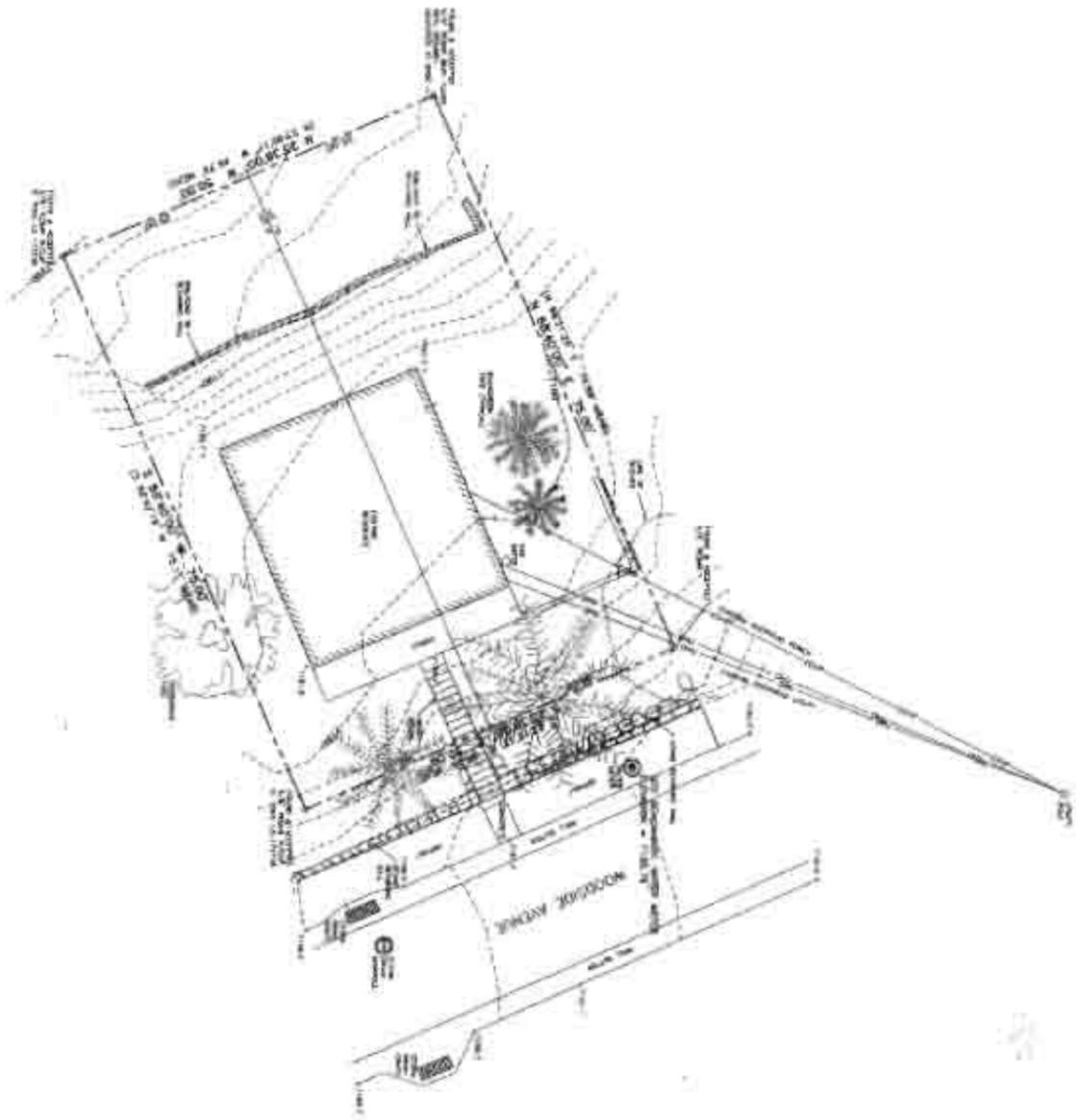
The removal of the back 4.5 feet of the west portion of 335 Woodside does not meet the Design Guidelines **Universal Guidelines** where, "3. *The historic exterior features of a building should be retained and preserved.*"

The extended long-sloping roof of 335 Woodside is a simple roof-form consistent with the hall-parlor type of residential buildings in mining-era Park City. If the back 4.5 feet of the west portion of this structure is removed, this historic roof-form will be compromised in that this exterior *mass and form* historic feature of the roof slope will be changed considerably and the integrity of structure will not be retained. The same structure without the extended long-sloping back roof will no longer exhibit the unique historic mining-era roof-form that is now apparent, so the back portion of the sloped roof should not be removed.

In my appeal I intend to present strong argument "evidenced by the survival of physical characteristics that existed during the property's historic period" that the 4.5 foot deep portion of the structure extending the length of the west (back) portion of the structure is certainly historic and therefore must be maintained as it now stands after more than 100 years, in order to maintain the integrity of this Landmark Structure.

My relationship to this project is that I am a year-round Park City resident of 20-plus years living in the neighborhood of the 335 Woodside structure and interested in saving historic structures in Old Town.

Sincerely,

Ruth Meintsma



SURVEYOR'S CERTIFICATE

I, Martin A. Martin, do hereby certify that I am a registered Professional Engineer and that I have personally supervised the execution of the above described survey and that the same is a correct representation of the field work done by me or under my direct supervision and that the same is in accordance with the provisions of the Florida Statutes, Chapter 473, Part 1, and the Rules and Regulations of the Board of Professional Engineers, State of Florida, and that I am duly licensed to practice as a Professional Engineer in the State of Florida.

Witness my hand and the seal of my office this 13th day of August, 2012.

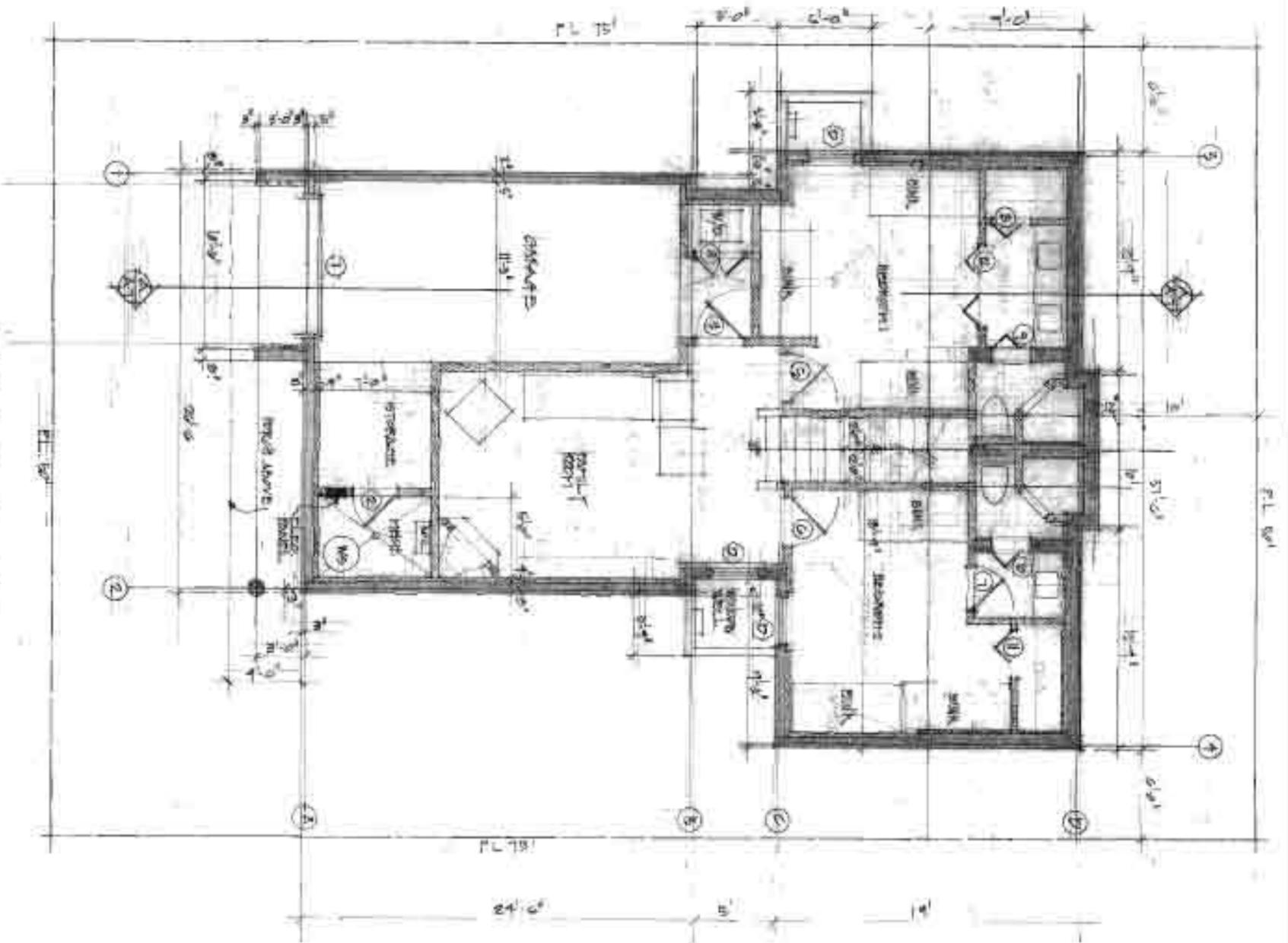
Martin A. Martin
Professional Engineer
License No. 15178
State of Florida

- NOTES**
1. The boundaries were shown.
 2. The monument is assumed to be existing unless otherwise noted.
 3. This topographic map is based on a field survey performed on August 13, 2012.
 4. Property corners were found.



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APR 24 2012
CITY OF MIAMI

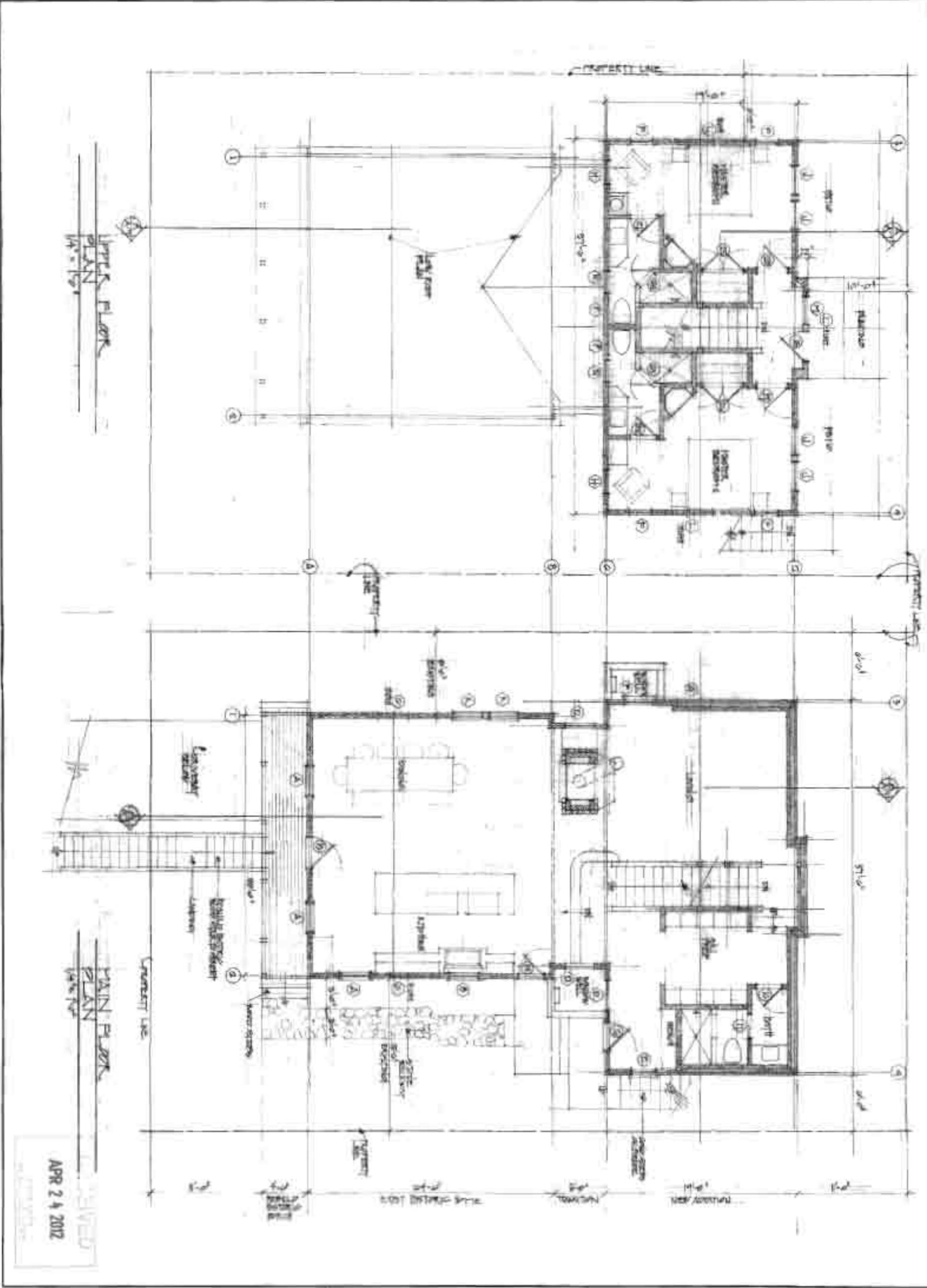
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LOWER FLOOR PLAN

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APR 24 2012

REVISIONS	BY	DATE																																																																																															
DAVID G. WHITE ARCHITECT		2500 N. 10th St. Fargo, ND 58103 (701) 785-1234		HISTORIC RESTORATION AND ADDITION 315 WOODSIDE AVENUE FARGO, ND 58103		Form: 4-23-12		Scale: 1/8" = 1'-0"		Date: APR 24 2012		Sheet: A-2		Project: 12-001		Client: Historic Preservation Board		Architect: David G. White																																																																															



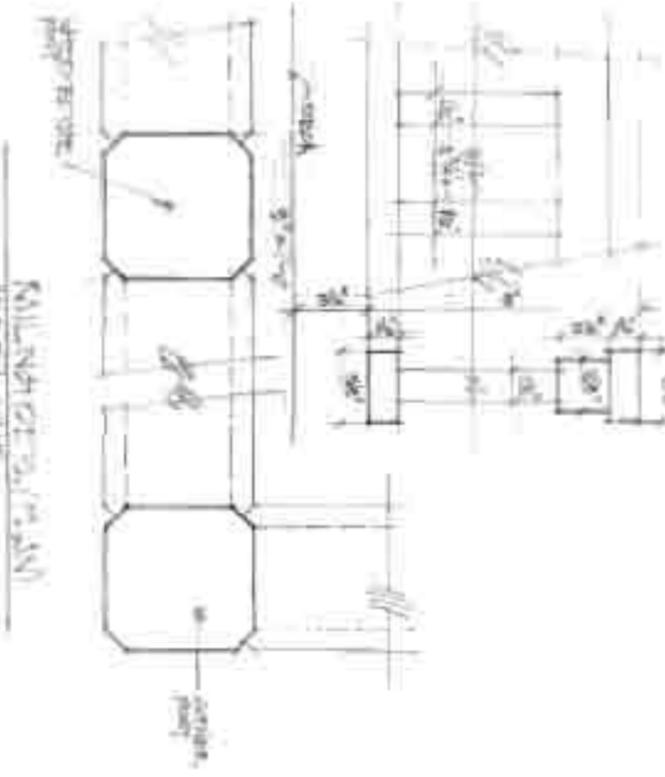
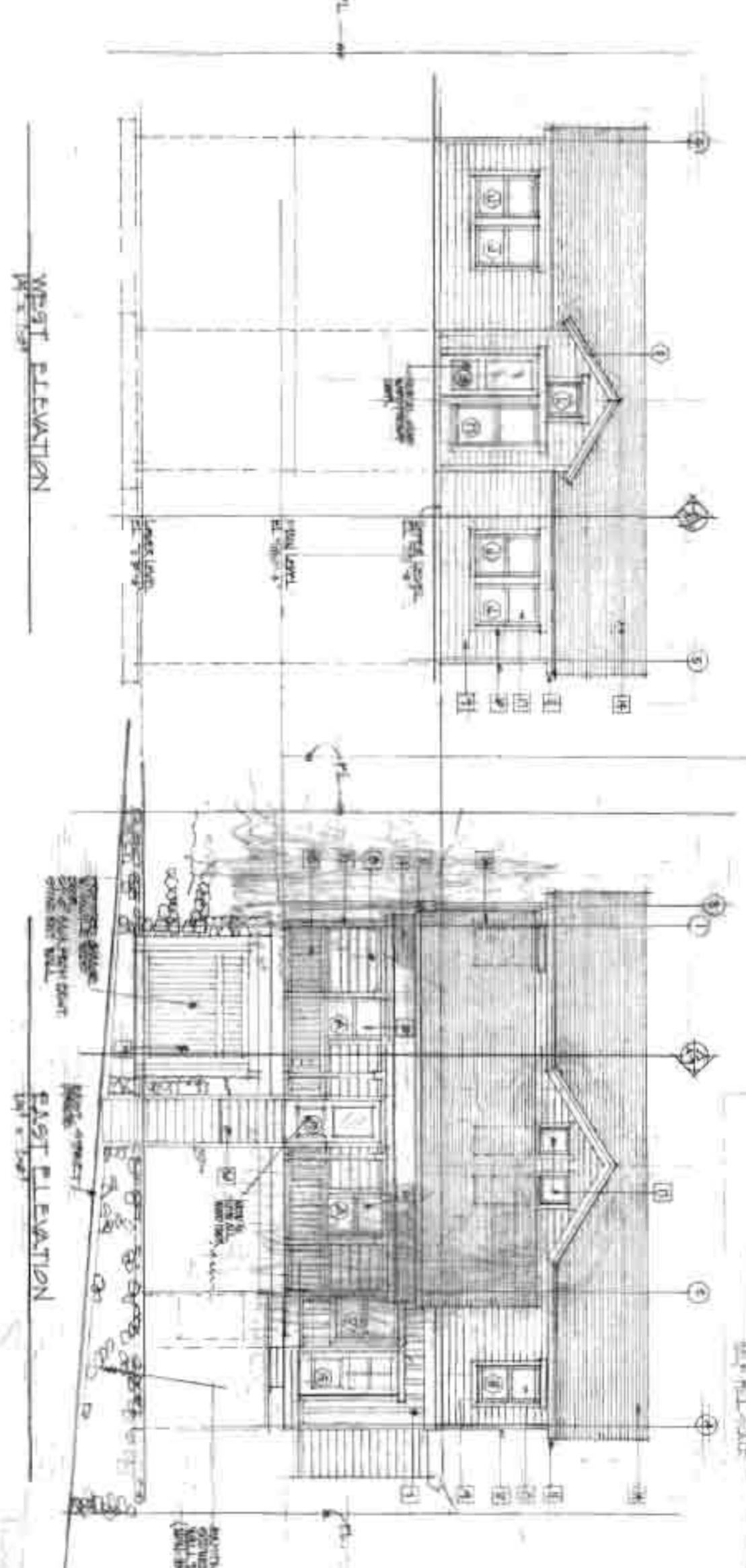
UPPER FLOOR
PLAN

MAIN FLOOR
PLAN

APR 24 2012

HISTORIC RESTORATION AND RECONSTRUCTION 10 WINDSOR AVENUE NEW YORK, NY 10022	ARCHITECT INTERIOR DESIGNER	DATE SCALE	SHEET NO. TOTAL SHEETS
10 WINDSOR AVENUE NEW YORK, NY 10022	DATE SCALE	SHEET NO. TOTAL SHEETS	17 OF 77

- GENERAL NOTES:**
1. Existing structure shown.
 2. New finish grade - See existing plan. 7" change to ground level. All ground is to be finished grade or concrete over.
 3. Existing roof pitch: 12/12. New roof pitch: 12/12.
 4. New roof.
 5. Existing window and door opening. See plan.
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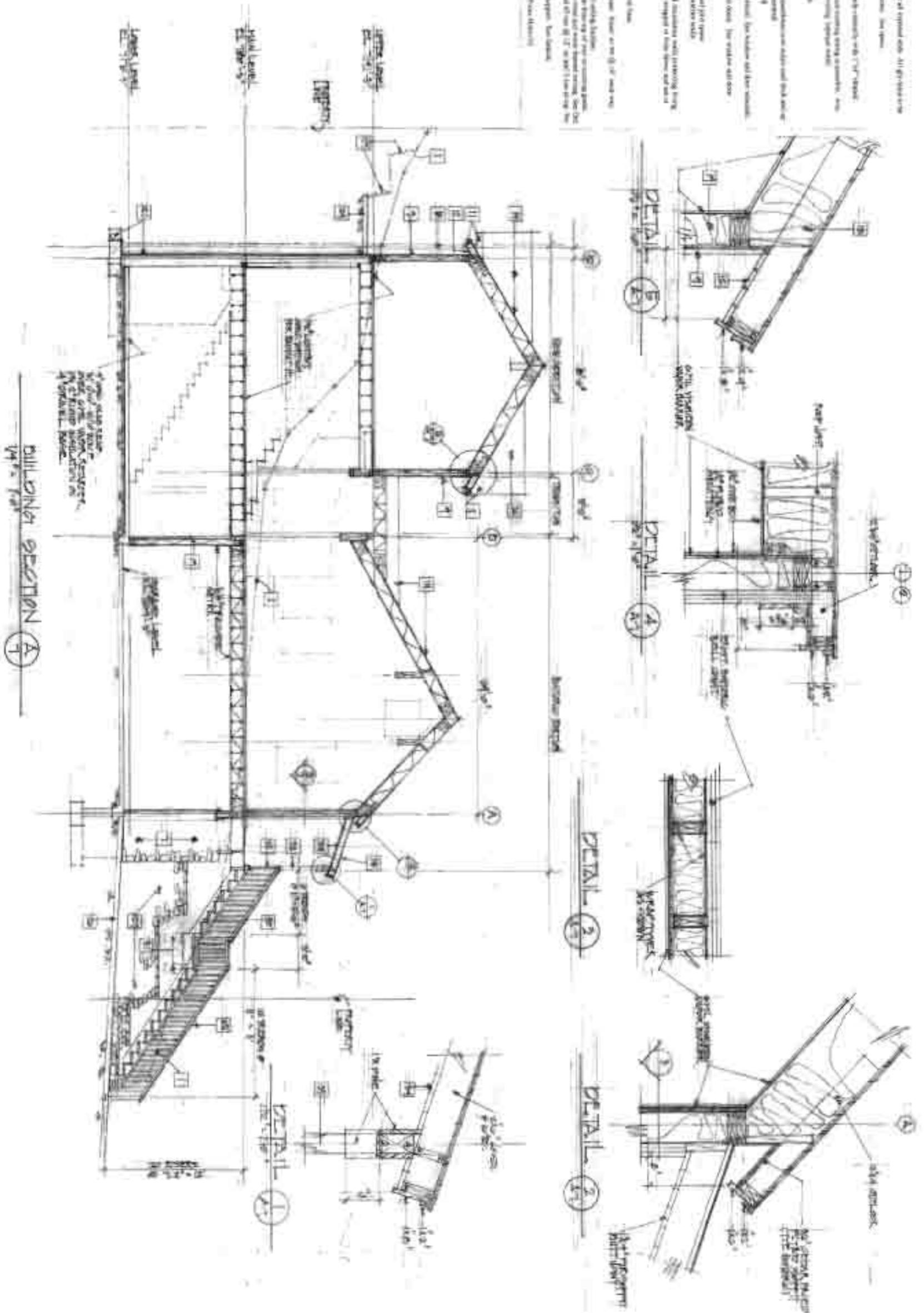
APR 24 2012

DAVID G. WHITE ARCHITECT
 1000 N. 10TH ST. SUITE 100
 DENVER, CO 80202

NOTICE: NOTIFICATION AND SIGNATURE
 TO: WOODROW WALKER
 1000 N. 10TH ST. SUITE 100
 DENVER, CO 80202

ARCHITECT NOTES

1. Furnish and install paint.
2. See Note 10.
3. Provide and install fire stopping per code. All penetrations through fire-rated walls and floors shall be fire-stopped.
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5. See Note 10.
6. See Note 10.
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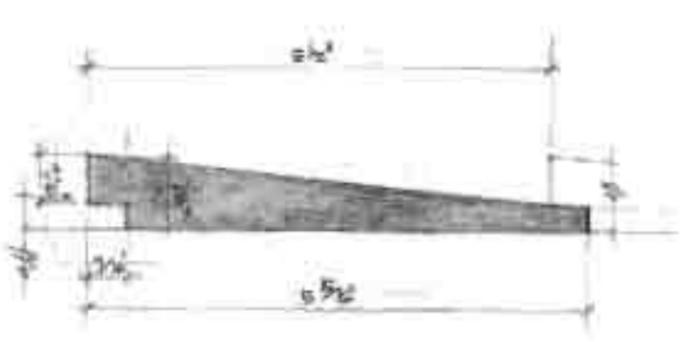


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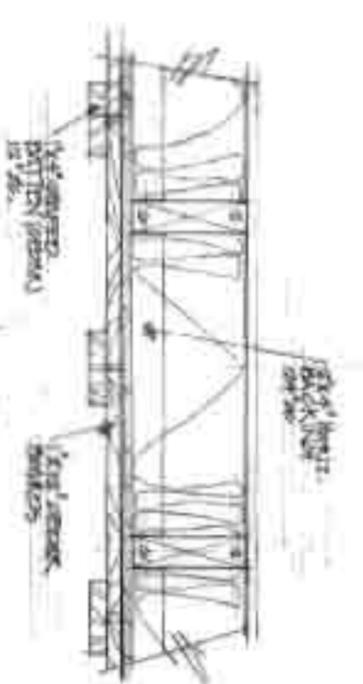
DAVID G. WHITE ARCHITECT
 1000 N. 10th St.
 Suite 100
 Phoenix, AZ 85004
 Phone: 602.441.1111
 Fax: 602.441.1112
 Email: david@whitearchitect.com

PROJECT: [REDACTED]
 SHEET: [REDACTED]
 DATE: [REDACTED]

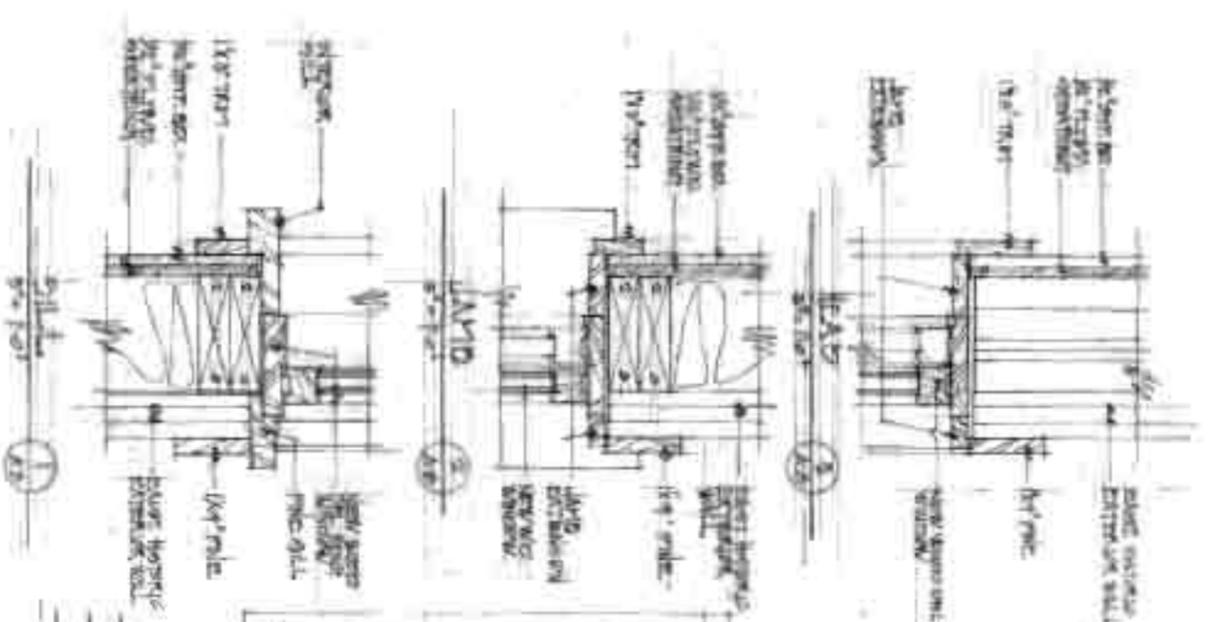
PROFILING
 CLAP (REVELED)
 SIDING
 FULL SCALE



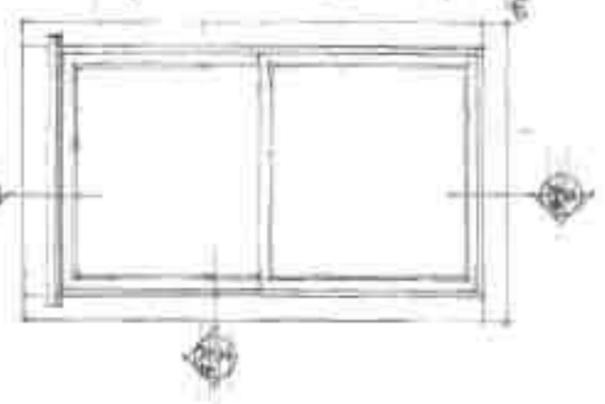
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NOTE:
 ALL DIMENSIONS ARE APPROXIMATE
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DAVID G. WHITE ARCHITECT
 215 WEST 10TH
 SALT LAKE CITY, UTAH 84111
 801-533-8378

APR 24 2012

DATE: 04/24/12
 DRAWN: DGB/ML
 SHEET: 055

STAIR NOTES

PROVIDE SIZES AND SPACING FROM THE CENTER LINE OF STAIRS UNLESS NOTED OTHERWISE. STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE LOCAL CODES. STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE LOCAL CODES. STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE LOCAL CODES. STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE LOCAL CODES.

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ELECTRICAL/MECHANICAL/PLUMBING GENERAL NOTES

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DAVID G. WHITE, ARCHITECT
P.O. BOX 1313
Park City, Utah 84060
(435) 649-6379

Specifications

1. Foundation
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 - B. Foundation
 - C. Foundation
 - D. Foundation
 - E. Foundation
 - F. Foundation
 - G. Foundation
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 - I. Foundation
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APR 24 2012

SPECIFICATIONS
HISTORIC RESTORATION & REAR ADDITION FOR
355 WOODSIDE AVENUE
PARK CITY, UTAH 84060

DAVID G. WHITE ARCHITECT
P.O. BOX 1313 • 2703 Estates Drive
PARK CITY, UTAH 84060
(801) 649-6379

HISTORIC PRESERVATION PLAN

PROJECT DESCRIPTION

The existing Historic House is judged a Landmark structure. It is presently in dangerously poor condition. The project proposal is to completely restore the structure, front porch and stairway access from the street, to its original early 20th century presence. The rotting foundation will be replaced with a new concrete foundation with full basement and single car garage. The final placement and orientation of the house on the site will remain the same as existing. The final floor elevation will also remain the same. The existing house will have to be structurally braced and raised in tact in order to facilitate the construction of the basement/ garage portion of the project. Upon completion of the basement and new main floor structure, the house will be set back down to its original position. Rehabilitation of the house will then begin.

A new addition is proposed behind the existing historic house. The footprint of the new addition will be 750sf. There will be a proper transition between the new and historic structures. The new basement under the historic house will extend back under the new addition making the addition a total of three stories.

DESIGN ISSUES- Historic Sites

The existing Historic house is grave disrepair and has wrongly been gutted from the inside. The existing exterior walls can be fitted with new stud framing from the inside thus saving the existing historic layers, as described in the Existing Conditions Report, on the outside. The roof structure does not meet code and the roof will have to be restructured. The roof height, slope and shape will appear exactly the same for those viewing the house from the outside.

I believe the placement and height of the proposed new addition in the rear will have no negative impact on the street or the Historic District. The Historic House sits about 12 feet above and 25 feet back from the edge of the street. The front yard consists of a very nice stacked stone retaining wall (2' to 6' in height) across the front of the site. A steep earth bank rises from the top of the wall to the main level of the house. If a person stands in front of the house on the street, the rear addition cannot be seen. The new addition will only be seen slightly by walking up or down the street from the North or South.

The only other impact that the project proposes is in the front yard where the new driveway will cut through the stone retaining wall at the low end and the excavation required to reach the new garage. The impact of the garage door, however, will be greatly minimized because it is back underneath the front porch and 28 feet from the edge of the street. The new driveway is only 10 feet wide. There are, presently, two large evergreen trees in the front yard. The north tree is approximately 25 to 30 feet in height and looks to be in good shape. The south tree is approximately 20 to 25 feet in height and looks to be under stress. The south tree will be removed with the construction of the new driveway. A new evergreen tree will be installed 8 to 10 feet south of the original location. The two trees in the front yard have been in place for many years. I believe that the two trees have outgrown the site. The visibility of the Historic House is now greatly diminished by the two existing trees. I believe that removing the South tree in favor of a new small driveway will greatly increase the house's visibility and presence to the street. The topography of the front yard will remain the same except for the driveway cut. The driveway will be 10 ft. wide and the sides will splay up to the existing grade as it goes back to

APR 24 2012

the door. The splay areas will be planted with ground cover and flowers positioned among the small hand stacked retaining. The new garage door is 29'-6" back into the site from back of curb. The door is also 4'-6" back under the face of the front porch. The door will not be visible unless one is standing directly in front of the house. The existing front stairway will be rebuilt with wood and will be in the same location. It will be raised slightly so it is not resting on dirt.

DESIGN ISSUES- Historic Districts

I believe the proposed project will have no negative impacts on the surrounding district. I also believe that the removal of the south tree and the replacement with a smaller tree (15 feet in height) will greatly enhance the view of the existing Historic house from the public right of way. The existing trees have overgrown the site, making the view of the house minimal.

The new rear Addition will be constructed of proper materials with roofline and massing to compliment the existing Historic structures in the District.

CONSTRUCTION ISSUES

Site Features

Topography- The main construction issue affecting the topography of the Site will be the driveway cut and the removal of the south evergreen tree. The cut will be about 12 to 13 feet wide. The driveway itself will be 10 feet wide. The extra width will facilitate the building of the low hand stacked stone retaining needed to retain the driveway banks. The driveway cut and the raising of the Historic house will facilitate the excavation of the basement and the rear addition beyond. This method will result in little impact on the Site topography.

Landscaping- There is presently no landscaping on the Site. Except for the two evergreen trees described in the front yard and the and the two evergreen trees described in the North side yard, the Site is overgrown with weeds and tangled natural plants. A new evergreen tree (12 to 15 feet tall) will be planted in the front yard south of the new driveway to replace the one removed. There will be a stone walkway on the North side of the house from the front porch to a small concrete patio and entry to the new addition. The North side of the new addition will have a concrete stairway on grade from the small patio to another patio in the rear of the addition. The South side of the property will be unchanged and will be cleaned of the weeds and tangled shrubs. See the new proposed Site Plan for areas of lawn, flowers and ground cover.

Retaining walls- The main existing retaining wall at the front of the property will remain the same except for the driveway cut. There will be other retaining, however, every wall will be hand stacked stone 2 to 4 feet in height. There will be two 6 foot high walls on either side of the garage door. Their visibility will be minimal. See the new proposed Site Plan for wall locations.

Exterior Steps- There will be two sets of exterior stairs. The first set of stairs, which is existing and Historic in location runs from the street up to the main floor of the Historic house through the front yard. This stair is in grave disrepair and will be rebuilt in place with new wood stringers and treads with new wood railings. The present stair is constructed of pressure treated 2"x members which are not Historic and the stair is resting on existing grade. The new stair will be raised slightly above grade. See

the details on the drawings. The second set of stairs is located on the North side of the new addition and is described in the Landscaping section above.

Fences- There will be no fences.

Other- None

Main Building

Roof- The roof massing of the existing Historic house will remain unchanged. The existing roof structure does not meet code and when the interior of the house was gutted a few years ago, the structure was further compromised. The roof will be restructured, re-sheeted, waterproofed and resurfaced with new asphalt shingles. Many of the existing roof joists will remain and be sistered with new joists. The roof height, slopes and massing will remain the same. Proper insulation will be added to the roof system.

Exterior walls- The exterior walls will be reused and will form the correct heights, lengths, window and door sizes and locations for the rehabilitated house. A good portion of the existing siding and trim can be reused. There are some boards close to the ground that are rotten and warped and will have to be replaced. Any new siding will be milled to the exact profile of the existing. All exterior walls will be straightened and plumbed and will be re-structured from the inside with 2"x6" studs at 16" o.c. and plywood sheathing. The existing Historic wall will be attached to the interior stud wall and proper insulation and air barrier will be added to the system.

Foundation- The project is proposing a new basement with garage under the Historic house. The house will have to be raised above its present location in order to facilitate the excavation, forming and pouring of the new concrete foundation. The main floor of the house will also receive a new floor system. The old system is resting on dirt and is rotted. When the new foundation and floor system are in place, the house will be lowered back to its original position and elevation.

Porch- The existing Historic house did have a front porch, but it was restructured to be on grade and surfaced with flagstone. The porch will again be rebuilt with wood structure and surfaced with 1"x4" hardwood. The porch roof posts will be reused and a new railing will be built to be more in keeping with the Historic era.

Dormer- None

Existing Additions- None

Mechanical System- New gas fired radiant system.

Electrical System- All new

Structural system- All new

Hazardous Materials- Lead paint exterior

Other- None

APR 24 2012

Main building Details

Windows- All existing windows in the Historic house are aluminum and non-historic. All widows in the Historic house will be replaced with energy efficient wood interior and exterior windows and will have painted finish. The windows will be made of the correct size to fit in existing openings. The existing conditions South side elevation shows a window about half way back from the front of the house that is not of historic size or shape. This window will be replaced with a two double hung windows as shown on the finished South Elevation. Also on the existing South side of the there is a doorway and a platform hanging off the side of the house located at the peak of the roof. There is no evidence that this door and platform arrangement is historic. The door and platform will be removed and replaced with a small window in the peak to match the North side. All operating windows will be double hung. The windows for the new addition will be double hung operating and will be wood interior with colored exterior aluminum cladding.

Doors- There are no doors of historic value left in the existing house. The front entry door of the existing Historic house is to only door that will be visible from the public right-of-way. This door will be of wood and the style will be submitted to the Planning Dept. for approval. The same procedure will follow for the exterior doors for the new addition.

Trim- Much of the door and window trim on the existing house can be reused. The trim is very simple flat square-cut pieces. If any of the pieces need to be replaced, it will be a very simple match. See details provided of the window and door trim and the porch and stair railing.

Architectural Ornamentation- The only ornamentation that exists on the building is a crown mould at the top of the fascias and a crown mould at the top of the trim piece where the siding meets the soffit. These crown mould pieces are pretty beat up and should be replaced. They will be replaced with pieces that are the same size and profile.

Other- None

Accessory Buildings

None

Structures

None

PROJECT TEAM

Architect- David G. White, Architect, R.A., N.C.A.R.B.

Structural Engineer- McNeil Engineering Structural, L.C., Matthew Roblez, S.E.

APR 24 2012

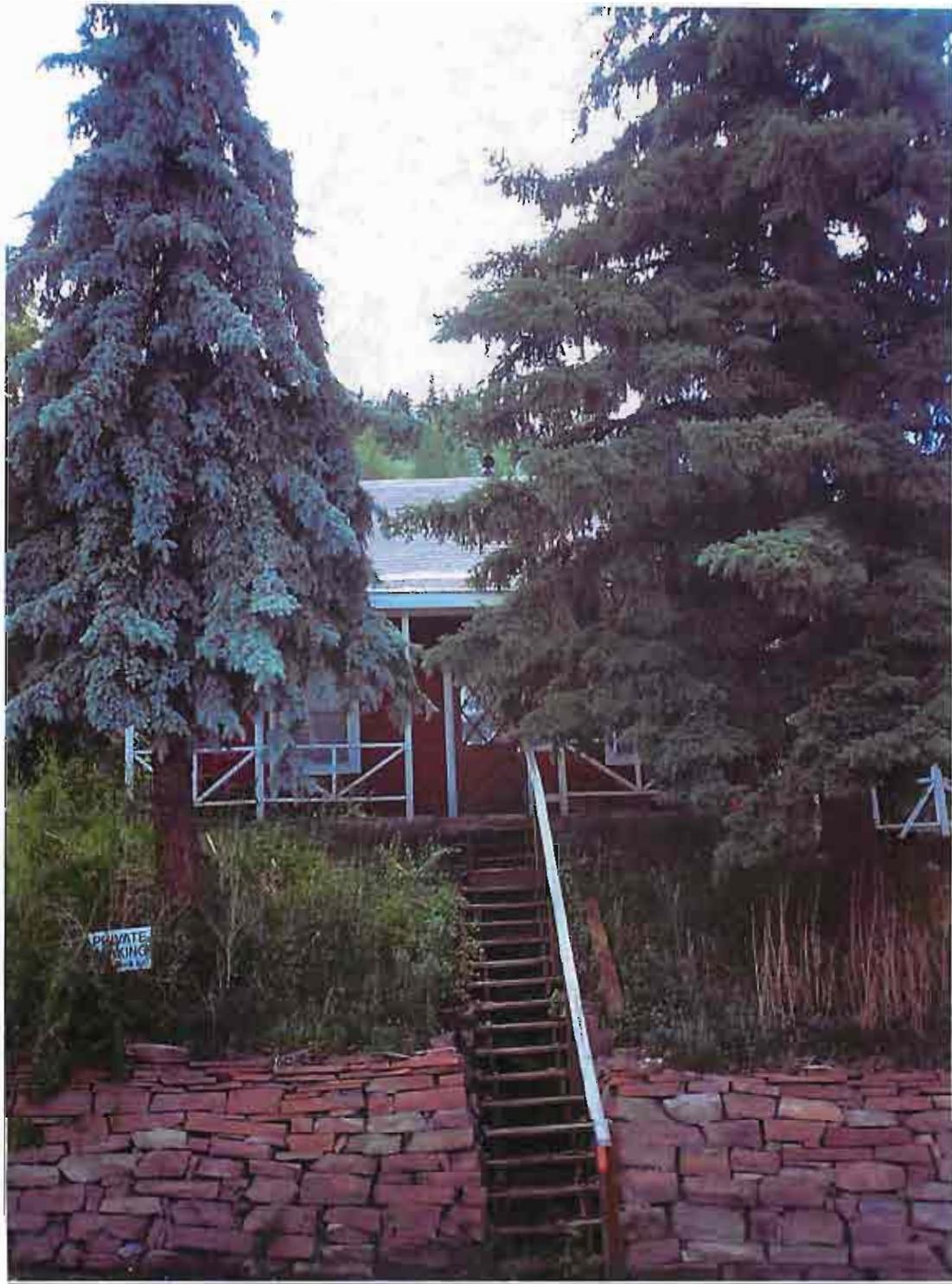
East Wall



Looking East



Street Scape



West Wall



Looking West



North Wall



Looking North



PHYSICAL CONDITION REPORT - PHOTOS

A.1 Topography

Looking Down on House from West



Front of House



A. 2 Landscaping

South Side

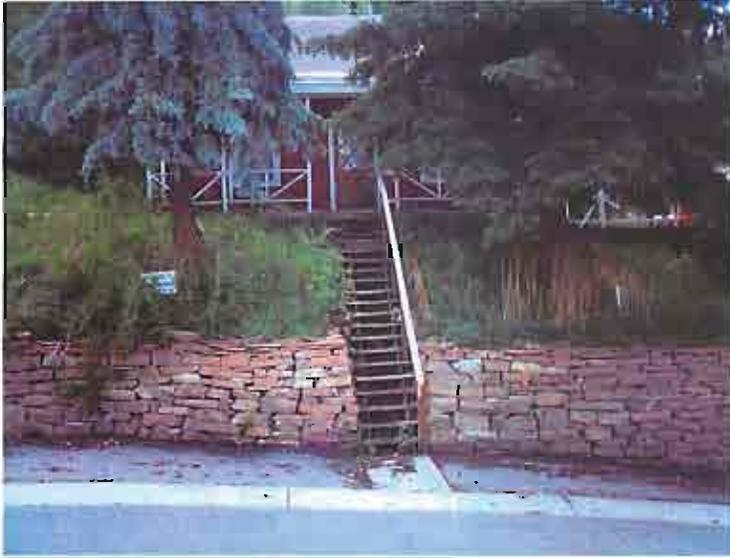


North Side



A.3 Retaining Wall

Street View



A. 4 Exterior Steps

Steps with Retaining Wall Return



Broken Steps



B.1 Roof

Rear View

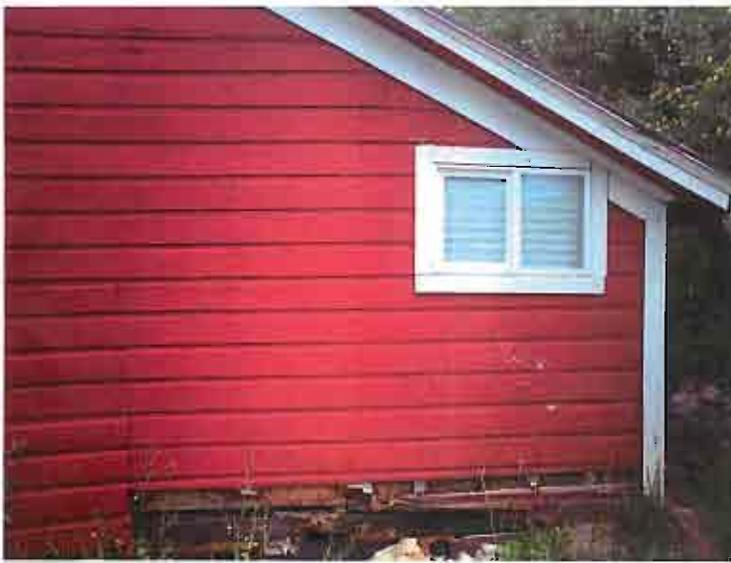


North Side



B. 2 – B.5 Exterior Wall

Northwest Corner



Close Up of Northwest Corner



Northeast Corner Showing Porch, Front Door Window Trims



B.6 Foundation

North Wall Showing Rotten Foundation and Rotting Siding



B.7 Porch(s)

Front Porch Showing Flagstone Floor



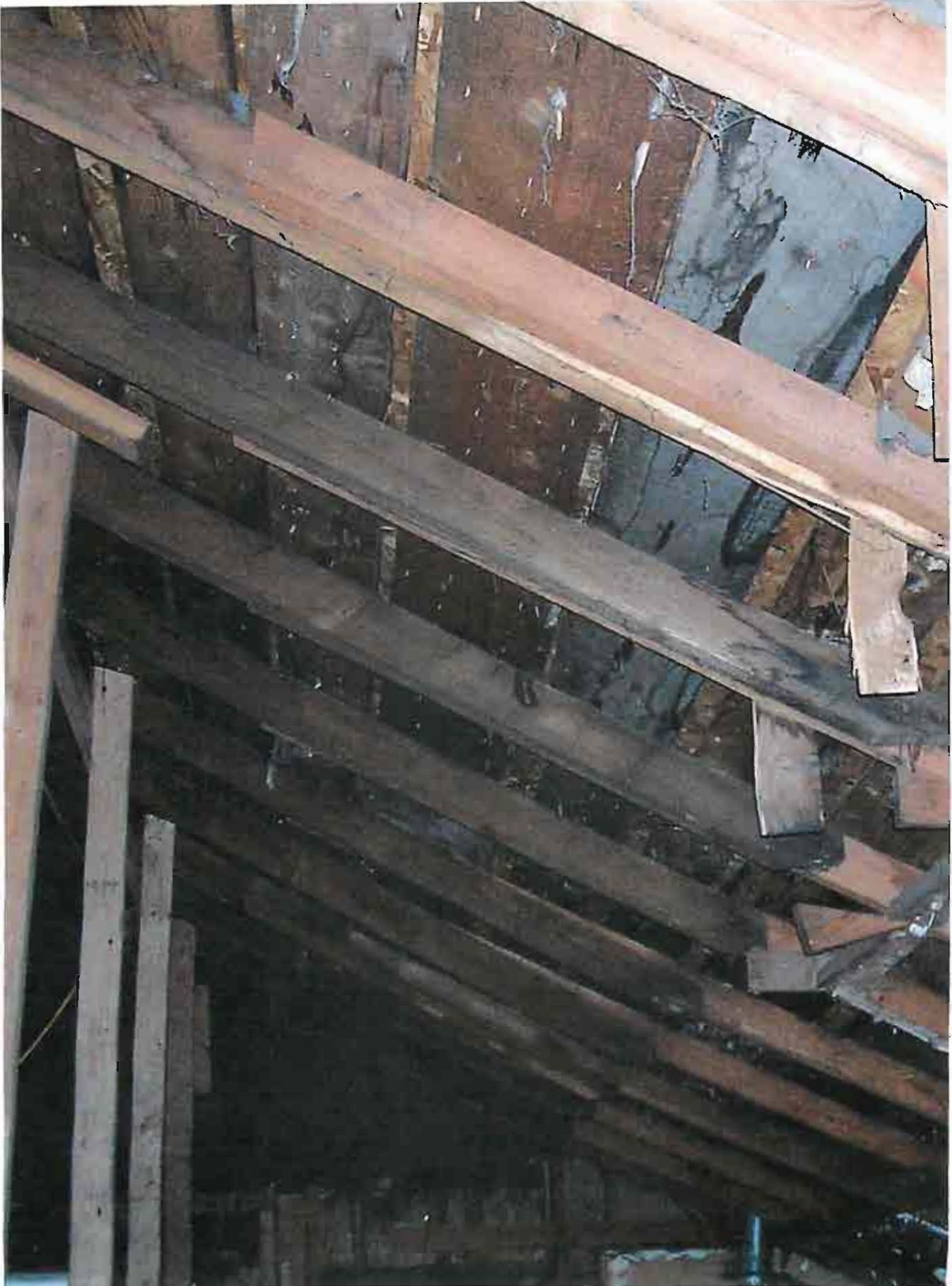
B.10 – 12 Mechanical System, Electrical System, Structural System

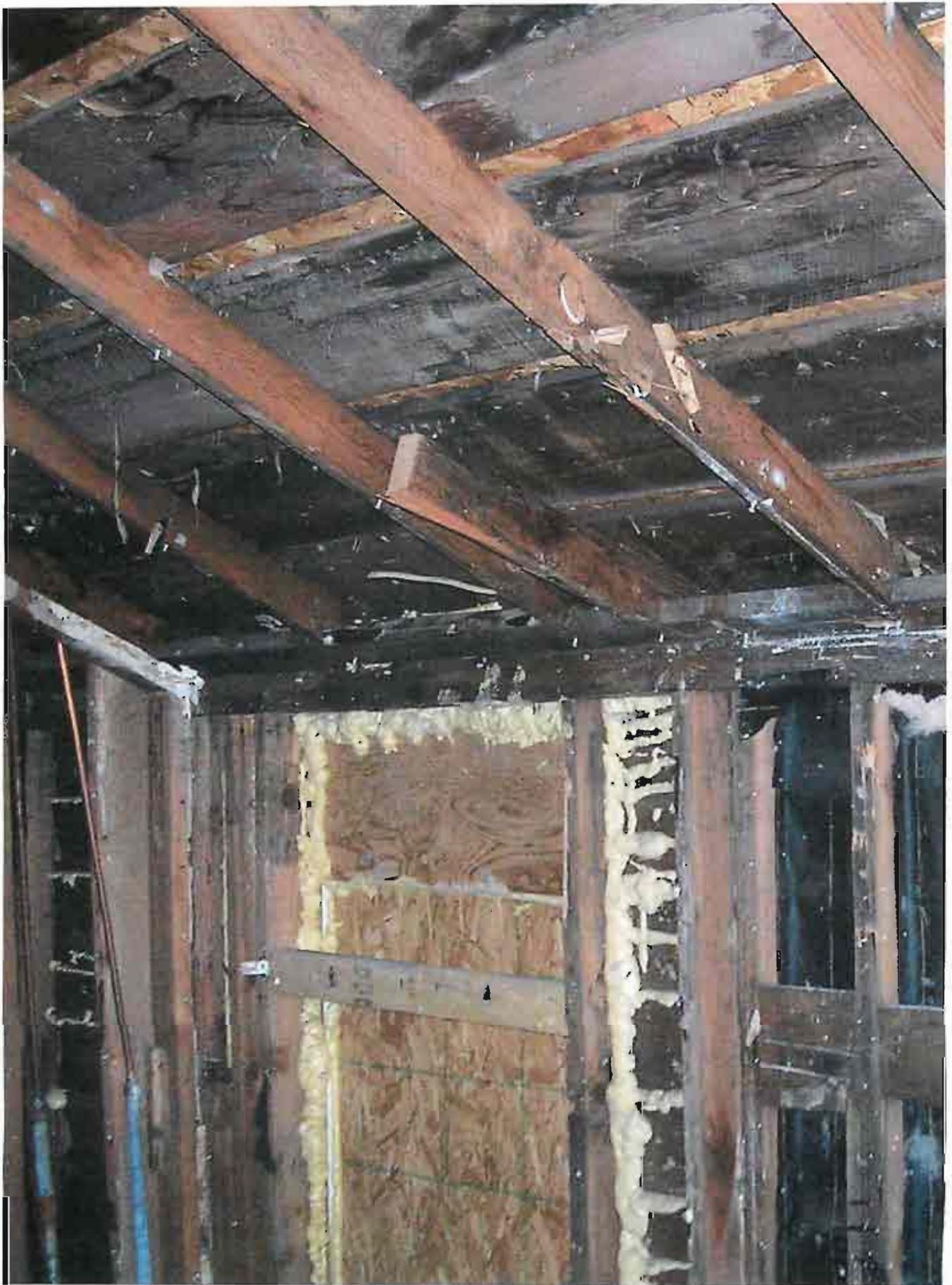
View from Front Door



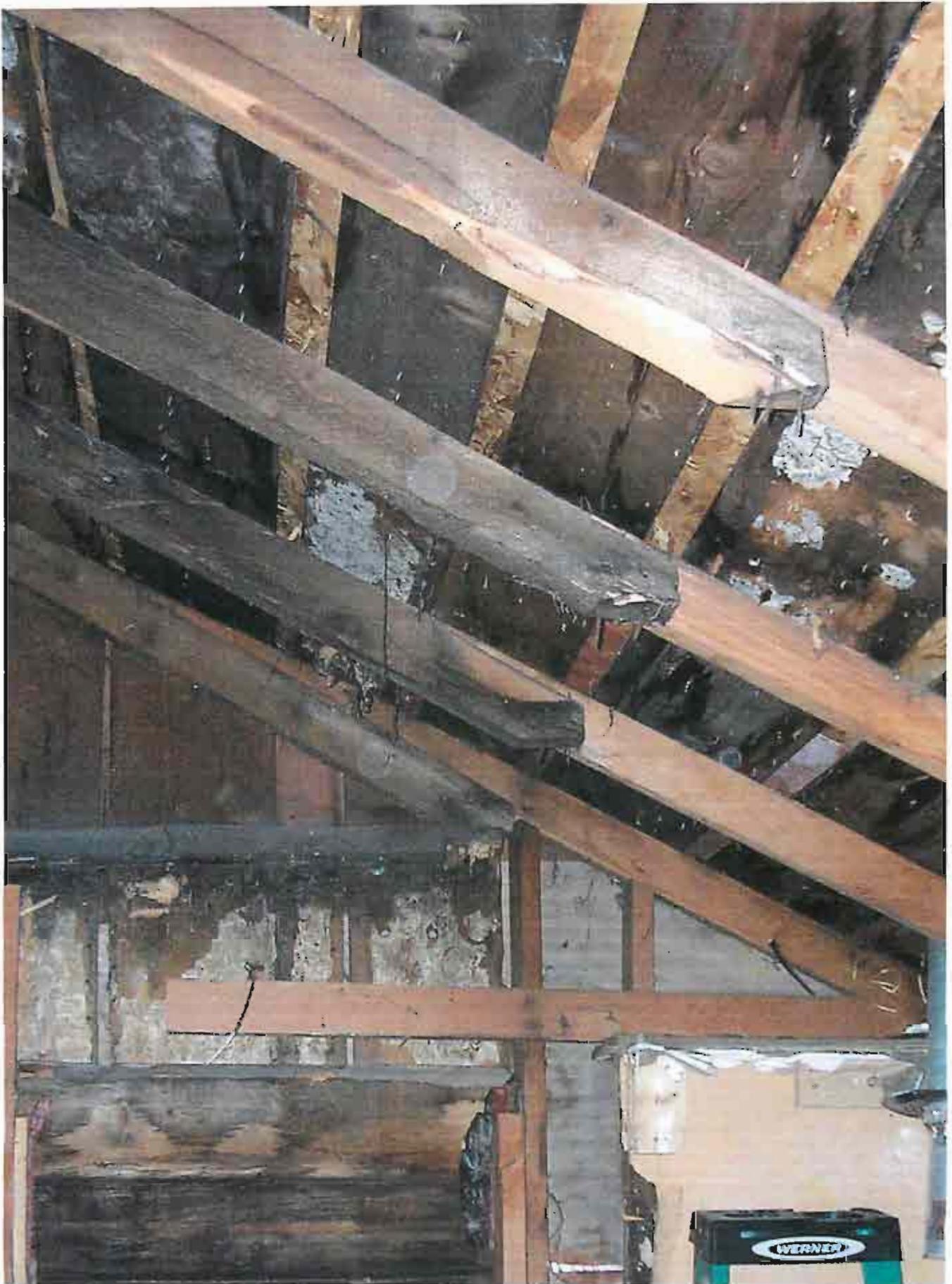
View from Front Door











PHISICAL CONDITIONS REPORT

SITE FEATURES

TOPOGRAPHY

The Site is situated on the West side of Woodside Ave. Approximately 6' from the curb is a very nice hand stacked stone retaining wall. The wall is about 2' high at the South end of the property and rises to a height of about 6' at the North end of the property, 50 feet away. The East property line of the Site is about 7' West of the wall. The Site rises from the top of the retaining wall 8' in a distance of fifteen feet to the main floor elevation of the existing house. At this point, the Site flattens to a very gentle slope to the rear of the house. (about 29') The site then, once more, rises sharply another 10' in 12' to the bottom of a deteriorated railroad tie retaining wall which is 2' to 3' in height. The Site then gently slopes back to the West property line. Beyond this property line is a trail for hiking in the summer and ski access in the winter.

LANDSCAPING

There is no existing landscaping because the house has not been occupied for many years. There are two large evergreen trees in the front yard, between the stone retaining wall and the house. The trees are approximately 30' in height. There are also two evergreen trees about 12' in height on the North side of the house about half way back on the Site. The rest of the Site is just overgrown weeds and native plants in the rear.

RETAINING WALLS

Across the front of the property, as described in the Topography section, there exists a very nice hand stacked stone retaining wall (2' to 6' in height). The wall is in very good condition. Another retaining wall exists, also described in the Topography section, high upon the site to the rear. It is built of railroad ties and is in poor condition.

EXTRIOR STEPS

There are existing steps that are situated to lead from the street up to the front porch and the front door of the house. The steps are wooden and are located approximately in the middle of the front yard between the two large evergreen trees. The present physical stairway, because of its materials, is probably not historic, but its existence and location is historic. The stairway is 3' wide, has 2-2"x6" treated Douglas Fir treads. The treads have an average of 7.5" rise. The stringers are rotting Douglas Fir. The handrail is 2"x4" Douglas Fir and the posts are pressure treated Douglas Fir. The stairway is unsafe, broken, missing treads, not to code and must be re-built to code.

APR 24 2012

FENCES

A fence exists at the top of the front yard. It exists from the North-East corner of the existing front porch and follows north to the property line. The fence is built out of 2"x4"s and is the same design as the railing of the existing front porch. Neither is historic.

OTHER SITE FEATURES

None

MAIN BUILDING

ROOF

The existing roof is gabled on the North and South sides. The East slope starts at the front wall of the house and rises at a pitch of 11/12 to the main ridge which is about 8'-6" back from the front wall. The remainder of the roof slopes at a pitch of 6.33/12 to the rear of the house. The eave height at the rear of the house is only 5'. The front porch has its own roof which has probably been changed from its original design. The roof is a shallow shed that slopes toward the street and has been truncated on the North and South ends. The existing roof covering on the main roof is non-historic asphalt shingles. The main roof structure consists of 2"x4" joists at 24" oc. Above the joists is 1"x12" skip sheathing running perpendicular to the joists. Through the years someone has installed an OSB sheathing layer above the skip sheathing, probably to give the building a little stability and to help with the installation of the asphalt shingles. The existing roof structure is not useable on its own. It will have to be structurally modified. A red brick chimney approximately 24" square penetrates the roof about 4' west of the main ridge.

EXTERIOR WALL- PRIMARY FAÇADE 1

This façade is wood siding. It is 1"x7" pine drop siding. The trim at the building corners and around the windows and front door is 1"x4" pine. The fascia at the roof is 1"x7" pine with a 3" pine crown molding. The condition of the material is fair. I think a good portion of it can be re-habilitated and re-used. The wall structure is of the typical historic construction seen in Park City. It consists of two layers of 1"x12" pine boards. The layers run perpendicular to each other.

EXTERIOR WALL- SECONDARY FAÇADE 2

The North and South facades are also of 1"x7" pine drop siding. The trim around the windows are of the same 1"x4" pine as the front façade. There is a trim board just below the soffit along the rake of the roof. This trim consists of 1"x8" pine with a 3" crown mold. The soffits are 9" wide and are 1" pine painted and recessed ½". The condition of the material is fair. The wall structure is the same as described in Primary Façade 1.

EXTERIOR WALL- REAR FAÇADE

APR 24 2012

This façade is the same exterior materials as the other facades. It is in very poor condition because a steep bank of earth comes right down to it. Its proximity to the earth and many winters or deep snow against it has rotted much of the material. This wall is scheduled to be removed because it has been judged to be part of a non-contributory addition.

FOUNDATION

The building's existing foundation is of wood on earth and is totally rotten. The existing foundation is a non-issue because of stabilization requirements, the house will receive a new concrete foundation.

PORCH(ES)

The existing front porch is 4'-6" wide and extends across the entire length of the front façade. The surface of the porch is flagstone on grade with concrete block retaining along the front edge. This house did have a front porch, according to the Sanborn maps of 1900 and 1907, but the existing one is not of historic materials and will be rebuilt with proper materials.

DORMERS

None

ADDITIONS

The Sanborn maps of 1900 and 1907 show that the original building had some rear additions, however, there is no evidence of these additions at this time. The existing building does have a rear addition that is not related to the Sanborn maps. The addition is about 5' in depth and extends across the entire width of the building. There is a doorway in the middle of the back wall that leads outside and a broken window to the South. The construction of this addition is totally different from that of the main building. The walls are of 2"x4" studs at 24"oc with tar paper on the outside and wood siding over. See photos provided for this area.

MECHANICAL SYSTEM

There is no mechanical system. There is an existing brick chimney that starts at the floor and extends up through the roof about 4' west of the main ridge. There is a wood burning stove sitting on the floor that vents into the chimney. The stove is not historic.

ELECTRICAL SYSTEM

None. Power to panel only.

STRUCTURAL SYSTEM

There is no structural system at this time. There are no interior walls. All interior walls were wrongly removed. The roof is presently supported by temporary bracing which was not structurally designed. A

APR 24 2012

All of the exterior trim around the doors and windows and the building corners are very simple 1"x4" pine and void of any ornamentation. Everything is square cut and painted. There are no window sills. All original windows have been replaced with aluminum and one vinyl.

Porch Soffit: The existing porch soffit is 2 1/4" v-board. Under this layer there is a layer of 1"x4" pine that is butt jointed. This layer seems to be original.

House Soffit: 1"x10" rough cut fir.

All trim is judged to be in fair condition, possible for rehabilitation and reuse.

ARCHITECTURAL ORNAMENTATION

The only ornamentation that exists is the 3" crown molding at the top of the fascia board all around and a 3" crown molding at the top of the trim band just below the fascia all around.

OTHER

None

ACCESSORY BUILDINGS

The 1900 Sanborn map show a small accessory structure about halfway up the site on the North property line. The 1907 Sanborn map shows a small accessory structure about halfway up the site on the South property line. There is no evidence of any accessory structures at this time.

STRUCTURES

None

APR 24 2012















New



Existing



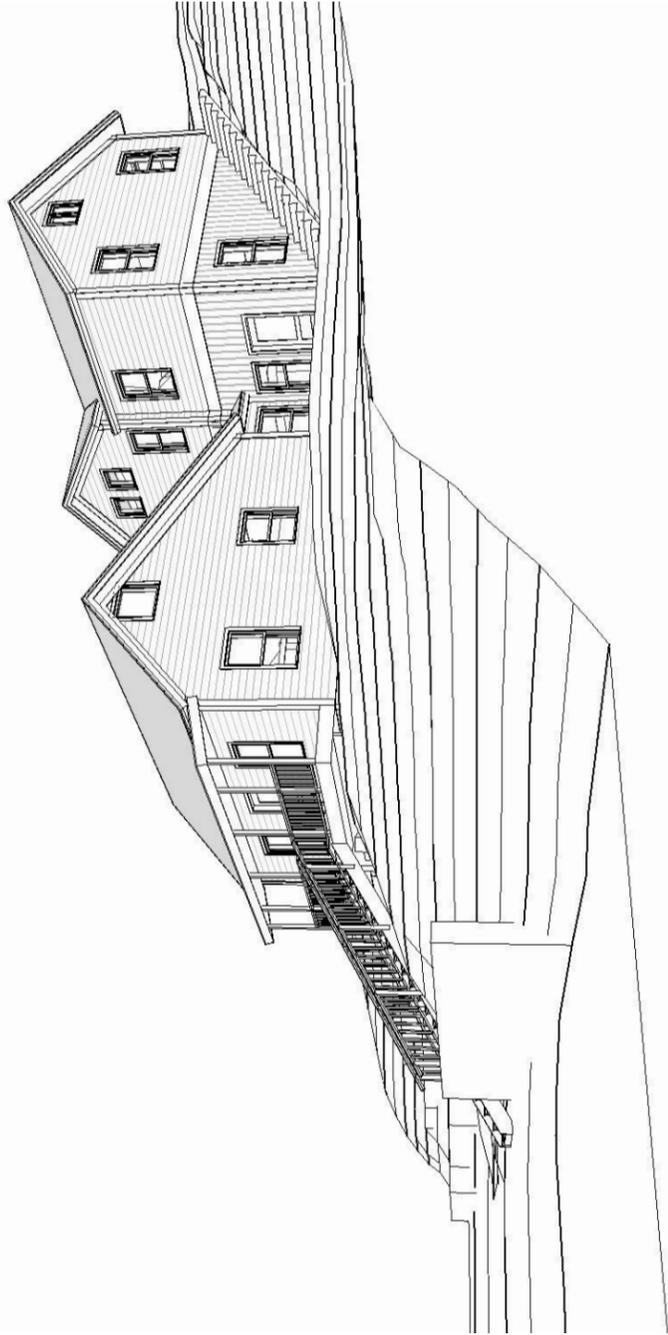
Northeast Perspective
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect



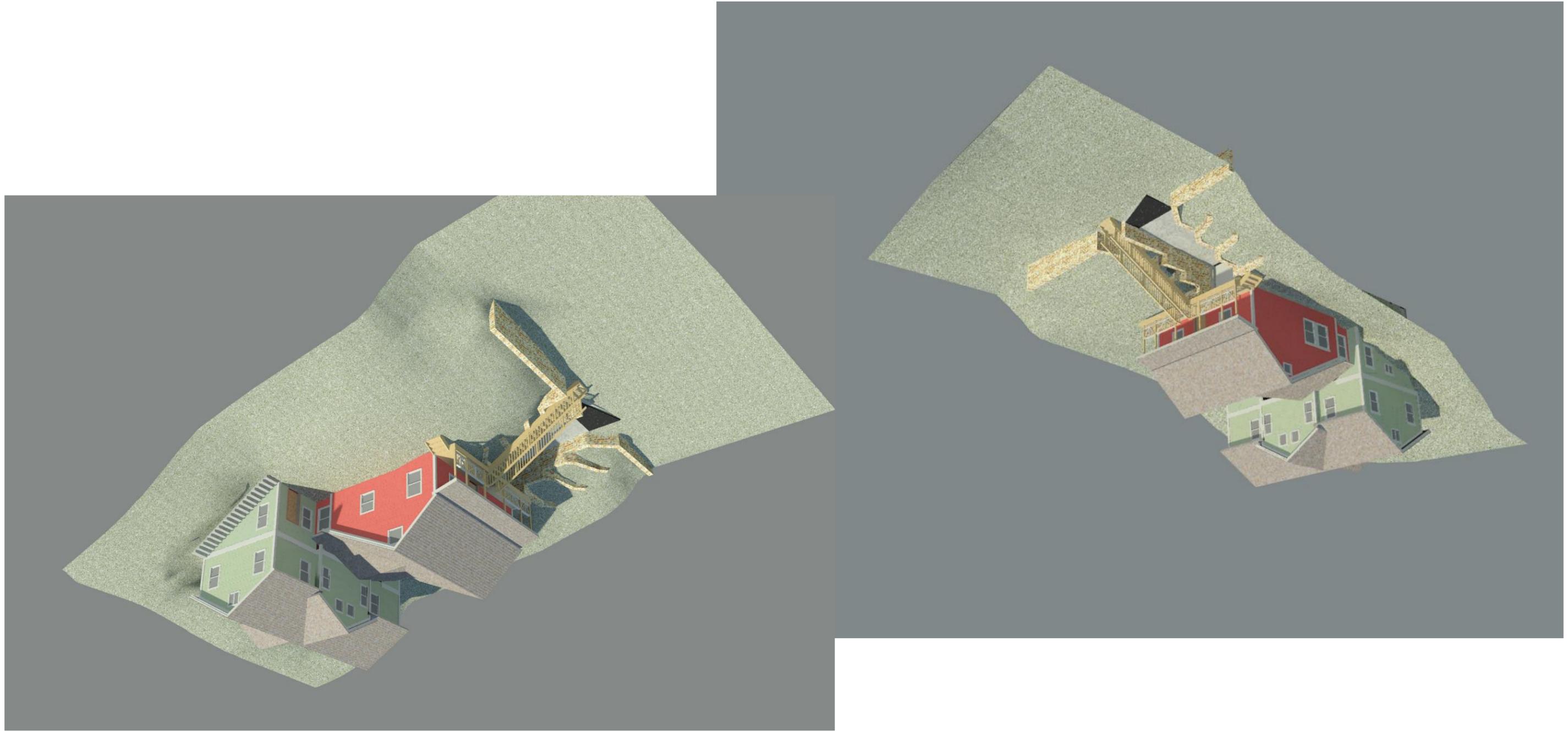
New



Existing



Other Perspectives
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect



Northeast

Southeast

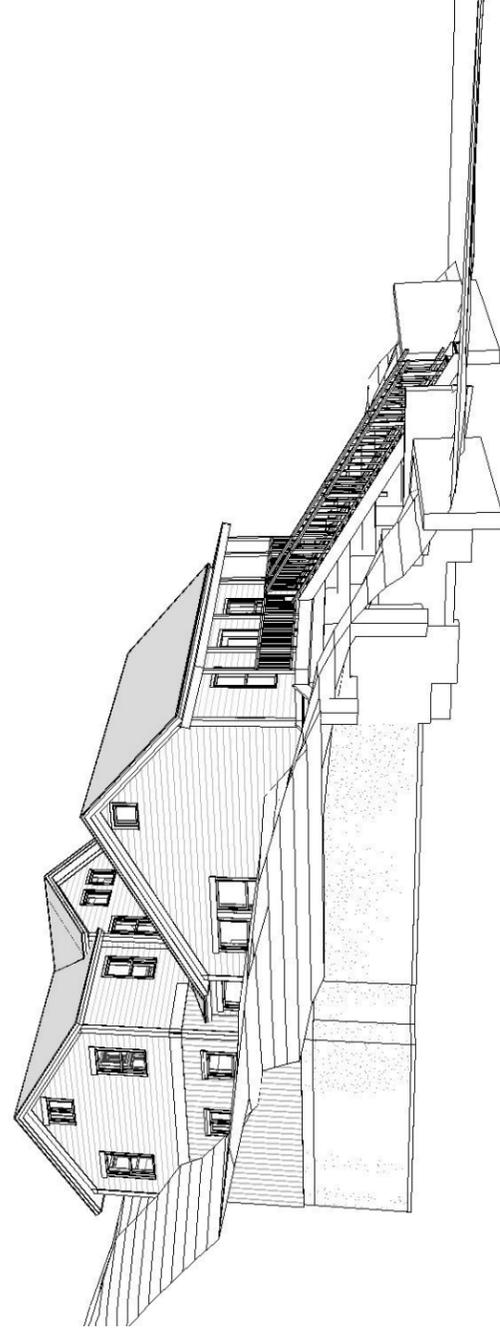
Southeast Perspective - Long
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect



New



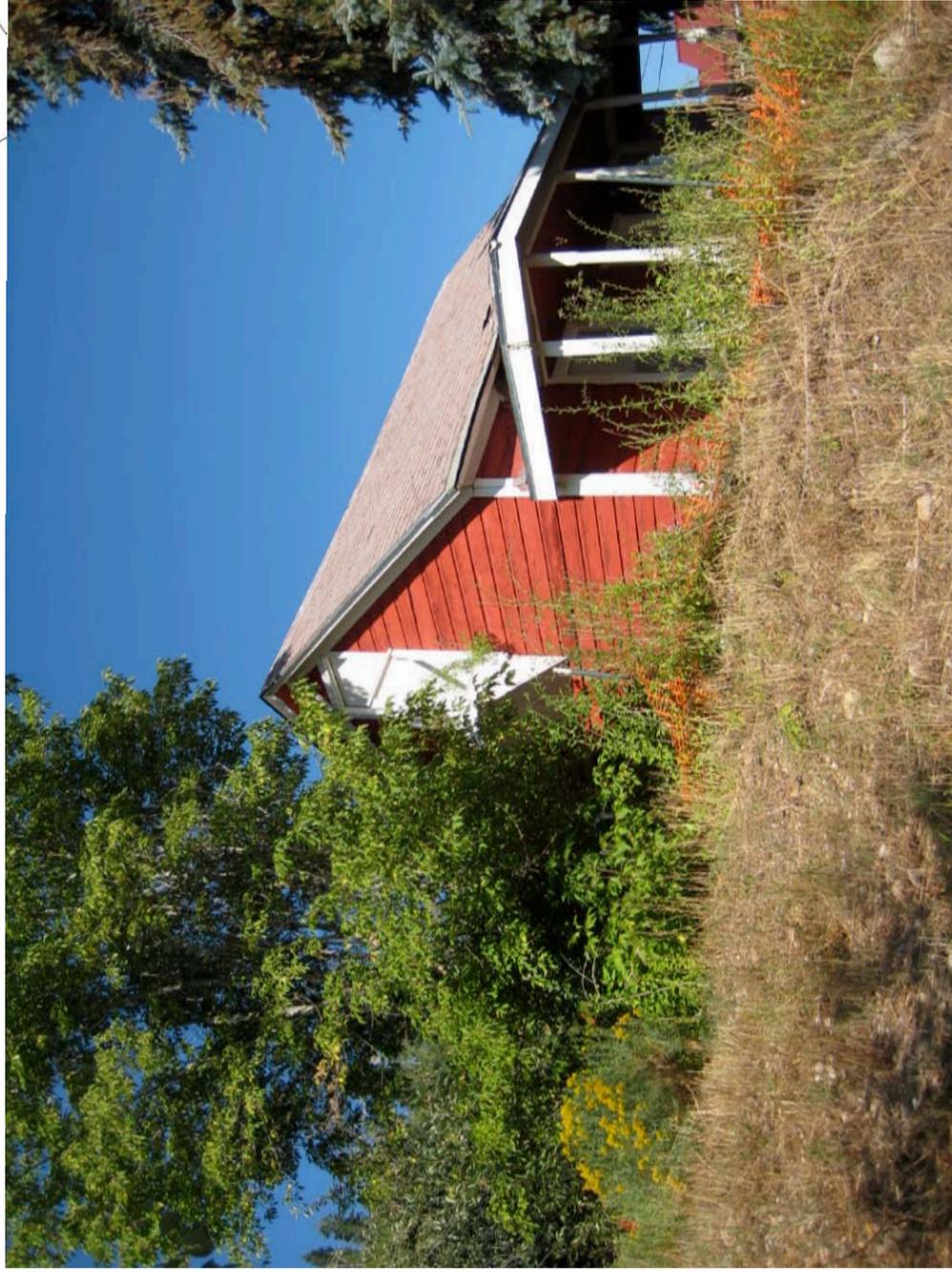
Existing



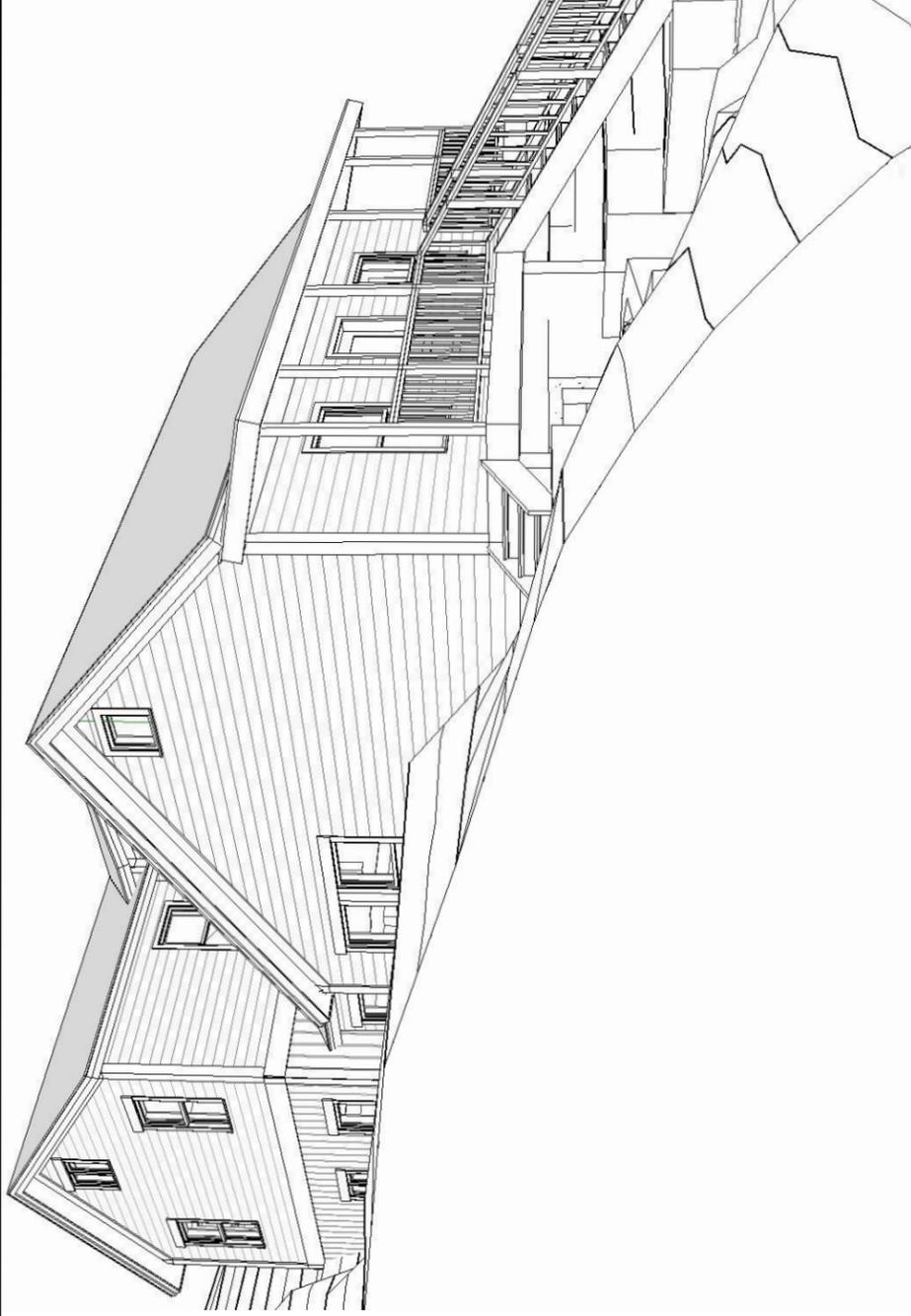
Southeast Perspective
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect



New

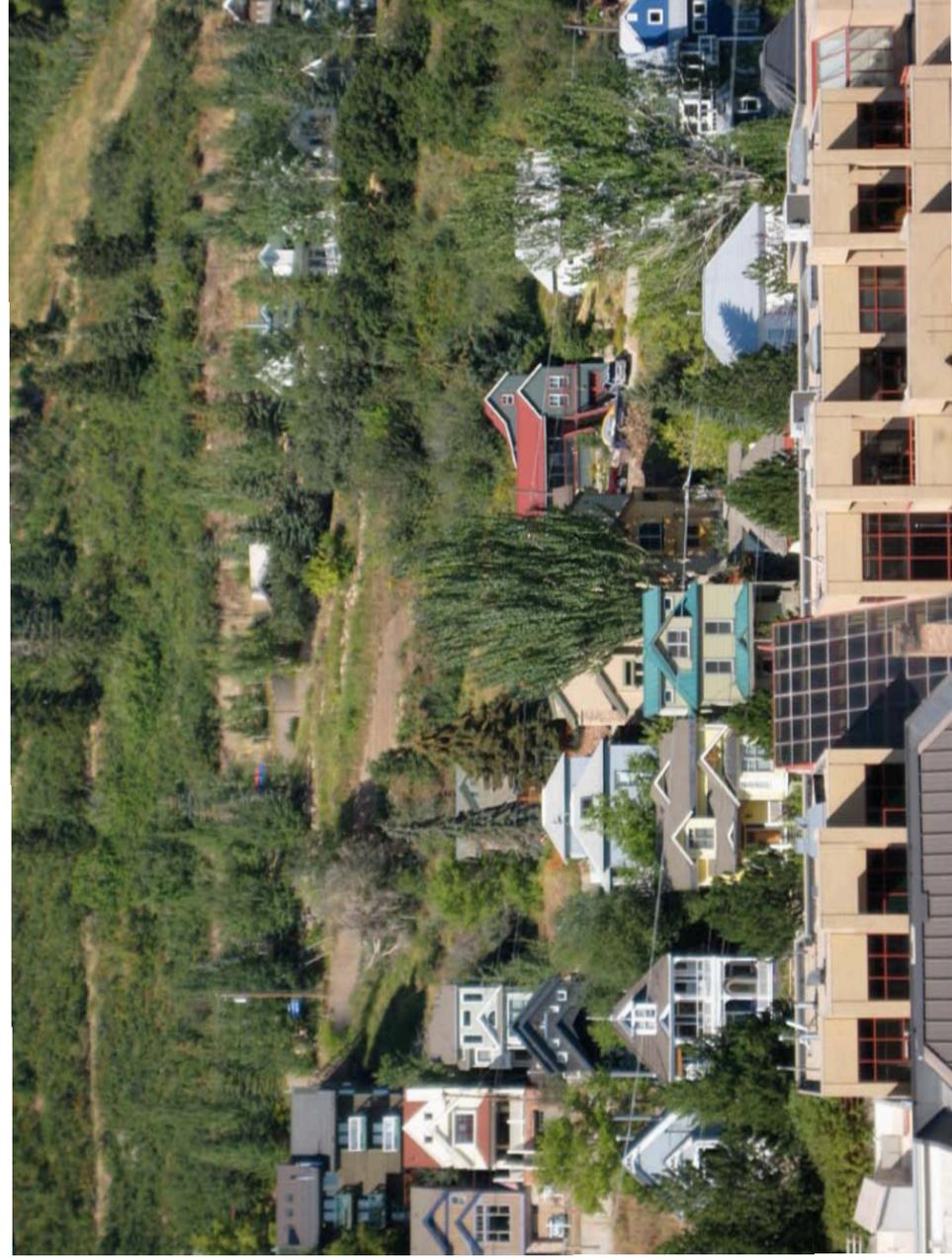


Existing

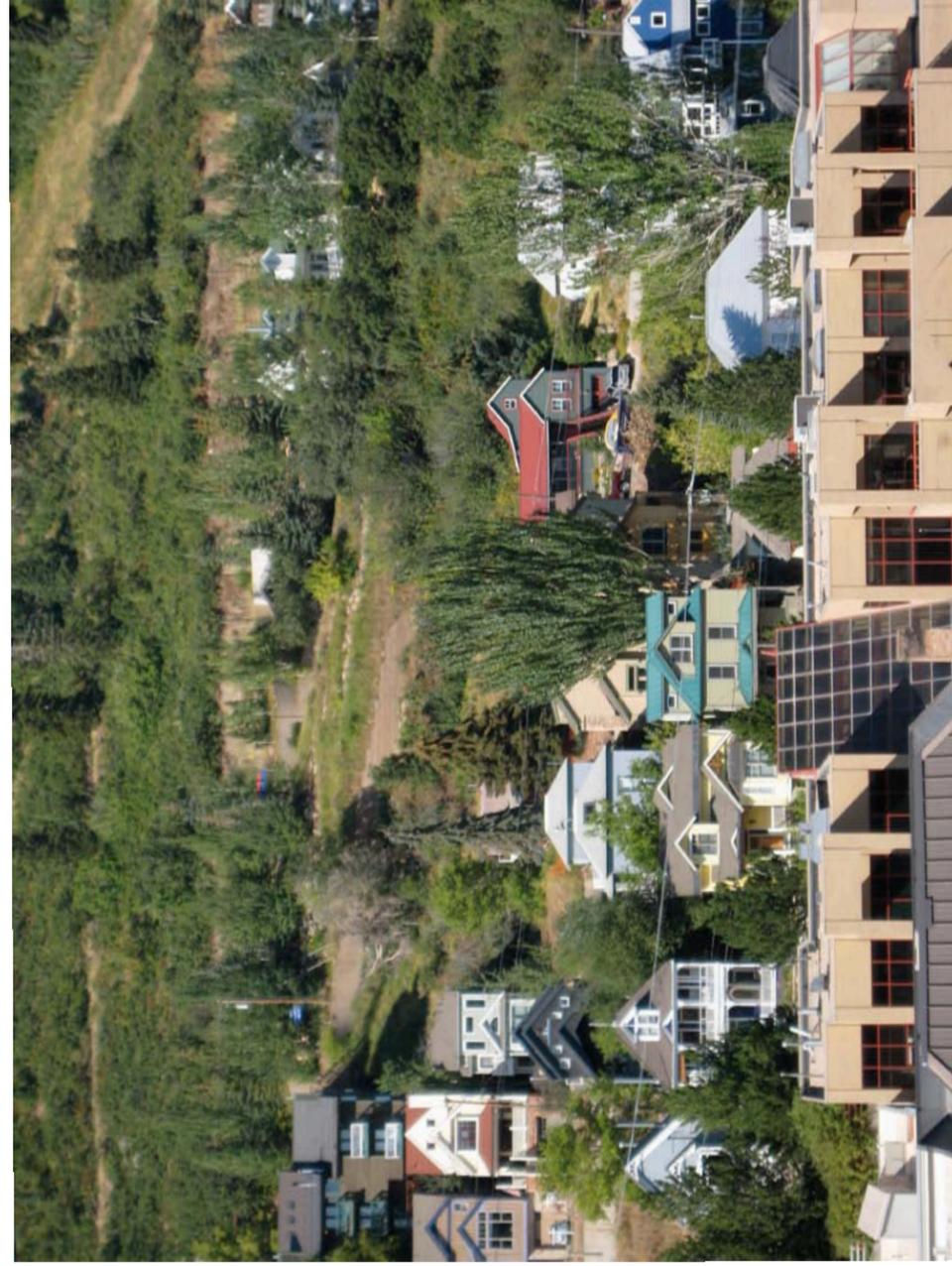


Across Valley View

355 Woodside Avenue - Park City, UT - 84060
David G. White Architect



New



Existing

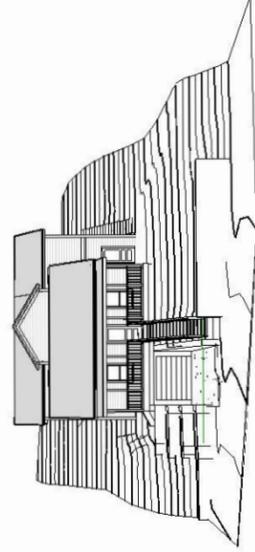
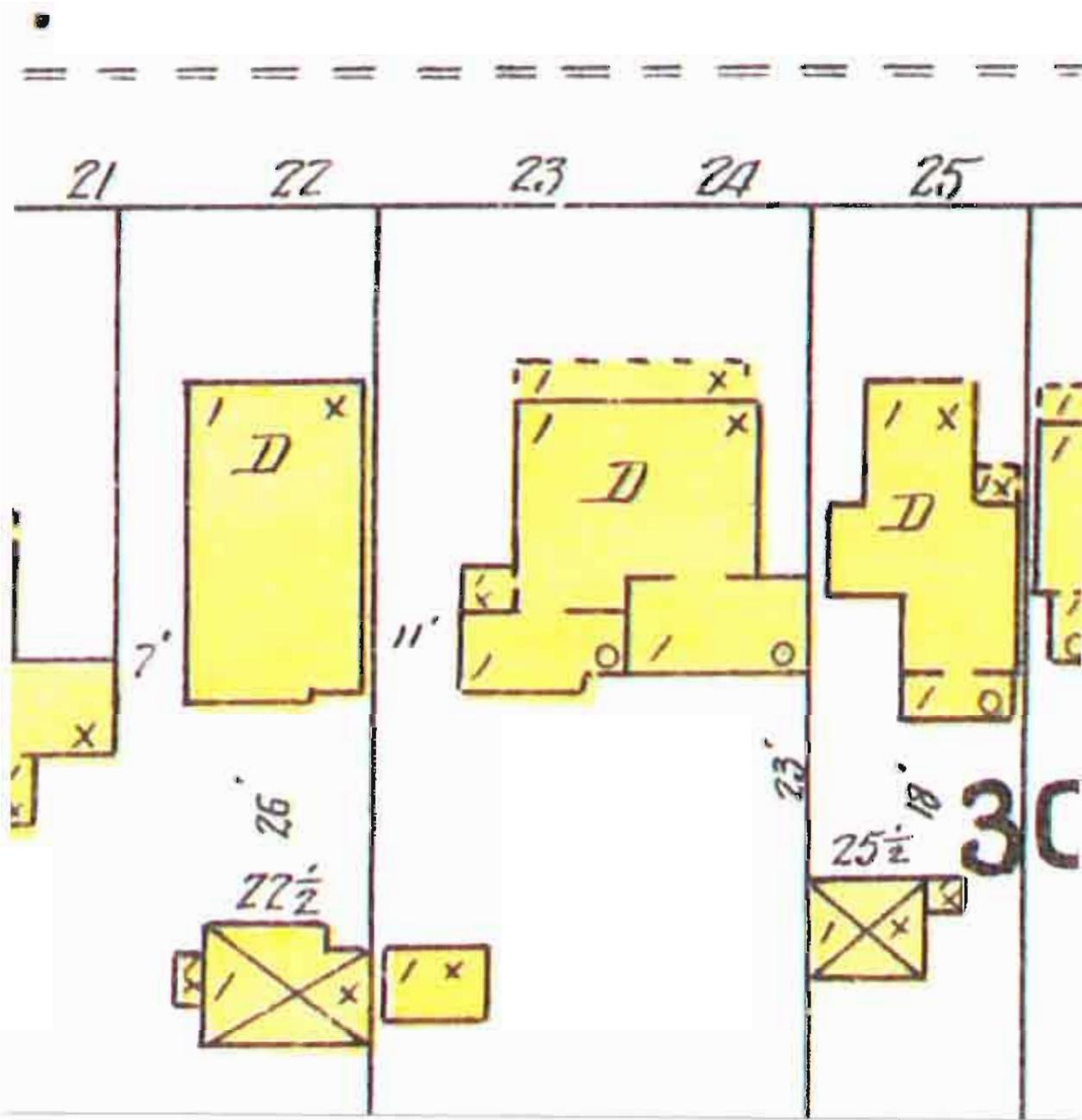
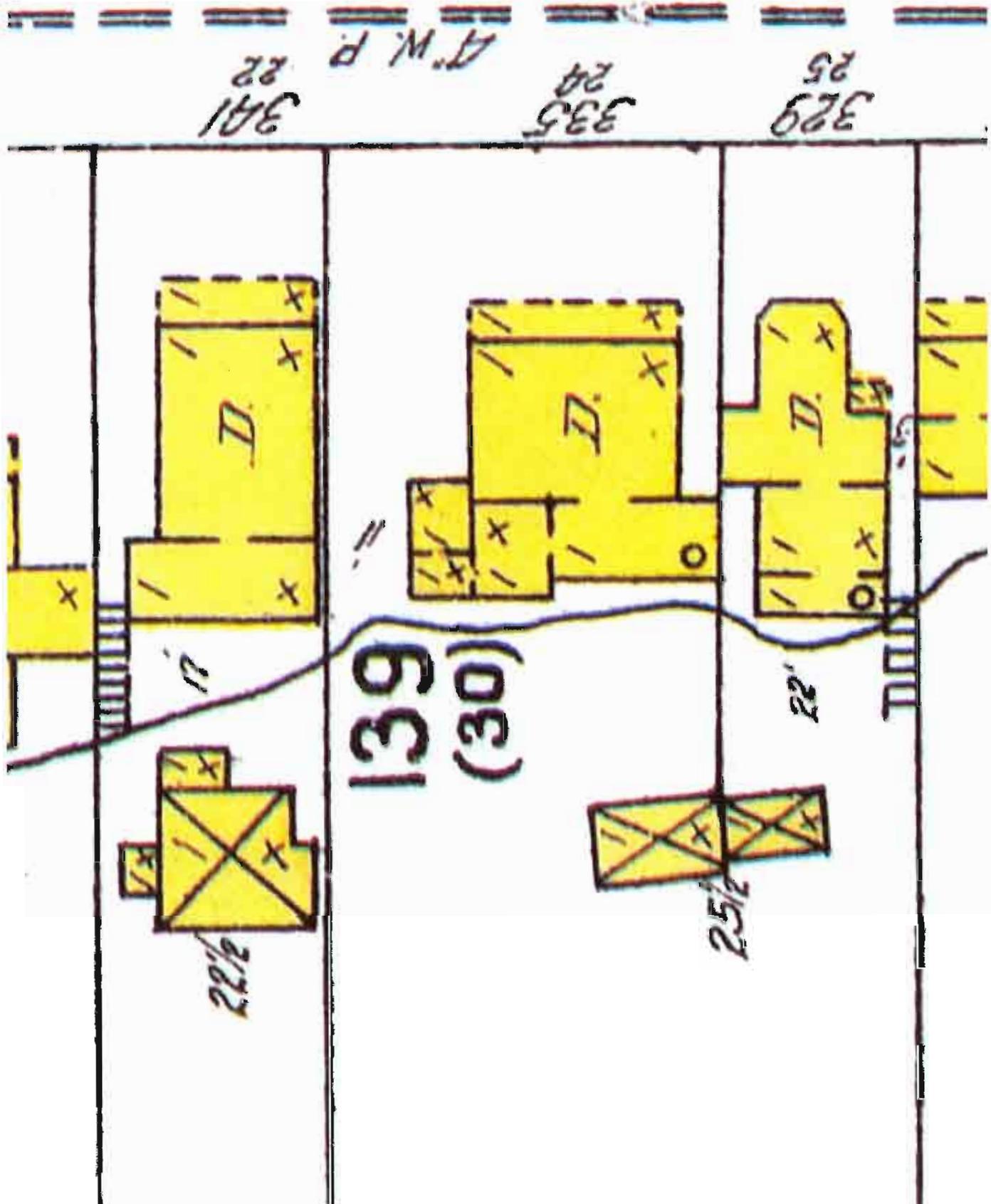


Exhibit C - Sanborn Maps

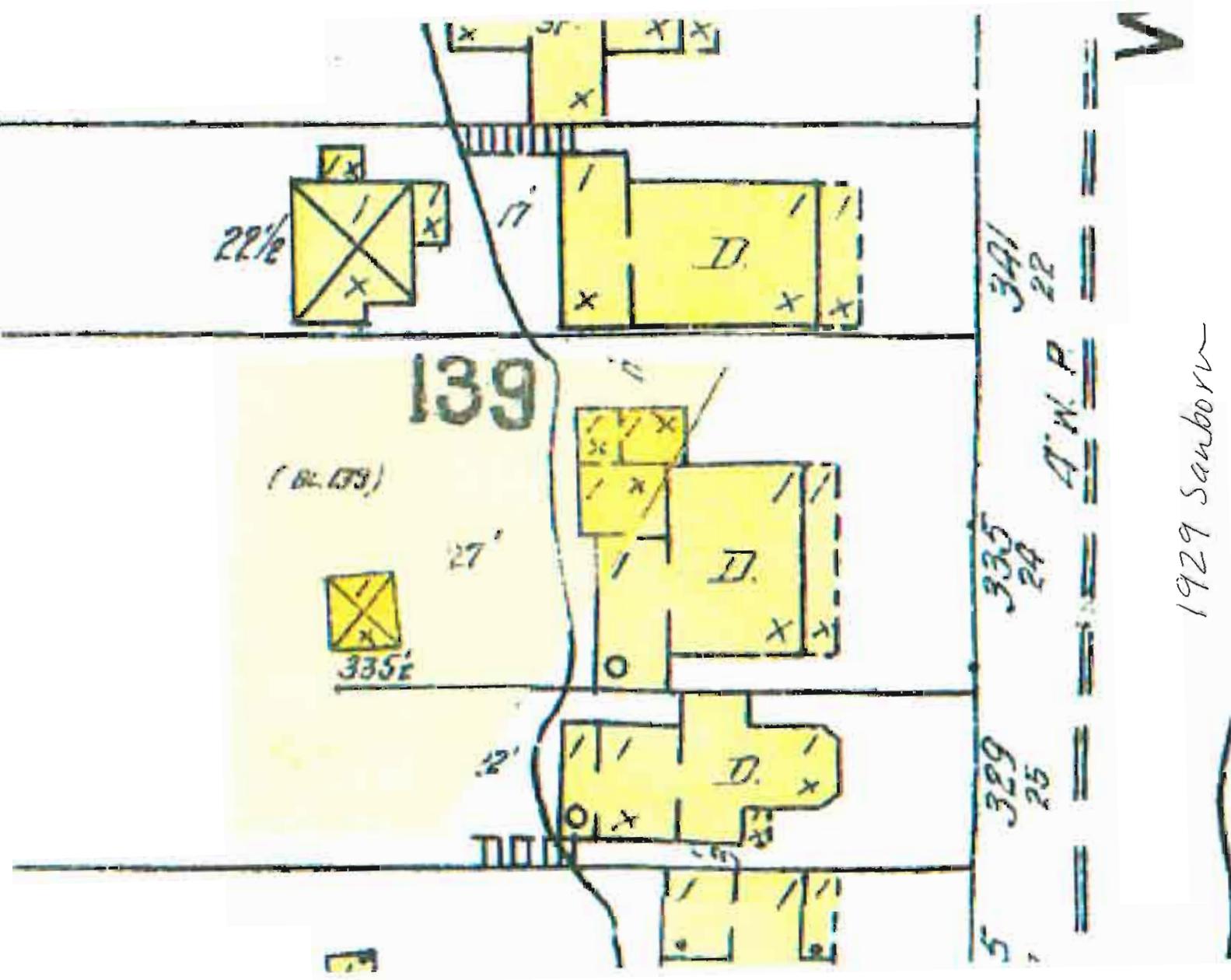


1900 Sanborn

Does not appear on
1889 Sanborn Map



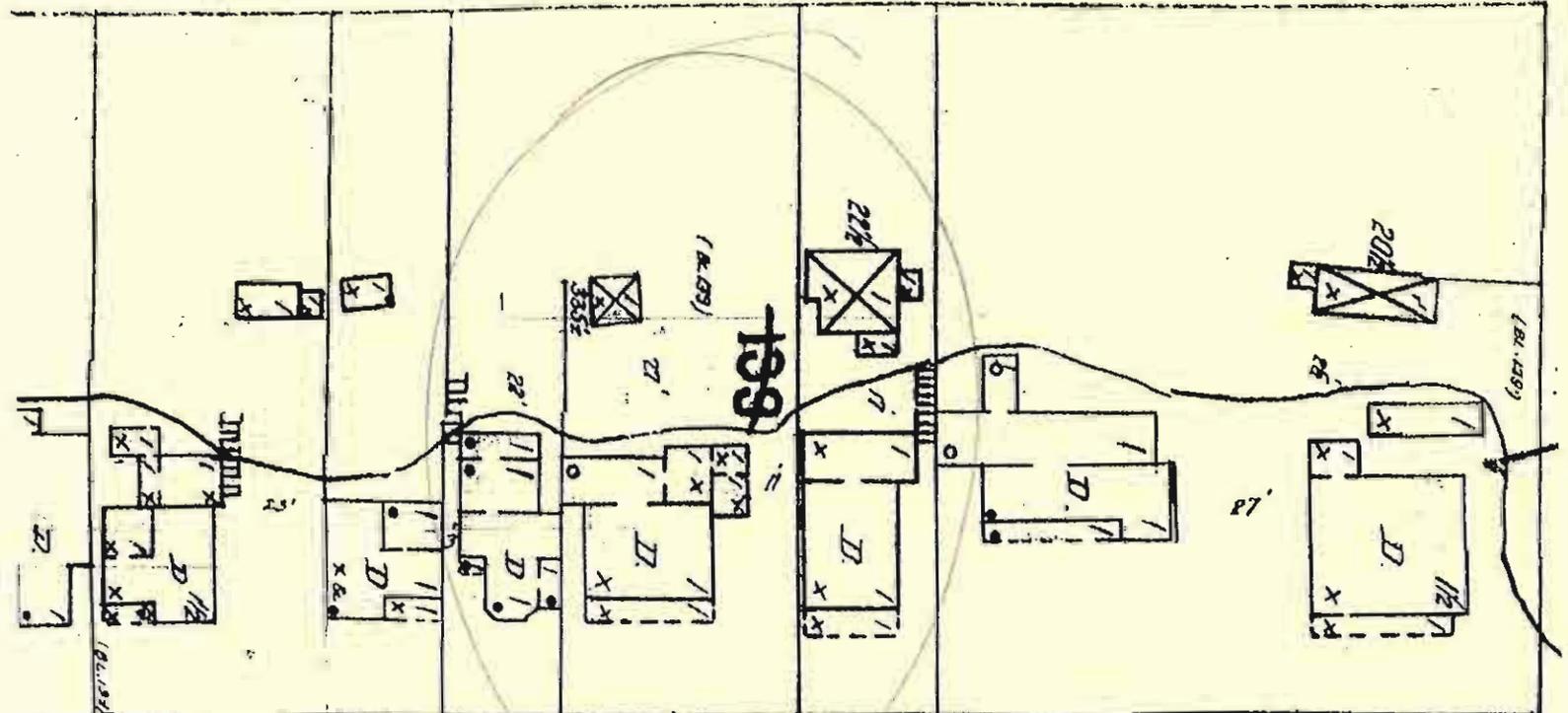
1907 Sanborn



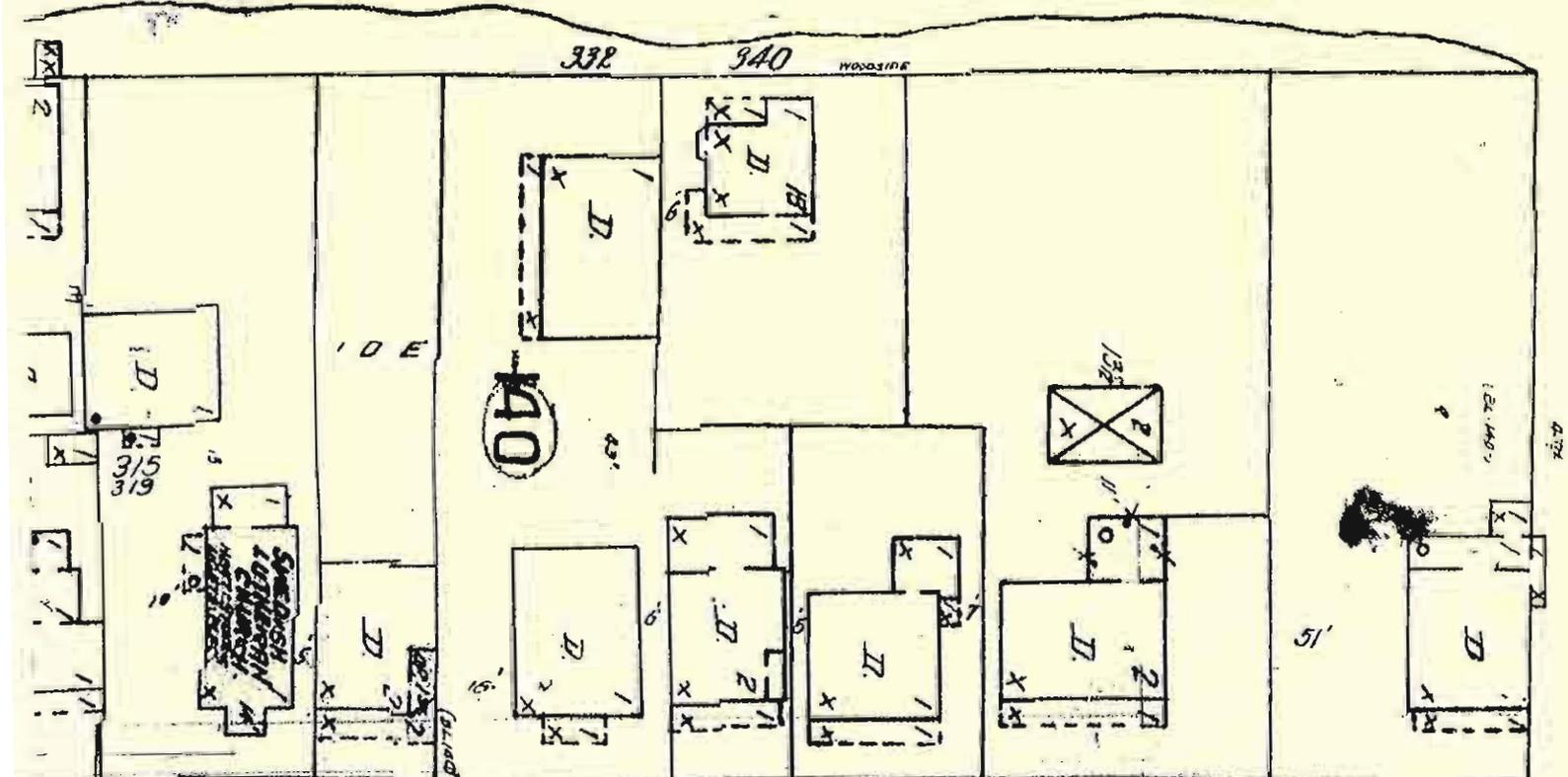
NORFOLK

1204

P.W.P



WOODSIDE

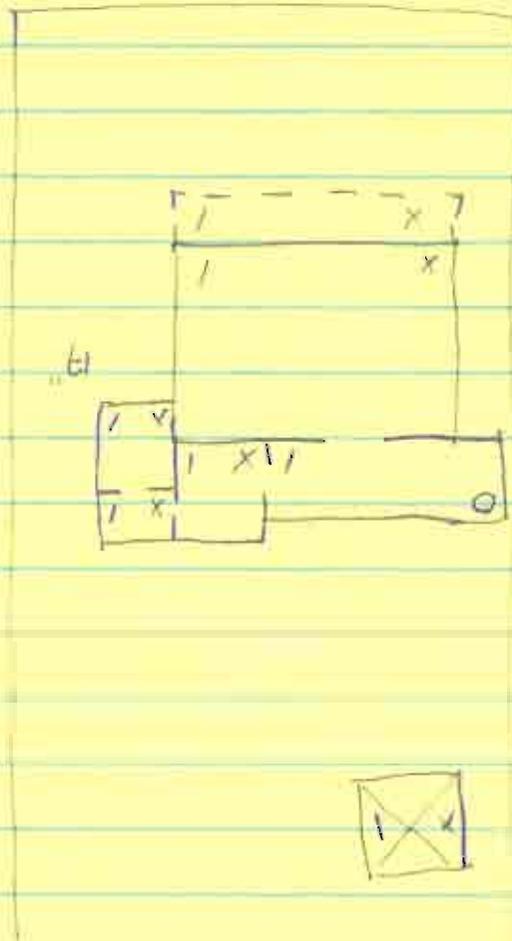


Sanborn 1958 Sanborn Map

Recorded
5-15-2012

233 & 24

335 Woodside



Note: The 1958 Sanborn map is not available as a digitized graphic as this time.

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **William Tretheway House**

Address: 335 Woodside Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: PC-372

Current Owner Name: James Totora & Jill Harwood

Parent Parcel(s):

Current Owner Address: PO Box 3654, Park City, UT 84060-3654

Legal Description (include acreage): 0.08 acres; LOTS 9 & 10 BLK 30 PARK CITY SURVEY.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

Original Use: Residential
 Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date: 7/12/1984 - Mining Boom Era Residences Thematic District)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: 1983, 1995 & 2006
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
 Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
 McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
 Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
 Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Hall-Parlor type / Vernacular style

No. Stories: 1 ½

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation Date: November, 08

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: The site rises gradually from the retaining wall at the road to a narrow relatively level building pad. The site behind the house rises sharply. The vegetation includes two mature evergreen trees in the front yard and grasses--not formal plantings. Dry stacked stone retaining wall does not appear to be original to the site, but is compatible with the neighborhood.

Foundation: The front porch rests on cinder blocks; remaining foundation cannot be verified.

Walls: Walls are clad in wood drop siding and corner boards. The front partial-width porch is supported by simple square columns with shed extensions out to the sides, making it a full width porch. The rail is a simple inverted king-post truss design.

Roof: The roof is a side gable with rear extension into a saltbox form, sheathed in asphalt shingles.

Windows: Single double-hung units with simple trim casings. Also, small casement windows on the side elevations.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The site has not changed from the description provided in the 1983 National Register nomination- excerpted below:

This house is a one story frame hall and parlor house with a gable roof. Typical of the hall and parlor house is the rectangular form, the symmetrical facade with a door centered between two windows, and the porch spanning the facade. The piers that support the section of porch between the windows may be original, but the porch roof, the side piers, and the balustrade were later additions. Those changes are unobtrusive and are reversible. The roof of this house slopes off to the rear, resembling a saltbox roof. An original shed extension such as this was common in Park City houses, allowing the two room hall and parlor form to be expanded to a four room house. There is a door with a small balcony set in the top half story of the south gable end. All of the original windows are the one over one double hung sash type. Two small windows in the north wall are more recent additions, but the change is minor. Despite the minor porch and window changes, the house maintains its original character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting is typical of mining era homes in Park City. The house is located on .08 acres with a narrow building pad that results in the rear of the house nearly embedded into the hill behind. The lot gradually rises from the stone retaining wall at the street front and rises more sharply at the rear of the house. Landscaping is informal and consists of evergreen trees and grasses. The house is located close to other houses of similar size and scale.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The Hall-Parlor house form is the earliest type to be built in Park City and one of the three most common house types built in Park City during the mining era.

This site was listed on the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*. It was built within the historic period, defined as 1872 to 1929 in the district nomination, and retains its historic integrity. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1900¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: East elevation. Camera facing west, 2006.

Photo No. 2: East elevation - detail. Camera facing west, 2006.

Photo No. 3: Southeast oblique. Camera facing northwest, 2006.

Photo No. 4: Southeast oblique. Camera facing northwest, 1995.

Photo No. 5: Southeast oblique. Camera facing northwest, 1983.

¹ Summit County Tax Assessor.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

Structure/Site Information Form

IDENTIFICATION 1

Street Address: 335 Woodside UTM: 12 458060 4498970
 Park City, Summit County, Utah
 Name of Structure: William Tretheway House T. R. S.
 Present Owner: Elmer S. George
 Owner Address: 2937 Casto Lane, Salt Lake City, Utah 84117
 Year Built (Tax Record): Effective Age: Tax #: PC 372
 Legal Description: Kind of Building:
 Lots 9 and 10 Block 30, Park City Survey
 Less than one acre.

STATUS/USE 2

Original Owner: probably William Tretheway Construction Date: c. 1893 Demolition Date:
 Original Use: Residence Present Use:
 Building Condition: Integrity: Preliminary Evaluation: Final Register Status:
 Excellent Site Unaltered Significant Not of the National Landmark District
 Good Ruins Minor Alterations Contributory Historic Period National Register Multi-Resource
 Deteriorated Major Alterations Not Contributory State Register Thematic

DOCUMENTATION 3

Photography: Date of Slides: 1983 Slide No.: Date of Photographs: 1983 Photo No.:
 Views: Front Side Rear Other Views: Front Side Rear Other

Research Sources:
 Abstract of Title Sanborn Maps Newspapers U of U Library
 Plat Records/ Map City Directories Utah State Historical Society BYU Library
 Tax Card & Photo Biographical Encyclopedias Personal Interviews USU Library
 Building Permit Obituary Index LDS Church Archives SLC Library
 Sewer Permit County & City Histories LDS Genealogical Society Other Census Records

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):
 1900 Census Records. Summit County, Park City Precinct, p. 153-A.

Architect/Builder: Unknown

Building Materials: Wood

Building Type/Style: Hall & Parlor House

Description of physical appearance & significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

This house is a one story frame hall and parlor house with a gable roof. Typical of the hall and parlor house is the rectangular form, the symmetrical facade with a door centered between two windows, and the porch spanning the facade. The piers that support the section of porch between the windows may be original, but the porch roof, the side piers, and the balustrade were later additions. Those changes are unobtrusive and are reversible. The roof of this house slopes off to the rear, resembling a saltbox roof. An original shed extension such as this was common in Park City houses, allowing the two room hall and parlor form to be expanded to a four room house. There is a door with a small balcony set in the top half story of the south gable end. All of the original windows are the one over one double hung sash type. Two small windows in the north wall are more recent additions, but the change is minor. Despite the minor porch and window changes, the house maintains its original character.

Statement of Historical Significance:

Construction Date: c. 1893

Built c. 1893, the William Tretheway house at 335 Woodside is architecturally significant as one of 76 extant hall and parlor houses in Park City, 22 of which are included in this nomination. The hall and parlor house, the earliest house type to be built in Park City, and one of the three most common house types that were built during the early period of Park City's mining boom era, significantly contributes to the character of the residential area.

This house was built between 1889 and 1900, according to the Sanborn Insurance Maps. It was probably constructed in 1893, the year that William Tretheway purchased this property from the Park City Townsite Corporation, although Tretheway, like many others in town, may have built the house before receiving legal title to the property. William Tretheway was born in England in 1854 and came to the U.S. in 1883. He worked as a mine foreman in Park City. His wife, Jessie, whom he married c. 1876, was also a native of England (b. 1854). She did not join him in the U.S. until 1891. The Tretheways had at least two children.

In 1901, the Tretheways sold this house to Lizzie T. Campbell, about whom nothing is known. The Campbells apparently owned the house until 1927, when it was sold to Mrs. Fannie B. Watterson, who owned it until 1944.



William Tretheway House
335 Woodside
Park City, Summit County, Utah
Southeast corner

Photo by Debbie Temme, October 1983
Negative: Utah State Historical Society





335

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