



AGENDA

ROLL CALL

PUBLIC COMMUNICATIONS – *Items not on regular meeting schedule.*

STAFF/BOARD COMMUNICATION & DISCLOSURES

Election of Chair

Historic Preservation Award – update on Art Advisory Board information

REGULAR AGENDA – *Discussion, public hearing, and possible action as outlined below.*

334 Marsac Avenue – Grant	PL-12-01559	3
<i>Public hearing and possible action</i>		
61 Daly Avenue – Grant	PL-12-01585	25
<i>Public hearing and possible action</i>		
335 Woodside Avenue – Grant	PL-12-01596	43
<i>Public hearing and possible action</i>		

ADJOURN

Times shown are approximate. Items listed on the Regular Meeting may have been continued from a previous meeting and may not have been published on the Legal Notice for this meeting. For further information, please call the Planning Department at (435) 615-5060.

A majority of Historic Preservation Board members may meet socially after the meeting. If so, the location will be announced by the Chair person. City business will not be conducted.

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Park City Planning Department at (435) 615-5060 24 hours prior to the meeting.

Historic Preservation Board Staff Report



Subject: 334 Marsac Avenue
John P. Nimmo House
Author: Francisco Astorga, Planner
Date: July 18, 2012
Type of Item: Historic District Grant Application
Project Number: PL-12-01559

Summary Recommendations

Staffs recommends the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with the re-roof of a landmark historic structure located at 344 Marsac Avenue.

Description

Applicant: Dottie Beck represented by Michael Sussman
Location: 344 Marsac Avenue – Landmark Structure
Proposal: Historic Grant
Zoning: Historic Residential (HR-1)
Adjacent Land Uses: Historic and contemporary single family structures built towards the north and the rear, and vacant non-historic to the south.
Redevelopment Area: Main Street

Background

According to the 2009 Park City Historic Sites Inventory (HSI), the structure at 334 Marsac Avenue is historically significant as a Landmark Site and is eligible for the National Register of Historic Places (Exhibit B). The structure was built circa 1898 and is associated with Park City's mining heritage. The Park City HSI form describes the following items:

Design. The one-story frame rectangular type house has not been significantly altered from what is seen in the earliest photographs, Sanborn Insurance maps, and tax cards. The most significant alteration appears to be the addition of the full-width open porch. A small portion of the deck/porch leading from the parking area to the entry porch was added between 19060 and 1968 according to the tax card and the rest was added before 1995. For general description, see Structure/Site Form dated 1983. The changes are minor and do not affect the site's original character.

Setting. The setting has had minor alterations. A parking area was excavated southeast of the house, but the dry-stacked stone retaining wall that runs along the front of the house remains.

Workmanship. The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling. The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association. The hipped roof rectangle was a common house type built in Park City during the mining era.

This site was nominated to the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*, but was not listed because of the owner's objection. It was built within the historic period, defined as 1872 to 1929 in the district nomination. The site retains its historic integrity and would be considered eligible for the National Register as part of an updated or amended nomination. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

Analysis

Eligible improvements for historic district grants include, but are not limited to:

- siding
- windows
- foundation work
- masonry repair
- structural stabilization,
- retaining walls/steps/stairs of historic significance
- exterior trim
- exterior doors
- cornice repair
- porch repair

Maintenance items, such as exterior painting and new roofing, are the responsibility of the homeowner, but may be considered under specific circumstances. The applicant is requesting that the HPB grant money for re-roofing the historic structure.

Staff finds the proposed work as shown on their submitted plans and “Breakdown of Estimated Costs”, submitted by the applicant, to be considered minor routine maintenance/construction having no negative impact on the historic character of the surrounding neighborhood or the Historic District and may be considered under specific circumstances for grant money. The historic district grant program states that “funds shall be awarded to projects that provide a community benefit of preserving and enhancing the historic architecture of Park City.” Staff finds that by awarding the grant, the HPB would be enhancing the landmark site and further contributing to the ongoing preservation of a historically significant landmark building in Park City. As shown on the photograph the roof needs to be replaced (Exhibit A).

Total estimated cost of the proposed work is \$11,750 (Exhibit C). As the program is a matching grant program, half of the total cost is eligible to be granted. Therefore, the Board can consider granting the applicant one half (½) of the proposed cost of the eligible preservation work in the amount of \$5,875.

The current balance of the Main Street Redevelopment Area (RDA) is \$0. There are no longer additional incoming funds to the Main Street RDA. The balance of the Capital Improvement Program (CIP) account allocated for historic incentive grants is \$52,247. The funds of the Main Street RDA are limited to the specific area. However, the funds of the CIP account allocated for historic incentive grants can be used towards any historic grant request within the City. Staff recommends that the funds be allocated from the CIP account allocated for historic incentive grants due to the fact that there are no available funds in the Main Street RDA.

In June 2012 a Historic District Design Review (HDDR) pre-application conference was held. The Planning Director made a determination that the proposed work was considered minor routine maintenance/construction having no negative impact on the historic character of the surrounding neighborhood, the historic structure, or the Historic District; and therefore the full HDDR application is not required and exempt.

Upon review of the application Staff discovered that the block retaining wall and gravel area located north of the structure was not built with any City approvals and would not comply with the adopted Historic District Guidelines. The applicant indicated that this was built prior to the purchase of the site. However, this discrepancy needs to be resolved.

The applicant may start the design review process by submitting another pre-application and meeting with the City officials to assist them in obtaining the necessary City approvals. The purpose of the pre-application and meeting are to determine the general scope of the proposed development, identifying potential impacts of the development that may require mitigation, providing information on City-sponsored incentives that may be available, and outlining the application requirements.

Because the actual location of what seems to serve as a parking area was not approved by the City Staff would have to review the existing location. The installed materials, block retaining wall and gravel, are not allowed in the Historic District. Another option the applicant has is to simply restore this area to its native form.

Recommendation

Staffs recommends the Historic Preservation Board review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with the re-roof of a landmark historic structure located at 344 Marsac Avenue.

Exhibits

Exhibit A – Site Photograph

Exhibit B – Historic Site Inventory Form

Exhibit C – Breakdown of estimated costs of the scope of work

Exhibit D – Vicinity Map

Exhibit E – Historic Incentive Grants account update



Exhibit B – Historic Site Inventory Form

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: John P. Nimmo House

Address: 334 MARSAC AVE

AKA: 324 Marsac, 320 Marsac

City, County: Park City, Summit County, Utah

Tax Number: PC-442

Current Owner Name: EMENS DOROTHY

Parent Parcel(s):

Current Owner Address: PO BOX 95, PARK CITY, UT 84060-0095

Legal Description (include acreage): ALL LOT 7 & ALL LOT 8; S1/2 LOT 9 BLK 54 PARK CITY SURVEY; 0.09 AC

2 STATUS/USE

Property Category

- building(s), main
building(s), attached
building(s), detached
building(s), public
building(s), accessory
structure(s)

Evaluation*

- Landmark Site
Significant Site
Not Historic

Reconstruction

- Date:
Permit #:
Full
Partial

Use

- Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
prints:
historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
tax card
original building permit
sewer permit
Sanborn Maps
obituary index
city directories/gazetteers
census records
biographical encyclopedias
newspapers
city/county histories
personal interviews
Utah Hist. Research Center
USHS Preservation Files
USHS Architects File
LDS Family History Library
Park City Hist. Soc/Museum
university library(ies):
other:

Drawings and Plans

- measured floor plans
site sketch map
Historic American Bldg. Survey
original plans:
other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. Utah's Historic Architecture, 1847-1940: a Guide. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. A Field Guide to American Houses. New York: Alfred A. Knopf, 1998.
Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Rectangle block No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # ; structure(s), # _1_.

General Condition of Exterior Materials:

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Dry-stacked stone retaining wall.

Foundation: Stone.

Walls: Drop siding.

Roof: Truncated hipped roof form sheathed in asphalt shingles.

Windows/Doors: single and paired double-hung sash type.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The one-story frame rectangular type house has not been significantly altered from what is seen in the earliest photographs, Sanborn Insurance maps, and tax cards. The most significant alteration appears to be the addition of the full-width open porch. A small portion of the deck/porch leading from the parking area to the entry porch was added between 19060 and 1968 according to the tax card and the rest was added before 1995. For general description, see Structure/Site Form dated 1983. The changes are minor and do not affect the site's original character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting has had minor alterations. A parking area was excavated southeast of the house, but the dry-stacked stone retaining wall that runs along the front of the house remains.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The hipped roof rectangle was a common house type built in Park City during the mining era.

This site was nominated to the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*, but was not listed because of the owner's objection. It was built within the historic period, defined as 1872 to 1929 in the district nomination. The site retains its historic integrity and would be considered eligible for the National Register as part of an updated or amended nomination. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1898¹

Builder: Not Known Known: (source:)

¹ Summit County Recorder.

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: South oblique. Camera facing north, 2006.

Photo No. 2: Southwest elevation. Camera facing northeast, 1995.

Photo No. 3: Southwest elevation. Camera facing northeast, 1983.

Photo No. 4: South oblique. Camera facing north, tax photo.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

Serial No. RC-442

Aaberg

Location _____

Kind of Bldg. R.S. St. No. 320 Marceau Ave

Class 43 Type 1 2 3 4 Cost \$ 1571 X 100%

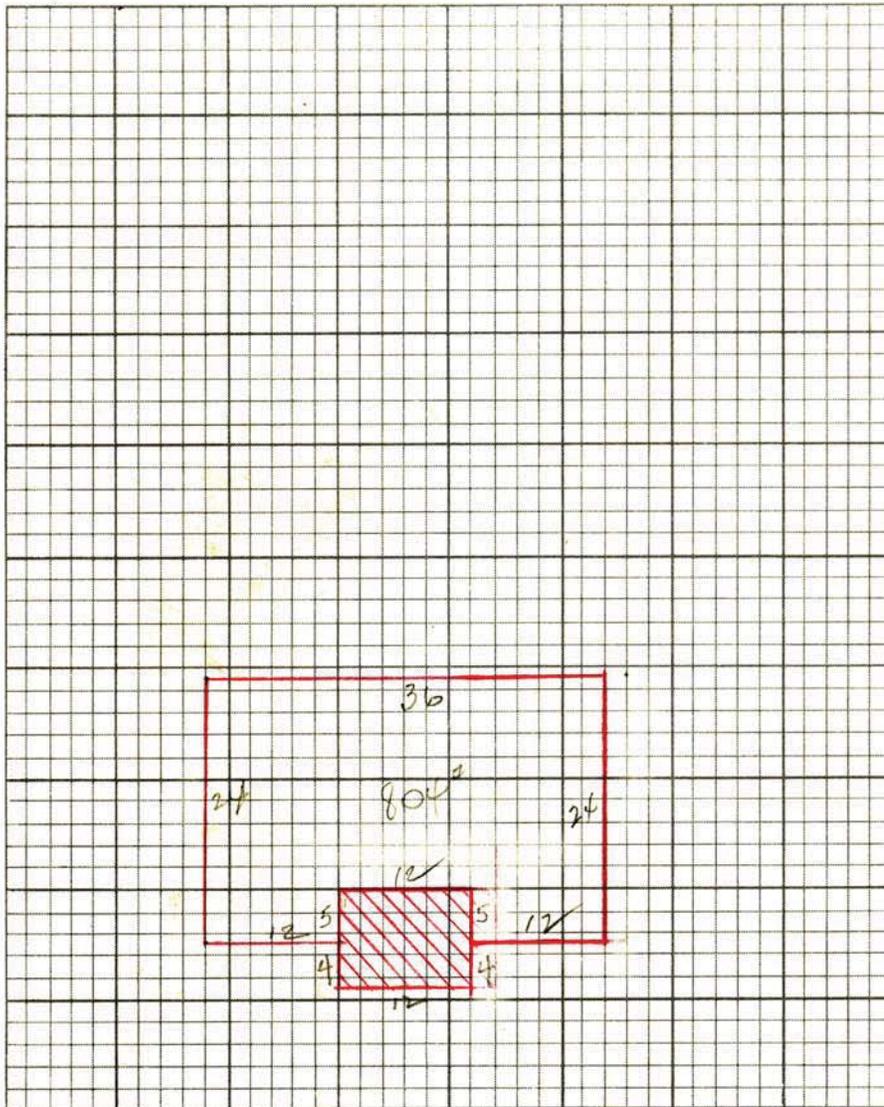
Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		<u>204</u>		\$ <u>1571</u>
	x x				
	x x				

Gar.—Carpport x Flr. _____ Walls _____ Cl. _____

Description of Buildings	Additions
Foundation—Stone <input checked="" type="checkbox"/> Conc. _____ None _____	
Ext. Walls <u>Building</u>	
Insulation—Floors _____ Walls _____ Clgs. _____	
Roof Type <u>Hip</u> Mtl. <u>Shg.</u>	
Dormers—Small _____ Med. _____ Large _____	
Bays — Small _____ Med. _____ Large _____	
Porches—Front <u>9x12</u> <u>108</u> @ <u>100</u> <u>108</u>	
Rear _____ @ _____	
Porch _____ @ _____	
Metal Awnings _____ Mtl. Rail _____	
Basement Entr. _____ @ _____	
Planters _____ @ _____	
Cellar-Bsmt. — $\frac{1}{4}$ $\frac{1}{3}$ $\frac{1}{2}$ $\frac{2}{3}$ $\frac{3}{4}$ Full _____ Floor _____	
Bsmt. Apt. _____ Rooms Fin. _____ Unfin. _____	
Attic Rooms Fin. _____ Unfin. _____	
Plumbing { Class <u>2</u> Tub <u>1</u> Trays _____ Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u> <u>410</u> Wtr. Sfr. _____ Shr. St. _____ O.T. _____ Dishwasher _____ Garbage Disp. _____	
Built-in-Appliances _____	
Heat—Stove <input checked="" type="checkbox"/> H.A. _____ Steam _____ Stkr. _____ Blr. _____ Oil <input checked="" type="checkbox"/> Gas _____ Coal _____ Pipeless _____ Radiant _____	
Air Cond. _____	
Finish— Fir _____ Hd. Wd. _____	
Floor— Fir _____ Hd. Wd. _____ Other _____	
Cabinets <u>1</u> Mantels _____	
Tile — Walls _____ Wainscot _____ Floors _____	
Storm Sash— Wood D. _____ S. _____; Metal D. _____ S. _____	
Total Additions	<u>518</u> <u>518</u>

Year Built <u>1898</u>	Avg. Age <u>42</u>	Current Value	\$ <u>2089</u>
Inf. by { Owner - Tenant - Neighbor - Record - Est.		Commission Adj.	%
Remodel Year <u>1919</u> Est. Cost <u>1000</u>		Bldg. Value	
Garage — Class _____ Depr. 2% 3% Carport — Factor _____		Depr. Col. (1) 2 3 4 5 6 <u>45%</u>	
Cars _____ Floor <input checked="" type="checkbox"/> Walls _____ Roof _____ Doors _____		Current Value Minus Depr.	\$ <u>943</u>
Size — x <u>X</u> Age _____ Cost _____ x _____ %			
Other _____			
Total Building Value		\$	

Appraised 7 - 28 - 1960 By 1302



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Depr. Value
		x				
		x				
		x				
		x				
		x				
TOTAL						

Remarks: No one home.

PC 442
Serial Number

OF
Card Number

Owners Name _____
 Location 320 MARBAC
 Kind of Bldg. Res St. No. _____
 Class 3 Type 1 2 3 Cost \$ _____ X 100 %

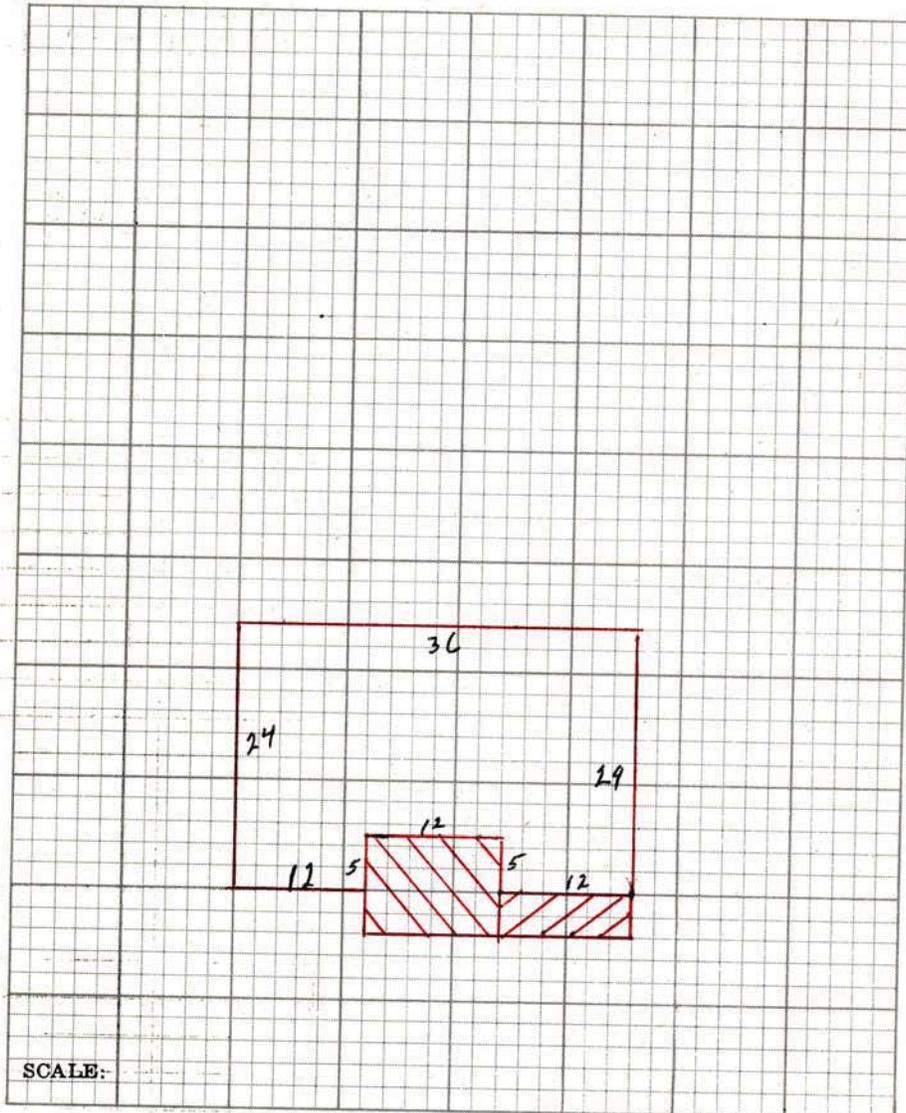
Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
	x x	<u>804</u>		\$ <u>3713</u>	\$
	x x				
	x x				

Att. Gar.—C.P. Fr. _____ Walls _____ Cl. _____
 Description of Buildings

Description of Buildings	Additions	Additions
Foundation—Stone <input checked="" type="checkbox"/> Conc. _____ Sills _____		
Ext. Walls <u>Siding</u>		
Roof Type <u>Hip</u> Mtl. <u>Pat</u>		
Dormers—Small _____ Med. _____ Large _____		
Bays—Small _____ Med _____ Large _____		
Porches—Front _____	<u>108 @ 1.50</u>	<u>162</u>
Rear _____	<u>48 @ .30</u>	<u>14</u>
Porch _____	@	
Planters _____	@	
Ext. Base. Entry _____	@	
Cellar-Bsmt. — 1/4 1/8 1/2 2/3 3/4 Full _____ Floor <u>None</u>		
Bsmt. Gar. _____		
Basement-Apt. _____ Rms. _____ Fin. Rms. _____		
Attic Rooms Fin. _____ Unfin. _____		
Plumbing	Class <u>2</u> Tub. <u>1</u> Trays _____	
	Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>	
	Wtr. Sfr. _____ Shr. St. _____ O.T. _____	
	Dishwasher _____ Garbage Disp. _____	<u>650</u>
Heat—Stove _____ H.A. _____ FA <input checked="" type="checkbox"/> HW _____ Stkr _____ Elec. _____		
Oil _____ Gas <input checked="" type="checkbox"/> Coal _____ Pipeless _____ Radiant _____	<u>341</u>	
Air Cond. — Full _____ Zone _____		
Finish—Fir. <input checked="" type="checkbox"/> Hd. Wd. _____ Panel _____		
Floor—Fir. <input checked="" type="checkbox"/> Hd. Wd _____ Other _____		
Cabinets _____ Mantels _____		
Tile—Walls _____ Wainscot _____ Floors _____		
Storm Sash—Wood D. _____ S. _____; Metal D. _____ S. <u>5</u>	<u>125</u>	
Awnings — Metal _____ Fiberglass _____		

Total Additions			<u>1292</u>
Year Built <u>1898</u>	Avg. <u>1.92</u>	Replacement Cost	<u>5005</u>
<u>1964</u>	Age <u>2.</u>	Obsolescence	
Inf. by { Owner - Tenant - Neighbor - Record - Est.		Adj. Bld. Value	
		Conv. Factor	x.47
Replacement Cost—1940 Base			
Depreciation Column <u>1</u> 2 3 4 5 6			
1940 Base Cost, Less Depreciation			
Total Value from reverse side			
Total Building Value		\$	

Appraised 10-30 1968 By 1708 **DEC 26 1968**
 Appraised _____ 19____ By _____

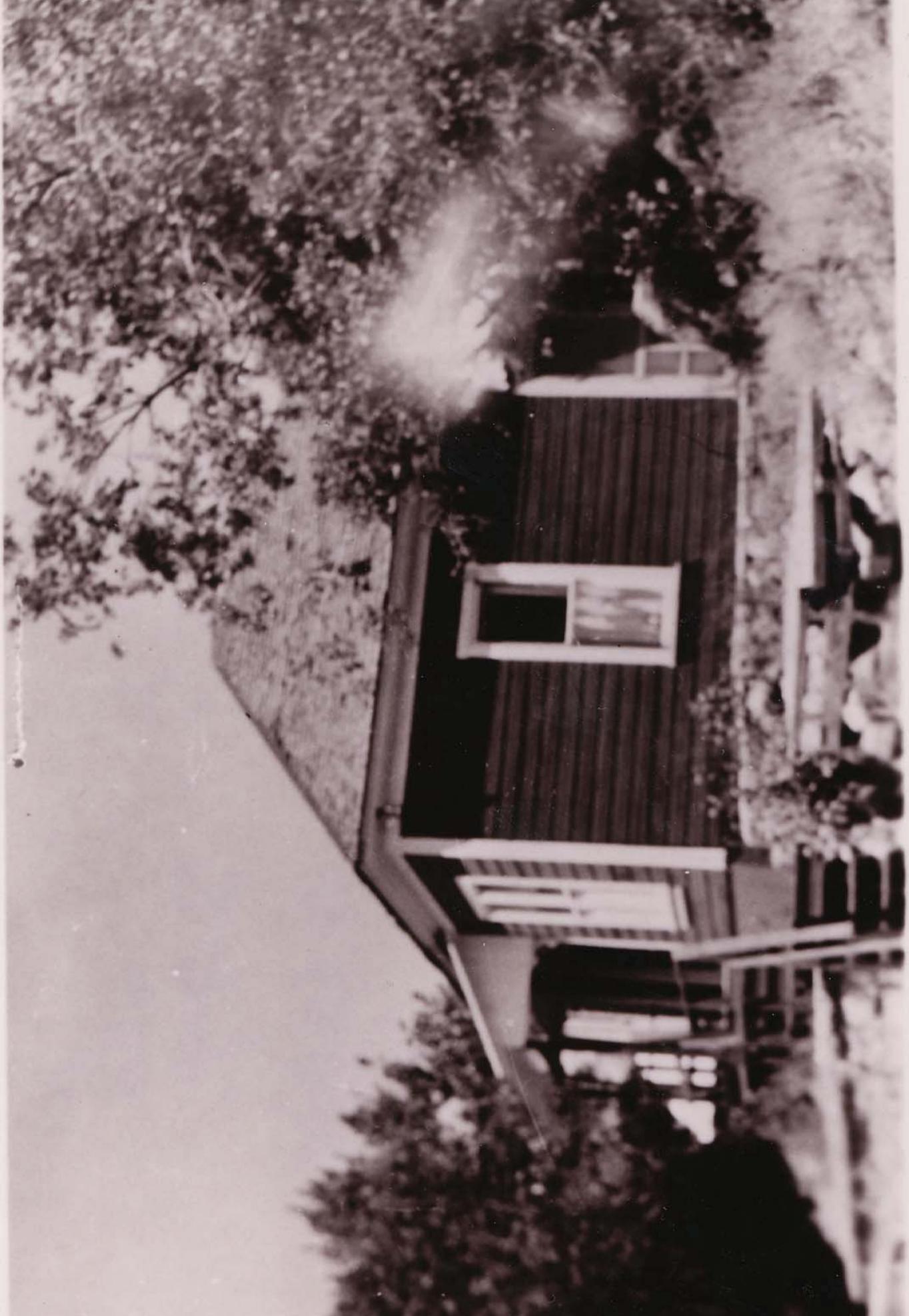


SCALE:

RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class _____ Depr. 2% 3% _____
 Cars _____ Floor _____ Walls _____ Roof _____ Doors _____
 Size _____ x _____ Age _____ Cost _____ x 47% _____
 _____ 1940 Base Cost _____ x _____ % Depr. _____

REMARKS ^{Ann 60} **Average Year of Construction Computation:**
 Year 1918 \$ 4664 = 93 % X .47 Year = 4371
 Year 1964 \$ 341 = 7 % X .1 Year = 407
Average Year of Construction 1921 4378
 3



Property Type:

Historic Preservation Research Office

Structure/Site Information Form

Street Address: 334 Marsac
Park City, Summit County, Utah

UTM: 12 458340 4499030

Name of Structure: John P. Nimmo House

T. R. S.

Present Owner: Doug Muir

Owner Address: 1893 Millbrooke, Salt Lake City, Utah 84106

Year Built (Tax Record):
Legal Description

Effective Age:
Kind of Building:

Tax #: PC 442

All Lot 7 and all Lot 8; South half Lot 9 Block 54, Park City Survey.
Less than one acre.

PHOTOGRAPHIC

STATUS/USE 2

Original Owner: probably John P. Nimmo

Construction Date: c.1902

Demolition Date:

Original Use: Residence

Present Use:

Building Condition:

Integrity:

Preliminary Evaluation:

Final Register Status:

- Excellent
- Good
- Deteriorated
- Site
- Ruins
- Unaltered
- Minor Alterations
- Major Alterations

- Significant
- Contributory
- Not Contributory
- Not of the
- Historic Period

- National Landmark District
- National Register
- State Register
- Multi-Resource
- Thematic

DOCUMENTATION 3

Photography:

Date of Slides: 1983

Slide No.:

Date of Photographs: 1983

Photo No.:

Views: Front Side Rear Other

Views: Front Side Rear Other

Research Sources:

- Abstract of Title
- Plat Records/Map
- Tax Card & Photo
- Building Permit
- Sewer Permit
- Sanborn Maps
- City Directories
- Biographical Encyclopedias
- Obituary Index
- County & City Histories
- Newspapers
- Utah State Historical Society
- Personal Interviews
- LDS Church Archives
- LDS Genealogical Society
- U of U Library
- BYU Library
- SU Library
- CL Library
- Other Census Records

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Park Record, February 17, 1911, p. 1. John P. Nimmo obituary.
Salt Lake Tribune, December 3, 1956, p. 31. Margaret Gray Nimmo obituary.

Architect/Builder: Unknown

Building Materials: Wood

Building Type/Style: Pyramid House (variant)

Description of physical appearance & significant architectural features:
(Include additions, alterations, ancillary structures, and landscaping if applicable)

This is a one story frame rectangular building with a hip roof. Its design is unique in Park City. Houses like this that date from the beginning of the twentieth century generally have an attached porch or side inset porch, but this house has a centered, rectangular, recessed vestibule. There are two entrances off of the vestibule, one into the north end of the building, and one into the east side of the building. A window flanks the east entrance. There are pairs of double hung sash windows on the facade. A simple porch was added to the front of the vestibule which in scale and massing is in keeping with the character of the house, and therefore does not affect the original character of the building. Except for the addition of the porch, the building is essentially unaltered, therefore it maintains its original integrity.

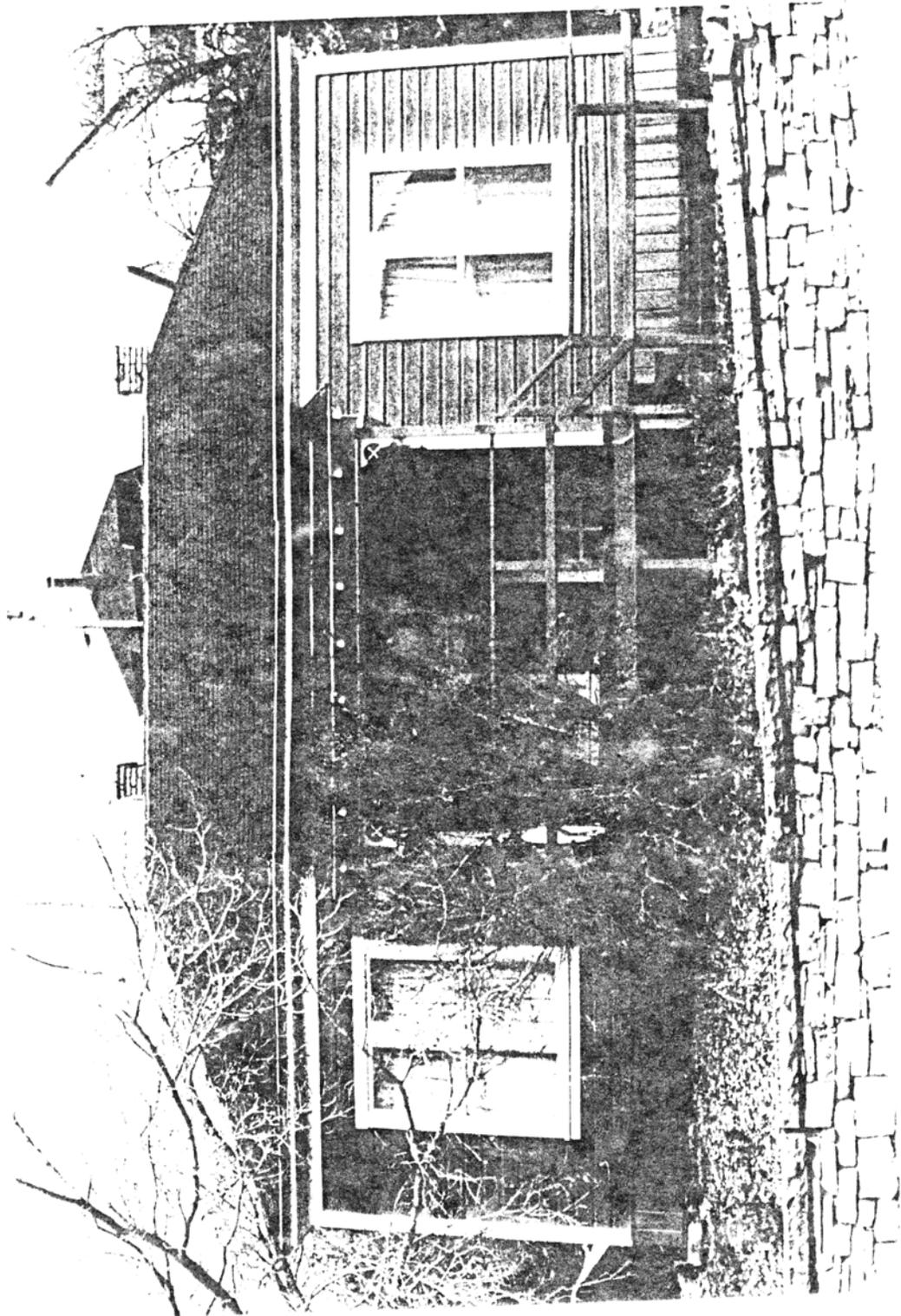
Statement of Historical Significance:

Construction Date: c.1902

Built c. 1902, the John P. Nimmo House at 334 Marsac is architecturally significant as one of only five well preserved examples of a variant of the pyramid house. The pyramid house is one of the three most common house types built during the early period of Park City's mining boom era and was built with a number of variations. This variant is characterized by the typical square form and clipped gable, hip or pyramid roof, but is distinguished from the basic pyramid house in that instead of having a porch spanning the facade, the porch is set into a recessed section of the facade. Pyramid houses make up about 20% of the total number of in-period buildings in Park City, and about 30% of the total number of pyramid houses are included in this nomination.

This house was probably constructed in 1902 by John Nimmo soon after he purchased this and the adjacent property. A c.1880 house which had previously been on this property was probably destroyed in the great fire of 1898, which wiped out most of the houses in this part of town. The design of this house, though unique in some ways, generally conforms to that of neighboring houses which were also constructed around the turn of the century.

John Nimmo was born in Scotland in 1850, and came to the U.S. as a young man, working first in the mines in Nevada. He came to Park City in 1882, where he also followed his life-long occupation of mining. In 1883 he married Margaret Gray (b. 1865), who had immigrated to Nevada from Scotland with her parents in 1877. John Nimmo served as a supervisor in several of the Park City mines, including the Ontario, Daly-Judge, Daly-West, and Little Bell mines. He died in 1911, a victim of miners consumption. Margaret Nimmo continued to live in this house until her death in 1957.







CONTRACT NO. 12039J



Lic. # 4726504-5501

155 Aspen Drive

Park City, Utah 84098

Office: (435) 615-8669

Salt Lake City: (801) 328-4311

Dep.
2/16/12
C.W.W.

PROPOSAL FOR: Dottie Beck

PHONE 435-655-1546

JOBSITE ADDRESS: 334 Marsac Park City, UT

DATE: 1-12-12

After visiting, thoroughly inspecting and taking accurate measurements your roof, I have come up with a good scope of work for this project that pertains to this mountainous area. My measurements have shown that there is approximately 16 sq. of roofing. The scope of work and prices reflect these measurements.

SCOPE OF WORK:

1. Meet with owners or agent of owners to determine the best place to set up any staging areas, dumpster placement and over all plan of attack that accommodates all parties involved with this project.
2. Meet with the building and planning department to submit all reroof documents to obtain a building permit and schedule the roofing dry-in inspection.
3. Protect the property with tarps, ply-wood and what ever other means necessary to ensure minimal impact to the property.
4. Remove existing roofing materials, 4 layers: shingles, metal flashings and underlayment down to wood sheeting, haul away all roofing related debris to a suitable landfill.
5. Install 5\8th. plywood to entire roof.
6. Install 26ga. Kynar clad steel drip edge around perimeter of roof on top of a 9in. strip of ice and watershed
7. Install CertainTeed Winterguard ice and watershed over 3\4 of the roof, and in all valleys complete.
8. Install Feltex roofing underlayment to the remainder of the roof.
9. Install new galvanized pipe flashing to all pipe penetrations as needed.
10. Install 26ga. Kynar clad steel roof to wall flashings at all roof to walls, extending 4in. up walls and 4in. onto deck of roof. On all side walls apply a 4X4X8 in. step flashing to each course of shingles and at all head walls apply a 4X4in.X 10ft.pitched L-metal over the top course of shingles, fastened with neoprene washer screw to the deck of the roof.
11. Install CertainTeed Landmark asphalt shingles to entire roof surface to manufactures specifications.
12. Install CertainTeed Mountain Ridge hip and ridge cap along all hip lines.
13. Clean up and haul away all roofing related debris from job site to owner's or agent of owner's expectations.
14. Arrange and meet with the Park City Building Department to do a final roof inspection, if needed fix and complete what ever punch list they might have. Provide final inspection report to owners.
15. Provide owners with all manufactures warranty information, lien wavers and any other documentation wanted.

BASE PRICE: \$11,750.00

WARRANTYS AND SPECIAL CONDITIONS:

1. Warranties are as follows: 5 years workmanship from On Top Roofing from any improperly installed products.
2. A Limited Lifetime asphalt shingle warranty from CertainTeed the manufacture.
3. On all 26ga. Kynar clad steel metal flashings and trim installed, there is a 35yr. no color fade warranty from the manufacture.
4. Our men and equipment are insured for your protection.
5. Any carpentry work needed done (i.e. fascia replacement, any framing issue and anything structural) beyond what is included in the scope of work will be billed as an extra at T&M. My hourly rates are \$65.00 an hour per guy. We will tighten up the existing fascia in order to properly install the roofing, this is included in the scope of work but any replacement will be billed as and extra.
6. All existing gutter and down spouts will be protected to the best of our ability. If any repairs, modifications or replacement is needed it will be an additional cost depending on what is needed done.
7. Obtaining proper ventilation to meet currant building codes and to obtain all CertainTeed's warranties. After the removal of the existing roof, a ventilation plan can be determined and implemented at an additional cost.
8. This bid does not include roof venting witch will have to be determined at a latter time with further inspections and be an additional cost to the project.
9. All Park City re-roofing building permits, fees and inspections are included in this bid and will be obtained and handled by OnTop Roofing. If any other permit other then a re-roofing permit is needed it will be an additional cost to the project.



**334 Marsac Avenue
Vicinity Map**

Legend

-  Road Edges
-  Parcels
-  Park City HSI Significant Site
-  Park City HSI Landmark Site
-  Streets



Exhibit E – Historic Incentive Grants account update

Historic Incentive Grants - Capital Project Budget Update

MAIN STREET RDA	
Current Budget Funds	\$ 9,367.00
Allocated monies to date	\$ 9,367.00
Total Budget Funds Available	\$ -

LOWER PARK RDA	
Current Budget Funds	\$ 209,726.00
Allocated monies to date	\$ 4,792.50
Total Budget Funds Available	\$ 204,933.50

CIP FUND - GENERAL FUND TRANSFER **	
Current Budget Funds	\$ 63,020.00
Allocated monies to date	\$ 10,773.00
Total Budget Funds Available	\$ 52,247.00

** The CIP - General Fund is a fund that is allocated from the General Fund and distributed throughout Capital Projects for the discretionary use and distribution within that Capital Project in conjunction with any internal policies of the managing department. It is to be used after the budgeted funds within that project are depleted.

Historic Preservation Board Staff Report



Subject: 61 Daly Avenue
Author: Francisco Astorga, Planner
Date: July 18, 2012
Type of Item: Historic District Grant Application
Project Number: PL-12-01585

Summary Recommendations

Staffs recommends the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with the repairing of two (2) double hung windows on the front façade of a historic structure located at 61 Daly Avenue.

Description

Applicant: Delphine Campes
represented by Dale Covington, contractor
Location: 61 Daly Avenue – Landmark Structure
Proposal: Historic Grant
Zoning: Historic Residential (HR-1)
Adjacent Land Uses: Contemporary single family structures built towards the north and historic single family structures towards the south.
Redevelopment Area: Main Street

Background

According to the 2009 Park City Historic Sites Inventory (HSI), the structure at 61 Daly Avenue is historically significant as a Landmark Site and is eligible for the National Register of Historic Places (Exhibit B). The structure was built circa 1900 and is associated with Park City's mining heritage. The Park City HSI form describes the following items:

Design. Building card indicates that room on the right side of front elevation (without the gable and adjacent to porch) may have been a remodeling effort in 1956, which is further indicated by its absence in the earlier tax photo. Roofing materials show evolution from basic wood boards to shingles with metal edging on the last two feet of pitch slope. Porch details have been enhanced since tax photo, with more decorative porch supports and inclusion of a railing system.

Setting. Narrow building lot, with outbuilding/shed placed midway in property; house 5-6 feet behind shed placement (house is recessed drastically in distance from city roadway.) Lilac bush, shrubs, and native grasses throughout landscape of property. Some neighboring properties match structure in scale and style, although building to immediate left of front elevation appears to be a multi-story housing unit atypical in historic content.

Workmanship. The distinctive elements that define this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type (“L” Cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling. The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association. The “T” or “L” cottage (also known as a “cross-wing”) is one of the earliest and one of the three most common house types built in Park City during the mining era.

This site is eligible for listing on the National Register of Historic Places. It was built within the historic period, defined as 1894-1930 and retains its historic integrity. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

Analysis

Eligible improvements for historic district grants include, but are not limited to:

- siding
- windows
- foundation work
- masonry repair
- structural stabilization,
- retaining walls/steps/stairs of historic significance
- exterior trim
- exterior doors
- cornice repair
- porch repair

Maintenance items, such as exterior painting and new roofing, are the responsibility of the homeowner, but may be considered under specific circumstances. The applicant is requesting that the HPB grant money for repairing two double hung windows on the front façade of a historic structure.

Staff finds the proposed work as shown on their submitted plans and “Breakdown of Estimated Costs”, submitted by the applicant, to be considered minor routine maintenance/construction having no negative impact on the historic character of the surrounding neighborhood or the Historic District and is eligible for a historic district grant. The historic district grant program states that “funds shall be awarded to projects that provide a community benefit of preserving and enhancing the historic architecture of Park City.” Staff finds that by awarding the grant, the HPB would be enhancing the landmark site and further contributing to the ongoing preservation of a historically significant landmark building in Park City. As shown on the photograph the two double hung window need to be repaired (Exhibit A).

Total estimated cost of the proposed work is \$2,000 (Exhibit C). As the program is a matching grant program, half of the total cost is eligible to be granted. Therefore, the Board can consider granting the applicant one half (½) of the proposed cost of the eligible preservation work in the amount of \$1,000.

The current balance of the Main Street Redevelopment Area (RDA) is \$0. There are no longer additional incoming funds to the Main Street RDA. The balance of the Capital Improvement Program (CIP) account allocated for historic incentive grants is \$52,247. The funds of the Main Street RDA are limited to the specific area. However, the funds of the CIP account allocated for historic incentive grants can be used towards any historic grant request within the City. Staff recommends that the funds be allocated from the CIP account allocated for historic incentive grants due to the fact that there are no available funds in the Main Street RDA.

A pre-application conference took place for this site on May 2, 2012. An application for a Historic District Design Review (HDDR) was received on June 5, 2012 and deemed complete on June 8, 2012. The property was properly posted and noticed for the public input period on June 15, 2012. Initial public input ended on June 29, 2012. No comments were received during the public input period. The HDDR was approved on July 2, 2012.

The HDDR approval includes removing the two (2) existing double hung windows in the master bedroom on the front of the house to be disassembled, repaired, and reinstalled to allow for full functionality, reusing as much trim as possible. The applicant has decided not pull the building permit to allow the HPB to review the requested grant.

Recommendation

Staffs recommends the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with repairing two double hung windows on the front façade of a historic structure located at 61 Daly Avenue.

Exhibits

Exhibit A – Site Photograph

Exhibit B – Historic Site Inventory Form

Exhibit C – Breakdown of estimated costs of the scope of work

Exhibit D – Vicinity Map

Exhibit E – Historic Incentive Grants account update



HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 61 Daly Ave

AKA:

City, County: Park City, Summit County, Utah

Tax Number: PC-606

Current Owner Name: JOLLEY FRANCES N (JT)

Parent Parcel(s):

Current Owner Address: PO BOX 1198, PARK CITY, UT 84060-1198

Legal Description (include acreage): ALL LOT 9 & N 3 FT LOT 10 BLK 73 MILLSITE PARK CITY; (EXCEPTING THEREFROM 1933-1256 DESC AS FOLLOWS: BEG AT A PT S 21*33' W 3.00 FT FROM THE NW COR OF LOT 10 BLK 73 MILLSITE RESERVATION IN PARK CITY; & RUN TH N 21*33' E 3.80 FT; TH S 68*27' E 100.00 FT; TH S 21*33' W 3.80 FT; TH N 68*27' W 100.00 FT TO THE PT OF BEG A PART OF PC-607); 0.10 AC

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo: c. 1940
- prints: 1995 & 2006
- historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" Cottage or "T" Cottage

No. Stories: 1

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # __1__ ; structure(s), # _____.

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Wooden vertical board and metal roofing on outbuilding shed.

Foundation: Possible concrete, though unable to fully determine based on photos alone.

Walls: Drop-novelty wood siding

Roof: Asphalt shingle with bottom edge consisting of 1-2 feet of metal lining.

Windows/Doors: Fixed casement windows with horizontal muntins (typical of 1950s)

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): Building card indicates that room on the right side of front elevation (without the gable and adjacent to porch) may have been a remodeling effort in 1956, which is further indicated by its absence in the earlier tax photo. Roofing materials show evolution from basic wood boards to shingles with metal edging on the last two feet of pitch slope. Porch details have been enhanced since tax photo, with more decorative porch supports and inclusion of a railing system.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): Narrow building lot, with outbuilding/shed placed midway in property; house 5-6 feet behind shed placement (house is recessed drastically in distance from city roadway.) Lillac bush, shrubs, and native grasses throughout landscape of property. Some neighboring properties match structure in scale and style, although building to immediate left of front elevation appears to be a multi-storey housing unit atypical in historic content.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The distinctive elements that define this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" Cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1900¹

¹ Summit County Recorder.

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: East elevation (primary façade). Camera facing west, 2006.

Photo No. 2: Accessory building. Camera facing northwest, 2006.

Photo No. 3: Southeast oblique with accessory building (partial). Camera facing northwest, 1995.

Photo No. 4: East elevation (primary façade). Camera facing west, c. 1940 tax photo.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

Location Block 73 Lot 9 + Pt Lot 10
 Kind of Bldg. RES. St. No. 61 Daly Ave
 Class 3 Type 1 2 3 4 4 Cost \$ 1735 X 100 %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		862		\$ 1735
	x x				
	x x				

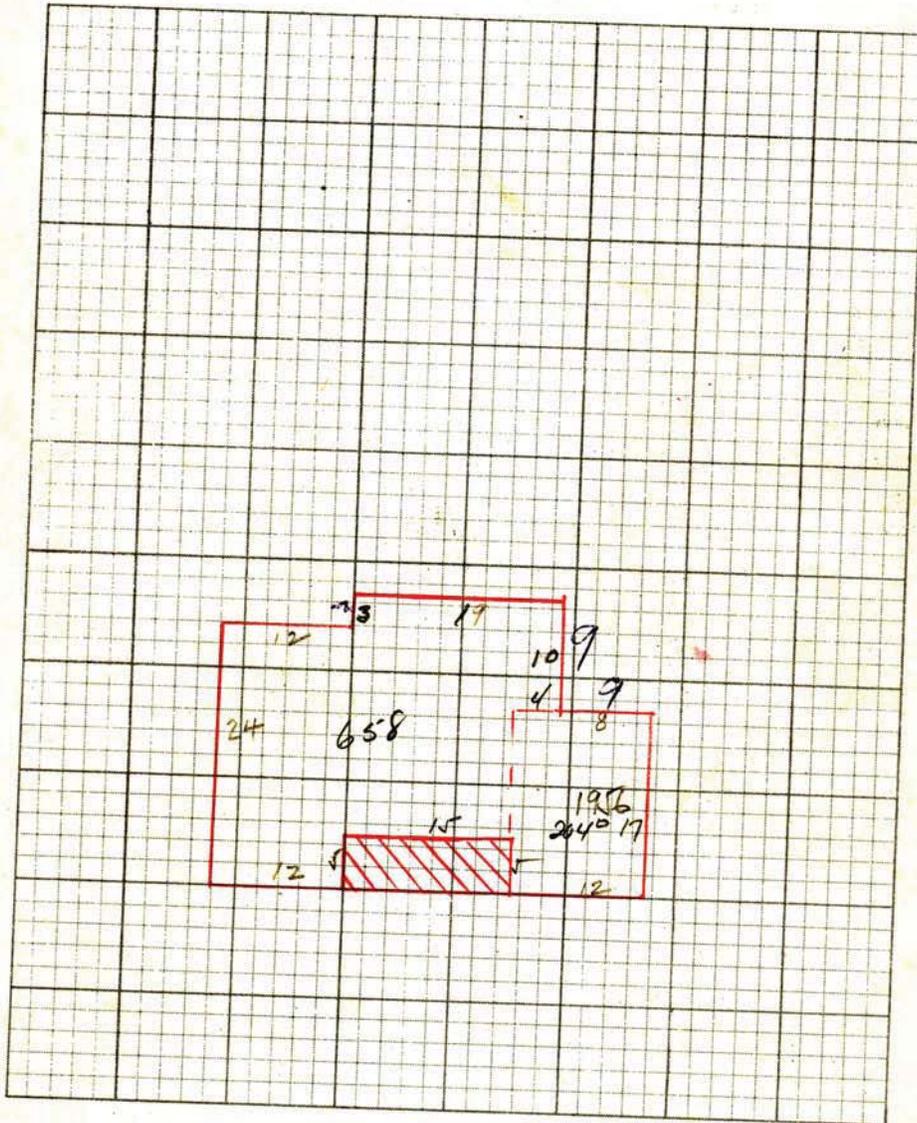
Gar.—Carport x Flr. Walls Cl.

Description of Buildings	Additions
Foundation—Stone <u>Conc.</u> <u>None</u> <input checked="" type="checkbox"/>	
Ext. Walls <u>Siding</u>	
Insulation—Floors <u>Walls</u> <u>Clgs.</u>	
Roof Type <u>Mtl.</u>	
Dormers—Small <u>Med.</u> <u>Large</u>	
Bays—Small <u>Med.</u> <u>Large</u>	
Porches—Front <u>75'</u> @ <u>90</u> <u>60</u>	
Rear <u>@</u>	
Porch <u>@</u>	
Metal Awnings <u>Mtl. Rail</u>	
Basement Entr. <u>@</u>	
Planters <u>@</u>	
Cellar-Bsmt. — $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ Full <u>Floor</u>	
Bsmt. Apt. <u>Rooms Fin.</u> <u>Unfin.</u>	
Attic Rooms Fin. <u>Unfin.</u>	
Plumbing {	Class <u>1</u> Tub <u>1</u> Trays <u>1</u>
	Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>
	Wtr. Sfr. <u>Shr. St.</u> <u>O.T.</u>
	Dishwasher <u>Garbage Disp.</u>
Built-in-Appliances <u>370</u>	
Heat—Stove <input checked="" type="checkbox"/> H.A. <u>Steam</u> <u>Stkr.</u> <u>Blr.</u>	
Oil <input checked="" type="checkbox"/> Gas <u>Coal</u> <u>Pipeless</u> <u>Radiant</u>	
Air Cond. <u>370</u>	
Finish—Fir <input checked="" type="checkbox"/> Hd. Wd. <u>Other</u>	
Floor—Fir <input checked="" type="checkbox"/> Hd. Wd. <u>Other</u>	
Cabinets <u>1</u> Mantels <u>1</u>	
Tile—Walls <u>Wainseot</u> <u>Floors</u>	
Storm Sash—Wood D. <u>S.</u> <u>Metal D.</u> <u>S.</u>	
Total Additions	<u>370</u> <u>370</u>

Year Built <u>Age 1949 - 54</u>	Avg. Age <u>63</u>	Current Value	\$ <u>2105</u>
Inf. by { Owner - Tenant - Neighbor - Record - Est.		Commission Adj.	%
		Bldg. Value	
Remodel Year <u>1952</u> Est.-Cost		Depr. Col. 1 2 3 4 5 6 <u>30</u>	%
		Current Value Minus Depr.	\$ <u>631</u>
Garage—Class <u>Depr. 2% 3%</u> Carport <u>Factor</u>			
Cars <u>Floor</u> <u>Walls</u> <u>Roof</u> <u>Doors</u>			
Size—x <u>Age</u> Cost x %			
Other			

Total Building Value \$

Appraised 5-12-1982 By 1302



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Fac- tor	Cost	Depr. Value
Shed. Work. 5019 - RR.	10	6 x 12	96	5	48	NTV
		x				
		x				
		x				
		x				
TOTAL						

Remarks: _____

PC 606
Serial Number

OF
Card Number

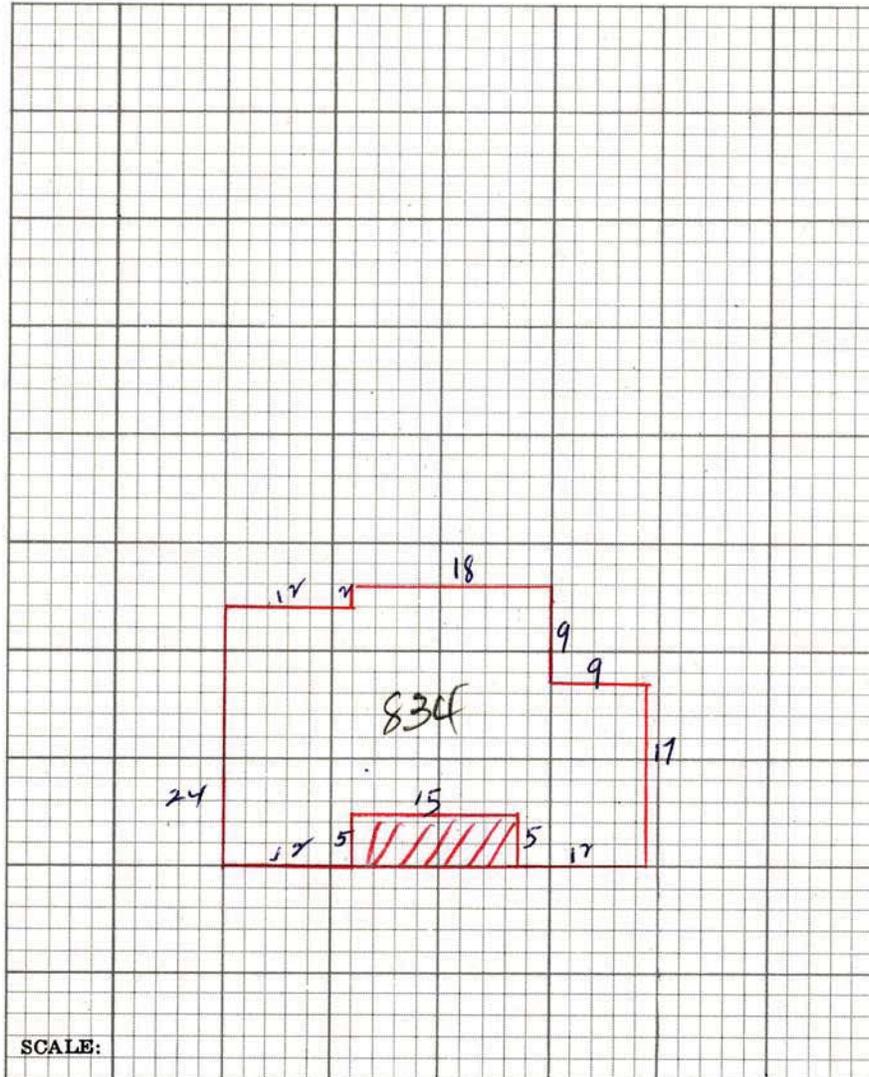
Owners Name Ida Munnillew
 Location Lot 9 + N3' 6" 10 Bk 73 MS
 Kind of Bldg. Res St. No. 61 Daly Ave
 Class. 2 Type 1 2 3 4 Cost \$ _____ X _____ %

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	834		\$ 2623	\$
	x x				
	x x				

Att. Gar. — C.P. _____ x _____ Flr. _____ Walls _____ Cl. _____

Description of Buildings	Additions	Additions
Foundation—Stone _____ Conc. <input checked="" type="checkbox"/> Sills <input checked="" type="checkbox"/>		
Ext. Walls <u>siding</u>		
Roof Type <u>Gable</u> Mtl <u>Metal</u>		
Dormers—Small _____ Med. _____ Large _____		
Bays—Small _____ Med _____ Large _____		
Porches—Front _____ 75 @ 125 94		
Rear _____ @ _____		
Porch _____ @ _____		
Planters _____ @ _____		
Ext. Base. Entry _____ @ _____		
Cellar-Bsmt. — 1/4 1/8 1/2 3/8 3/4 Full _____ Floor _____		
Bsmt. Gar. _____		
Basement-Apt. _____ Rms. _____ Fin. Rms. _____		
Attic Rooms Fin. _____ Unfin. _____		
Plumbing {	Class <u>1</u> Tub. <u>1</u> Trays _____	550
	Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>	
	Wtr. Sftr. _____ Shr. St. _____ O.T. _____	
	Dishwasher _____ Garbage Disp. _____	
Heat—Stove _____ H.A. <u>PA</u> HW _____ Stkr _____ Elec. _____		
Oil _____ Gas <u>Gas</u> Coal _____ Pipeless _____ Radiant _____	347	
Air Cond. — Full _____ Zone _____		
Finish—Fir. <input checked="" type="checkbox"/> Hd. Wd. _____ Panel _____		
Floor—Fir. <input checked="" type="checkbox"/> Hd. Wd. _____ Other _____		
Cabinets <u>1</u> Mantels. _____		
Tile—Walls _____ Wainscot _____ Floors _____		
Storm Sash—Wood D. _____ S. _____; Metal D. <u>2 #</u> S. _____	60	
Awnings — Metal _____ Fiberglass _____		

Total Additions		1051
Year Built <u>1895</u>	Avg. 1. <u>1901</u>	Replacement Cost <u>3674</u>
<u>1956 - 1965</u>	Age 2.	Obsolescence
Inf. by {	Owner - Tenant -	Adj. Bld. Value
	Neighbor - Record - Est.	Conv. Factor <u>x.47</u>
Replacement Cost—1940 Base		
Depreciation Column <u>2</u> 3 4 5 6		
1940 Base Cost, Less Depreciation		
Total Value from reverse side		
Total Building Value		\$



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class _____ Depr. 2% 3% _____
 Cars _____ Floor _____ Walls _____ Roof _____ Doors _____
 Size _____ x _____ Age _____ Cost _____ x 47% _____
 _____ 1940 Base Cost _____ x _____ % Depr. _____

REMARKS **Average Year of Construction Computation:**
 1895 \$ 3327 = 91 % X 71 = 6461
 1956 1965 \$ 347 = 9 % X 1 = 209
Average Year of Construction 1901 = 6470
 Total = 67

9096

#7







Exhibit C – Breakdown of estimated costs of the scope of work

III. BREAKDOWN OF ESTIMATED COSTS

Applicant:

Dale Covington

Address of Historic Property:

61 Daly

Scope of Work

Owner's
Portion

City's
Portion

Estimated
Total Cost

Rebuild 2 Double Hung
Windows on front of house
Master Bedroom

Remove, Disassemble window
Strip, repair frame and
Sash, Relsize, repair/replace
counterweights, Re-assemble
Paint, Install

Removal - Installation \$ 700⁰⁰

Repair windows \$ 1300⁰⁰

\$ 1000⁰⁰ \$ 1000⁰⁰

Total Estimated Cost

2000⁰⁰

(attach copies of bids and attach additional sheets as necessary)





**61 Daly Avenue
Vicinity Map**

Legend

- Road Edges
- Parcels
- Park City HSI Significant Site
- Park City HSI Landmark Site
- Streets



Exhibit E – Historic Incentive Grants account update

Historic Incentive Grants - Capital Project Budget Update

MAIN STREET RDA	
Current Budget Funds	\$ 9,367.00
Allocated monies to date	\$ 9,367.00
Total Budget Funds Available	\$ -

LOWER PARK RDA	
Current Budget Funds	\$ 209,726.00
Allocated monies to date	\$ 4,792.50
Total Budget Funds Available	\$ 204,933.50

CIP FUND - GENERAL FUND TRANSFER **	
Current Budget Funds	\$ 63,020.00
Allocated monies to date	\$ 10,773.00
Total Budget Funds Available	\$ 52,247.00

** The CIP - General Fund is a fund that is allocated from the General Fund and distributed throughout Capital Projects for the discretionary use and distribution within that Capital Project in conjunction with any internal policies of the managing department. It is to be used after the budgeted funds within that project are depleted.

Historic Preservation Board Staff Report



Subject: 335 Woodside Avenue
William Tretheway House
Author: Francisco Astorga, Planner
Date: July 18, 2012
Type of Item: Historic District Grant Application
Project Number: PL-12-01596

Summary Recommendations

Staffs recommends the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with the complete renovation of a historic structure located at 335 Woodside Avenue.

Description

Applicant: John Watkins and Erich Joiner
represented by Lance Kincaid, contractor
Location: 335 Woodside Avenue – Landmark Structure
Proposal: Historic Grant
Zoning: Historic Residential (HR-1)
Adjacent Land Uses: Contemporary single family structures built across the street and towards the south and a historic single family structure towards the north.
Redevelopment Area: Main Street

Background

According to the 2009 Park City Historic Sites Inventory (HSI), the structure at 61 Daly Avenue is historically significant as a Landmark Site and is eligible for the National Register of Historic Places (Exhibit B). The structure was built circa 1900 and is associated with Park City's mining heritage. The Park City HSI form describes the following items:

Design. This house is a one story frame hall and parlor house with a gable roof. Typical of the hall and parlor house is the rectangular form, the symmetrical facade with a door centered between two windows, and the porch spanning the facade. The piers that support the section of porch between the windows may be original, but the porch roof, the side piers, and the balustrade were later additions. Those changes are unobtrusive and are reversible. The roof of this house slopes off to the rear, resembling a saltbox roof. An original shed extension such as this was common in Park City houses, allowing the two room hall and parlor form to be expanded to a four room house. There is a door with a small balcony set in the top half story of the south gable end. All of the original windows are the one over one double hung sash type. Two small windows in the

north wall are more recent additions, but the change is minor. Despite the minor porch and window changes, the house maintains its original character.

Setting. The setting is typical of mining era homes in Park City. The house is located on .08 acres with a narrow building pad that results in the rear of the house nearly embedded into the hill behind. The lot gradually rises from the stone retaining wall at the street front and rises more sharply at the rear of the house. Landscaping is informal and consists of evergreen trees and grasses. The house is located close to other houses of similar size and scale.

Workmanship. The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling. The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association. The Hall-Parlor house form is the earliest type to be built in Park City and one of the three most common house types built in Park City during the mining era.

This site was listed on the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*. It was built within the historic period, defined as 1872 to 1929 in the district nomination, and retains its historic integrity. As a result, it meets the criteria set forth in the LMC Chapter 15-11 for designation as a Landmark Site.

Analysis

Eligible improvements for historic district grants include, but are not limited to:

- siding
- windows
- foundation work
- masonry repair
- structural stabilization,
- retaining walls/steps/stairs of historic significance
- exterior trim
- exterior doors
- cornice repair
- porch repair

Maintenance items, such as exterior painting and new roofing, are the responsibility of the homeowner, but may be considered under specific circumstances.

The structure is presently in poor condition as verified by studying the physical conditions report. The project proposal is to completely renovate the structure, front porch and stairway access from the street to its 20th century presence. The rotting

foundation will be replaced with a new concrete foundation with full basement and a single car garage. The proposal does *not* include relocation/reorientation, disassembly/reassembly (panelization), or reconstruction. The final floor elevation will remain the same. The existing structure will have to be structurally braced and raised intact in order to facilitate the proposed construction of the basement/garage portion of the project. Upon completion of the basement, the structure will be set back down to its original position. A new addition is proposed behind the existing historic structure consisting of three (3) stories. The costs associated with the addition are not part of this application.

The applicant is requesting that the HPB grant money for the following items indicated on the estimated cost breakdown:

- excavation (\$18,000)
- raising of historic house to facilitate excavation (\$20,000)
- footing and foundation (\$25,000)
- roof- restructure (\$18,000)
- walls- restructure and stabilize (29,000)
- siding and trim (\$8,000)
- windows and doors (\$5,000)
- painting (\$8,750)

Total estimated cost of the proposed work is \$132,250 (Exhibit C). As the program is a matching grant program, half of the total cost is eligible to be granted. Therefore, the Board can consider granting the applicant one half ($\frac{1}{2}$) of the proposed cost of the eligible preservation work in the amount of \$66,125.

The historic district grant program states that “funds shall be awarded to projects that provide a community benefit of preserving and enhancing the historic architecture of Park City.” Exterior paint and new roofing is only considered under specific circumstance. Staff finds that by awarding the grant, the HPB would be enhancing the landmark site and further contributing to the ongoing preservation of a historically significant landmark building in Park City.

The current balance of the Main Street Redevelopment Area (RDA) is \$0. There are no longer additional incoming funds to the Main Street RDA. The balance of the Capital Improvement Program (CIP) account allocated for historic incentive grants is \$52,247. The funds of the Main Street RDA are limited to the specific area. However, the funds of the CIP account allocated for historic incentive grants can be used towards any historic grant request within the City. Staff recommends that the funds be allocated from the CIP account allocated for historic incentive grants due to the fact that there are no available funds in the Main Street RDA.

This is the third grant application being reviewed today. The grant applications are considered and being presented in the order that they were received. The other two (2) applications are also located within the Main Street RDA. If the Board awards the

requested amount to the other two (2) sites the balance of the CIP account allocated to historic incentive grants will be \$44,372. The HPB can consider awarding the remaining amount in this account or decrease the award amount or not award anything.

Since August 2005 the HPB has awarded twenty-three (23) historic preservation grants which include sixteen (16) in the Main Street RDA, six (6) in the Lower Park Avenue RDA, and one (1) outside of Old Town. The overall average of each of these grants is \$10,839. The highest amount was \$28,750 while the lowest amount was \$1,250. The average award amount in the Main Street RDA is \$11,120. The average award amount in the Lower Park Avenue RDA is \$12,018.

Due to the limited resources, the grant amounts awarded since 2005, the maintenance items (such as exterior painting and new roofing, which are the responsibility of the homeowner, but may be considered under specific circumstances), and the fact that the proposal also includes a garage addition underneath the historic structure, Staff recommends that the HPB award the amount on the estimated breakdown for the roof restructure (\$18,000), walls restructure and stabilize (\$29,000), siding and trim (\$8,000), and windows and doors (\$5,000), totaling \$60,000. Therefore, Staff recommends that the Board consider granting the applicant one half (½) of the proposed cost of the eligible preservation work in the amount of \$30,000.

Since the applicant is proposing a full basement, Staff does not support adding the amount of money for the excavation, raising the structure to facilitate excavation, and footing and foundation.

The City Council approved a plat amendment to combine the two lots of record into one on April 7, 2011. The plat was recorded at the County on October 2011. The Planning Commission approved the Conditional Use Permit for construction over steep slopes on November 9, 2011. The Historic District Design Review was approved by Staff on April 26, 2012. The HDDR was appealed to the HPB and on May 29, 2012 the HPB upheld the staff decision.

Recommendation

Staffs recommends the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with the complete renovation of a historic structure located at 335 Woodside Avenue.

Exhibits

- Exhibit A – Plans including Preservation Plan, Physical Conditions Report, and Model
- Exhibit B – Historic Site Inventory Form
- Exhibit C – Breakdown of estimated costs of the scope of work
- Exhibit D – Vicinity Map
- Exhibit E – Historic Incentive Grants account update

HISTORIC HOME RESTORATION & ADDITION FOR 335 WOODSIDE AVE. PARK CITY, UTAH 84060

DRAWING LIST

- 5-1 EXISTING CONDITIONS SURVEY AND TOPO
- 5-2 EXISTING CONDITIONS- BUILDING ELEVATIONS
- A-1 NEW SITE PLAN - LANDSCAPE PLAN
- A-2 LOWER FLOOR PLAN
- A-3 MAIN FLOOR PLAN and UPPER FLOOR PLAN
- A-4 EAST AND WEST ELEVATIONS
- A-5 NORTH ELEVATION
- A-6 SOUTH ELEVATION
- A-7 BUILDING SECTION and ARCH. DETAILS
- A-8 ARCH. DETAILS
- A-9 SCHEDULES
- A-10 SPECIFICATIONS
- 50.0 GENERAL STRUCTURAL NOTES & SCHEDULES
- 50.01 FOOTING & FOUNDATION PLAN
- 50.02 LOWER ROOF FRAMING & UPPER FLOOR FRAMING PLAN & HIGH ROOF FRAMING PLAN
- 55.00 STRUCTURAL DETAILS
- 55.01 STRUCTURAL DETAILS

OCCUPANCY GROUP R-3

HR-1 ZONING

HISTORIC DESIGNATION: LANDMARK
 ALLOWABLE FOOTPRINT= 1519 SQ. FT.
 ACTUAL FOOTPRINT= 1494.25 SQ. FT.

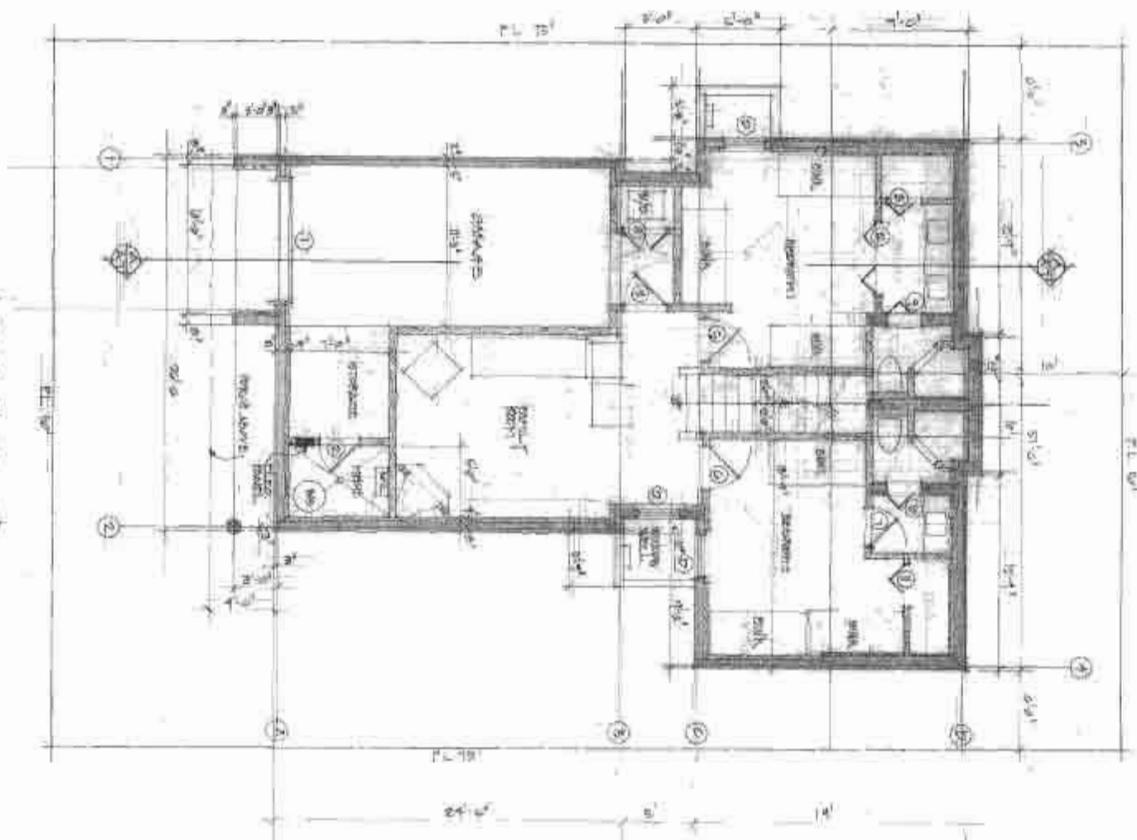
DEFERRED SUBMITTALS

1. FIREPLACES
2. RADIANT HEAT TUBE LAYOUT, BOILER SPECS., HEAT LOSS CALCS.
3. GAS PIPING SCHEMATIC
4. FIRE SPRINKLING SYSTEM LAYOUT AND SPECS. TO BE APPROVED BY THE PARK CITY BUILDING DEPT.
5. CONTRACTOR SHALL PROVIDE PROPER NUMBER OF BACKFLOW PREVENTORS TO BE INSTALLED IN THIS STRUCTURE. INCLUDE THE LAWN SPRINKLING SYSTEM, FIRE SPRINKLING SYSTEM AND NUMBER OF BOILERS ETC.

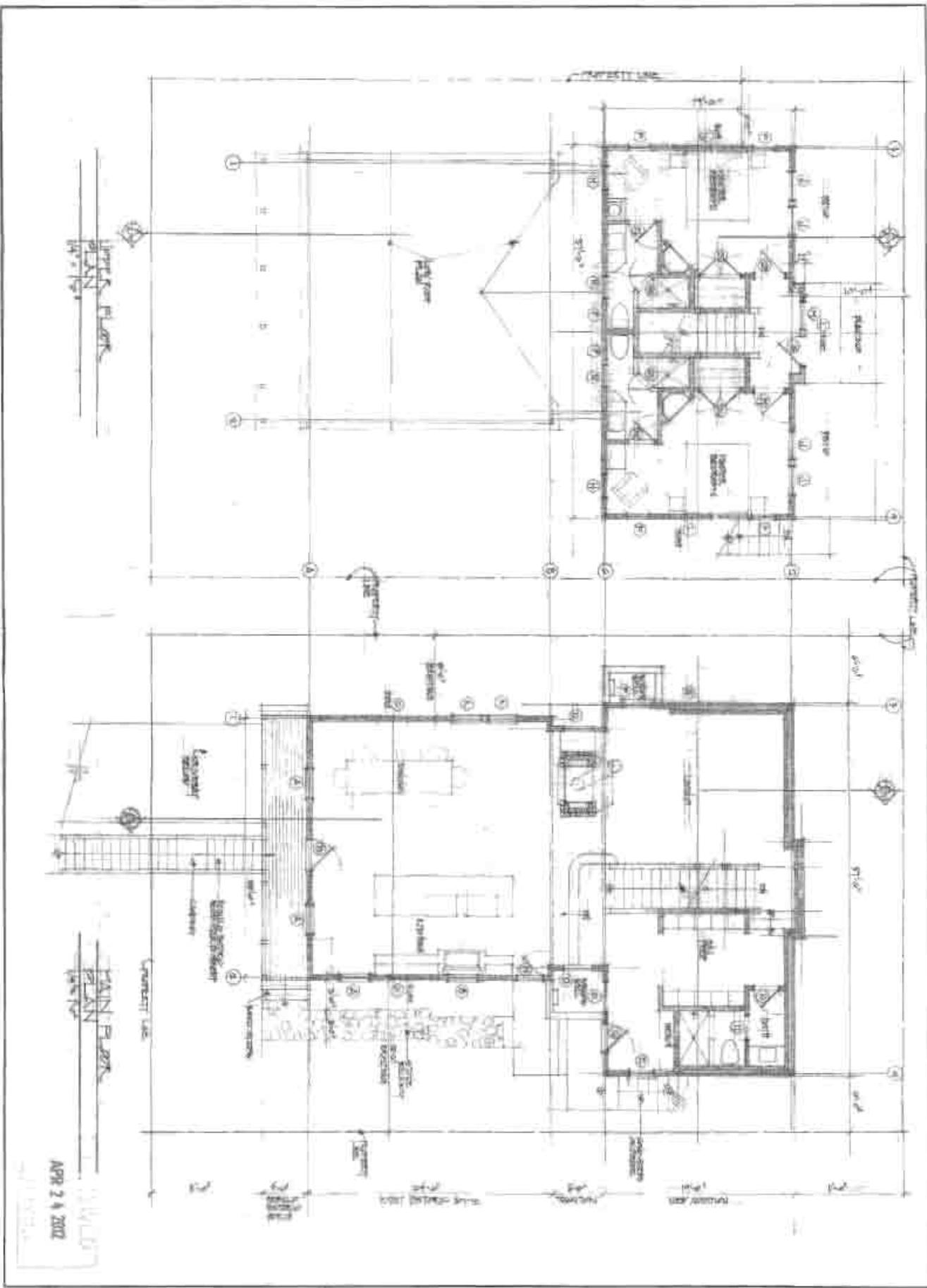
GOVERNING BUILDING CODE: IRC 2009



UPPER FLOOR
PLAN
APR 24 2012



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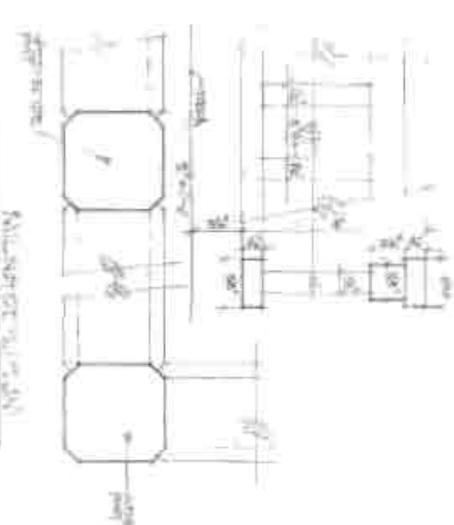
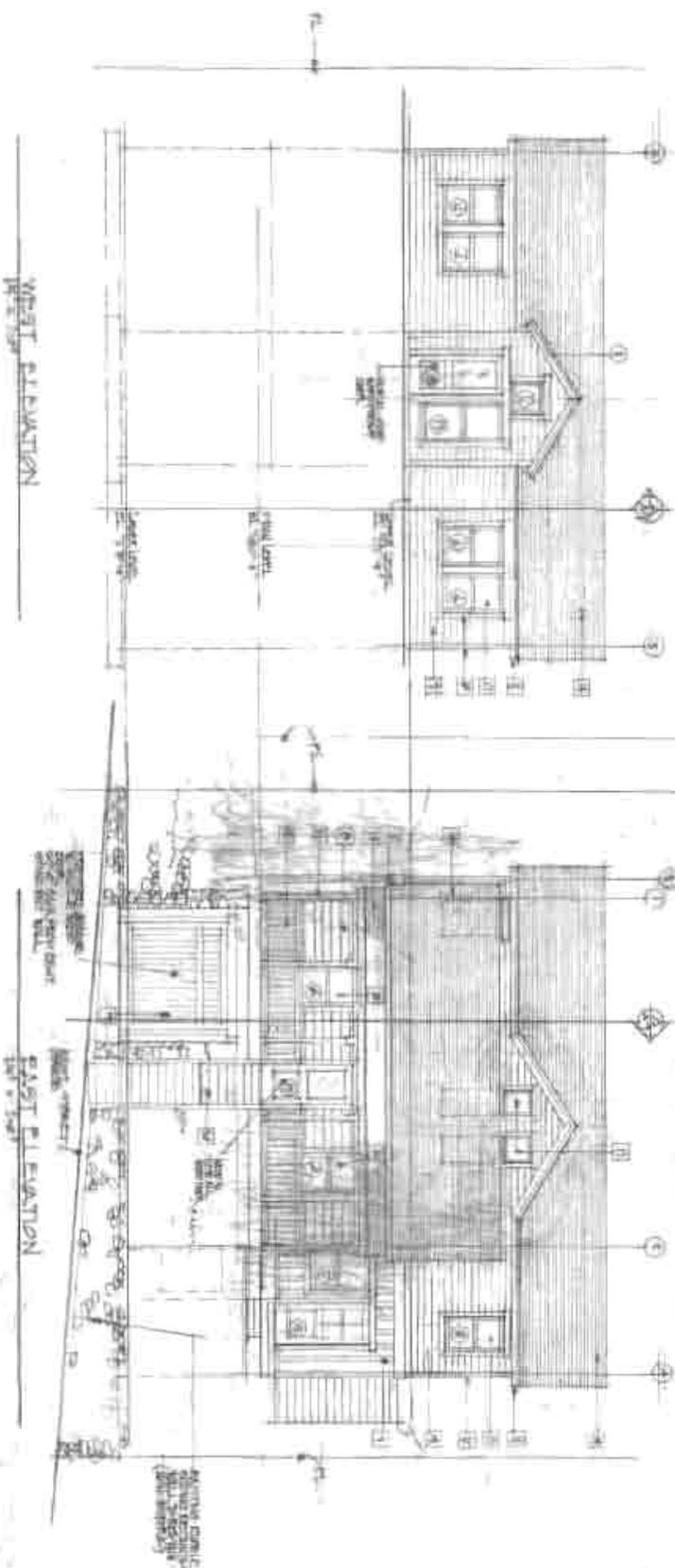
UPPER FLOOR
1/4" = 1'-0"

MAIN FLOOR
1/4" = 1'-0"

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- 1. The architect shall be responsible for obtaining all necessary permits for the construction of the building.
- 2. The architect shall be responsible for coordinating with the contractor and other professionals involved in the project.
- 3. The architect shall be responsible for providing the contractor with all necessary information and instructions.
- 4. The architect shall be responsible for reviewing and approving all construction documents and materials.
- 5. The architect shall be responsible for conducting regular site visits to monitor the progress of the construction.
- 6. The architect shall be responsible for resolving any issues or disputes that arise during the construction process.
- 7. The architect shall be responsible for providing the contractor with all necessary information and instructions.
- 8. The architect shall be responsible for reviewing and approving all construction documents and materials.
- 9. The architect shall be responsible for conducting regular site visits to monitor the progress of the construction.
- 10. The architect shall be responsible for resolving any issues or disputes that arise during the construction process.

- 11. The architect shall be responsible for providing the contractor with all necessary information and instructions.
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- 16. The architect shall be responsible for reviewing and approving all construction documents and materials.
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- 18. The architect shall be responsible for resolving any issues or disputes that arise during the construction process.

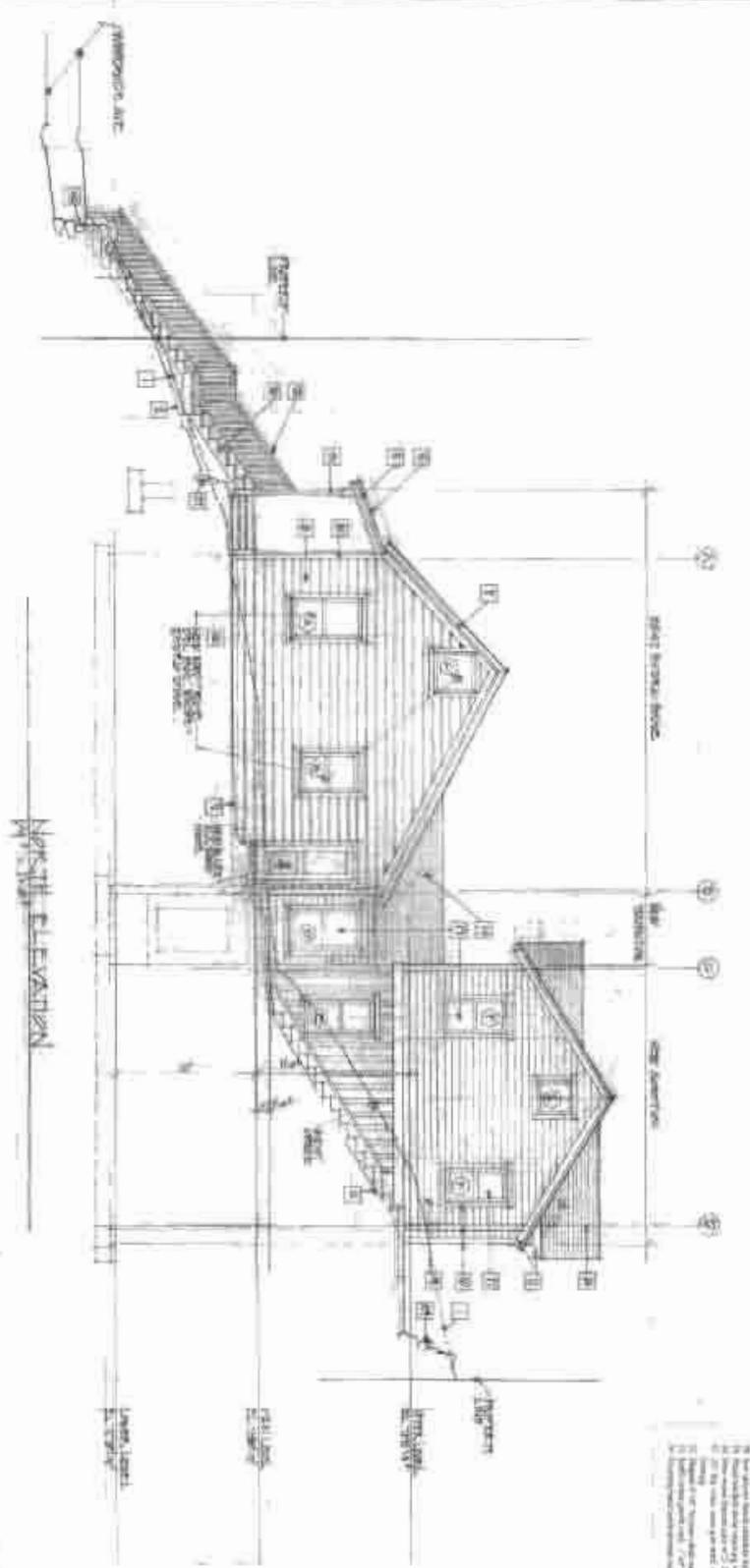


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DAVID G. WHITE ARCHITECT
 1000 N. 10TH ST.
 SUITE 100
 DENVER, CO 80202

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 1000 N. 10TH ST.
 SUITE 100
 DENVER, CO 80202

NORTH ELEVATION



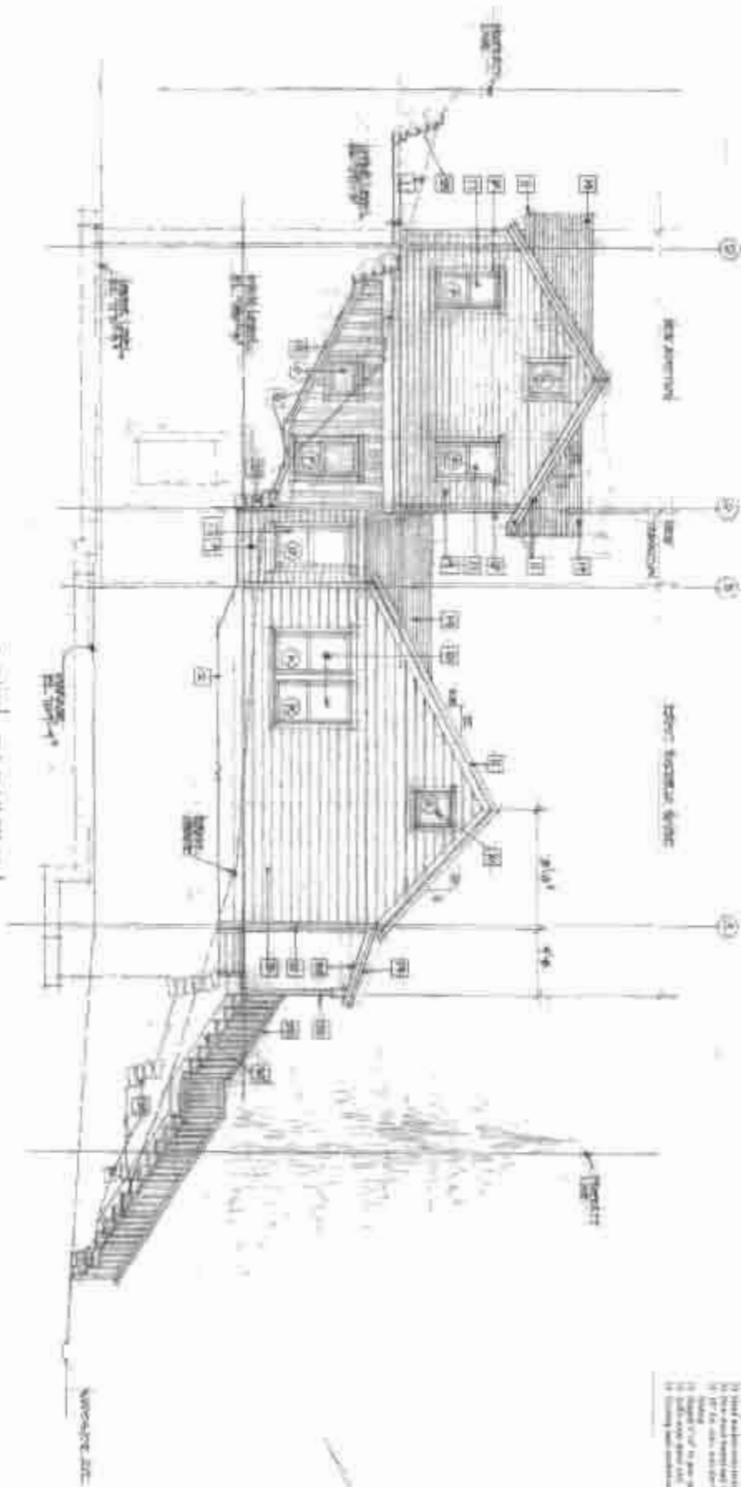
1. 1/2" = 1'-0" (1/4" = 1'-0")
2. All dimensions are in feet and inches.
3. All elevations are shown in black ink.
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20. All elevations are shown in black ink.

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NO.	DATE	DESCRIPTION
1	APR 24 2012	ISSUED FOR PERMIT
2		
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8		
9		
10		

DAVID G. WHITE ARCHITECT
 1000 N. 10TH ST. SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 WWW.DGWA.COM

SOUTH ELEVATION



- 1. 1/2" x 4" wood siding on 1st floor
- 2. 1/2" x 4" wood siding on 2nd floor
- 3. 1/2" x 4" wood siding on porch
- 4. 1/2" x 4" wood siding on roof
- 5. 1/2" x 4" wood siding on dormer
- 6. 1/2" x 4" wood siding on gable
- 7. 1/2" x 4" wood siding on porch
- 8. 1/2" x 4" wood siding on roof
- 9. 1/2" x 4" wood siding on dormer
- 10. 1/2" x 4" wood siding on gable
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- 96. 1/2" x 4" wood siding on roof
- 97. 1/2" x 4" wood siding on dormer
- 98. 1/2" x 4" wood siding on gable
- 99. 1/2" x 4" wood siding on porch
- 100. 1/2" x 4" wood siding on roof

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1. This drawing is a preliminary design and is not to be used for construction without the approval of the architect.

2. The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the contractor.

3. The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the contractor.

4. The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the contractor.

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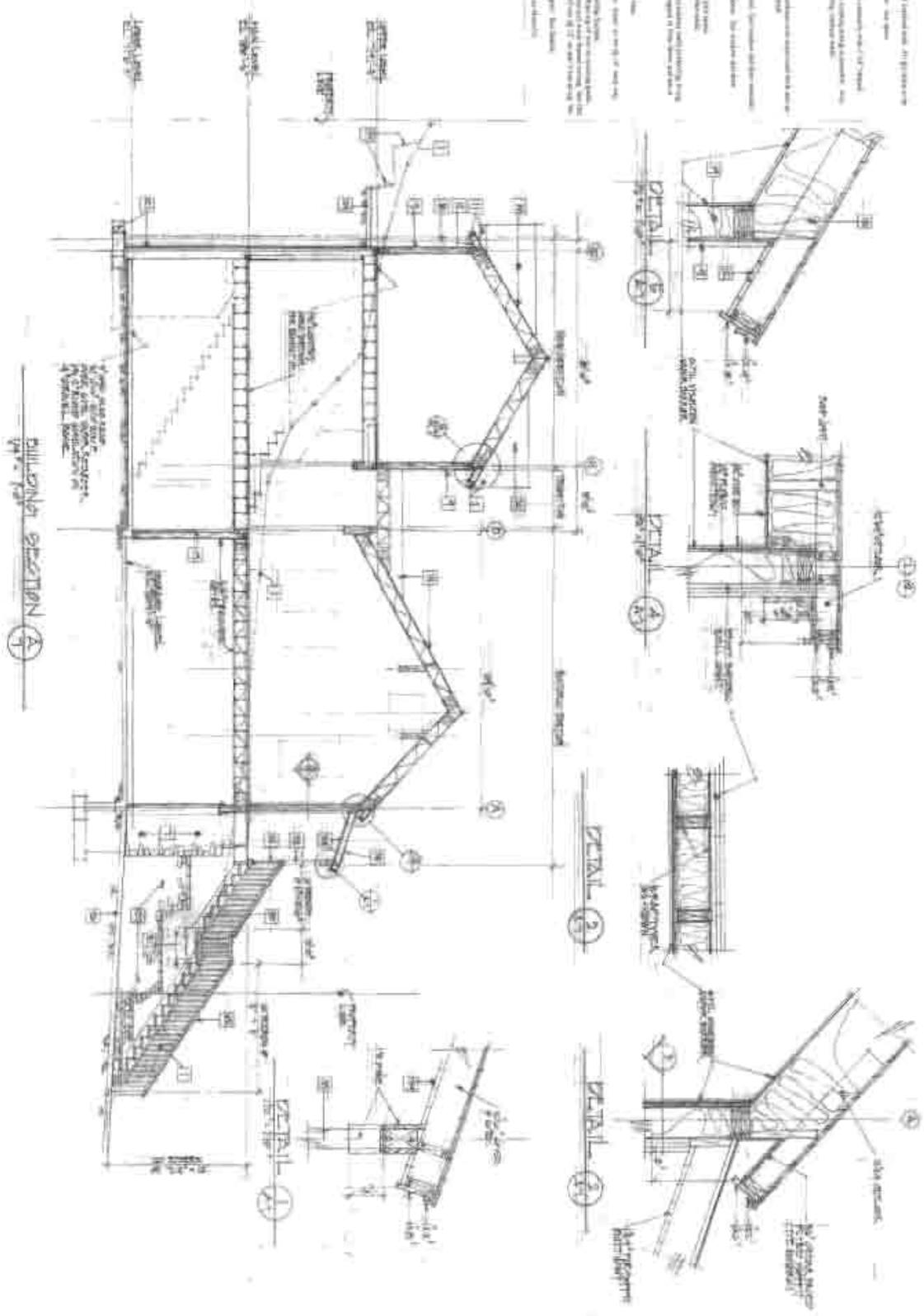
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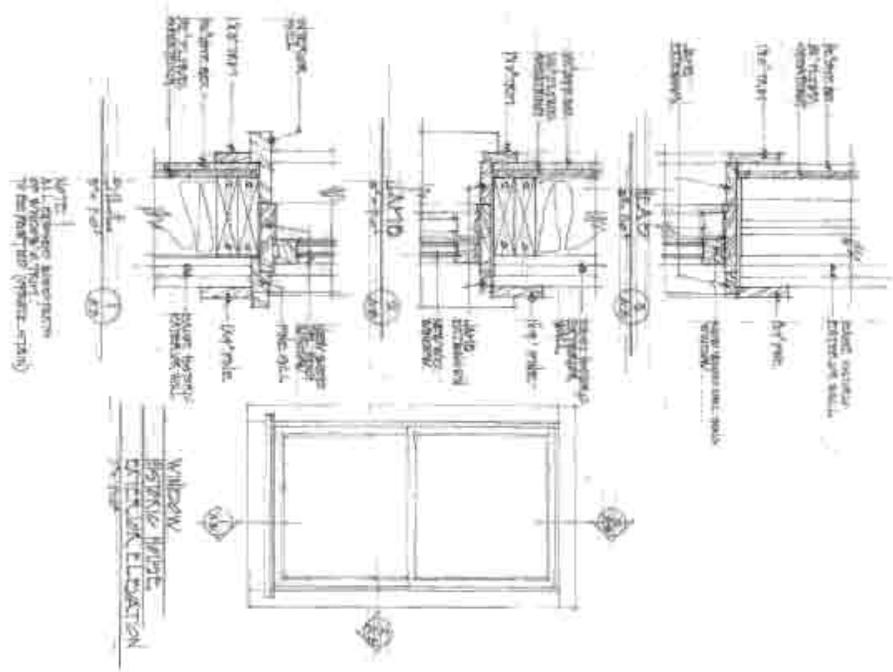
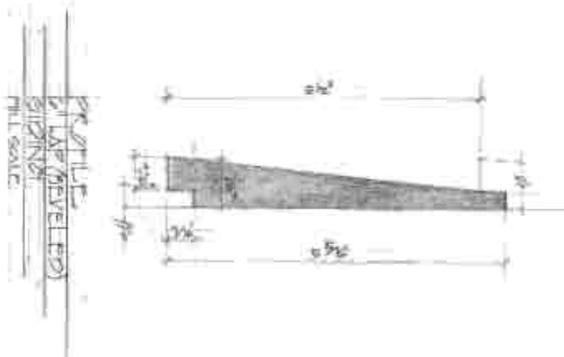
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APR 24 2012

HISTORIC PRESERVATION PLAN

PROJECT DESCRIPTION

The existing Historic House is judged a Landmark structure. It is presently in dangerously poor condition. The project proposal is to completely restore the structure, front porch and stairway access from the street, to its original early 20th century presence. The rotting foundation will be replaced with a new concrete foundation with full basement and single car garage. The final placement and orientation of the house on the site will remain the same as existing. The final floor elevation will also remain the same. The existing house will have to be structurally braced and raised in tact in order to facilitate the construction of the basement/ garage portion of the project. Upon completion of the basement and new main floor structure, the house will be set back down to its original position. Rehabilitation of the house will then begin.

A new addition is proposed behind the existing historic house. The footprint of the new addition will be 750sf. There will be a proper transition between the new and historic structures. The new basement under the historic house will extend back under the new addition making the addition a total of three stories.

DESIGN ISSUES- Historic Sites

The existing Historic house is grave disrepair and has wrongly been gutted from the inside. The existing exterior walls can be fitted with new stud framing from the inside thus saving the existing historic layers, as described in the Existing Conditions Report, on the outside. The roof structure does not meet code and the roof will have to be restructured. The roof height, slope and shape will appear exactly the same for those viewing the house from the outside.

I believe the placement and height of the proposed new addition in the rear will have no negative impact on the street or the Historic District. The Historic House sits about 12 feet above and 25 feet back from the edge of the street. The front yard consists of a very nice stacked stone retaining wall (2' to 6' in height) across the front of the site. A steep earth bank rises from the top of the wall to the main level of the house. If a person stands in front of the house on the street, the rear addition cannot be seen. The new addition will only be seen slightly by walking up or down the street from the North or South.

The only other impact that the project proposes is in the front yard where the new driveway will cut through the stone retaining wall at the low end and the excavation required to reach the new garage. The impact of the garage door, however, will be greatly minimized because it is back underneath the front porch and 28 feet from the edge of the street. The new driveway is only 10 feet wide. There are, presently, two large evergreen trees in the front yard. The north tree is approximately 25 to 30 feet in height and looks to be in good shape. The south tree is approximately 20 to 25 feet in height and looks to be under stress. The south tree will be removed with the construction of the new driveway. A new evergreen tree will be installed 8 to 10 feet south of the original location. The two trees in the front yard have been in place for many years. I believe that the two trees have outgrown the site. The visibility of the Historic House is now greatly diminished by the two existing trees. I believe that removing the South tree in favor of a new small driveway will greatly increase the house's visibility and presence to the street. The topography of the front yard will remain the same except for the driveway cut. The driveway will be 10 ft. wide and the sides will splay up to the existing grade as it goes back to

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the door. The splay areas will be planted with ground cover and flowers positioned among the small hand stacked retaining. The new garage door is 29'-6" back into the site from back of curb. The door is also 4'-6" back under the face of the front porch. The door will not be visible unless one is standing directly in front of the house. The existing front stairway will be rebuilt with wood and will be in the same location. It will be raised slightly so it is not resting on dirt.

DESIGN ISSUES- Historic Districts

I believe the proposed project will have no negative impacts on the surrounding district. I also believe that the removal of the south tree and the replacement with a smaller tree (15 feet in height) will greatly enhance the view of the existing Historic house from the public right of way. The existing trees have overgrown the site, making the view of the house minimal.

The new rear Addition will be constructed of proper materials with roofline and massing to compliment the existing Historic structures in the District.

CONSTRUCTION ISSUES

Site Features

Topography- The main construction issue affecting the topography of the Site will be the driveway cut and the removal of the south evergreen tree. The cut will be about 12 to 13 feet wide. The driveway itself will be 10 feet wide. The extra width will facilitate the building of the low hand stacked stone retaining needed to retain the driveway banks. The driveway cut and the raising of the Historic house will facilitate the excavation of the basement and the rear addition beyond. This method will result in little impact on the Site topography.

Landscaping- There is presently no landscaping on the Site. Except for the two evergreen trees described in the front yard and the two evergreen trees described in the North side yard, the Site is overgrown with weeds and tangled natural plants. A new evergreen tree (12 to 15 feet tall) will be planted in the front yard south of the new driveway to replace the one removed. There will be a stone walkway on the North side of the house from the front porch to a small concrete patio and entry to the new addition. The North side of the new addition will have a concrete stairway on grade from the small patio to another patio in the rear of the addition. The South side of the property will be unchanged and will be cleaned of the weeds and tangled shrubs. See the new proposed Site Plan for areas of lawn, flowers and ground cover.

Retaining walls- The main existing retaining wall at the front of the property will remain the same except for the driveway cut. There will be other retaining, however, every wall will be hand stacked stone 2 to 4 feet in height. There will be two 6 foot high walls on either side of the garage door. Their visibility will be minimal. See the new proposed Site Plan for wall locations.

Exterior Steps- There will be two sets of exterior stairs. The first set of stairs, which is existing and Historic in location runs from the street up to the main floor of the Historic house through the front yard. This stair is in grave disrepair and will be rebuilt in place with new wood stringers and treads with new wood railings. The present stair is constructed of pressure treated 2"x members which are not Historic and the stair is resting on existing grade. The new stair will be raised slightly above grade. See

the details on the drawings. The second set of stairs is located on the North side of the new addition and is described in the Landscaping section above.

Fences- There will be no fences.

Other- None

Main Building

Roof- The roof massing of the existing Historic house will remain unchanged. The existing roof structure does not meet code and when the interior of the house was gutted a few years ago, the structure was further compromised. The roof will be restructured, re-sheeted, waterproofed and resurfaced with new asphalt shingles. Many of the existing roof joists will remain and be sistered with new joists. The roof height, slopes and massing will remain the same. Proper insulation will be added to the roof system.

Exterior walls- The exterior walls will be reused and will form the correct heights, lengths, window and door sizes and locations for the rehabilitated house. A good portion of the existing siding and trim can be reused. There are some boards close to the ground that are rotten and warped and will have to be replaced. Any new siding will be milled to the exact profile of the existing. All exterior walls will be straightened and plumbed and will be re-structured from the inside with 2"x6" studs at 16" o.c. and plywood sheathing. The existing Historic wall will be attached to the interior stud wall and proper insulation and air barrier will be added to the system.

Foundation- The project is proposing a new basement with garage under the Historic house. The house will have to be raised above its present location in order to facilitate the excavation, forming and pouring of the new concrete foundation. The main floor of the house will also receive a new floor system. The old system is resting on dirt and is rotted. When the new foundation and floor system are in place, the house will be lowered back to its original position and elevation.

Porch- The existing Historic house did have a front porch, but it was restructured to be on grade and surfaced with flagstone. The porch will again be rebuilt with wood structure and surfaced with 1"x4" hardwood. The porch roof posts will be reused and a new railing will be built to be more in keeping with the Historic era.

Dormer- None

Existing Additions- None

Mechanical System- New gas fired radiant system.

Electrical System- All new

Structural system- All new

Hazardous Materials- Lead paint exterior

Other- None

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Main building Details

Windows- All existing windows in the Historic house are aluminum and non-historic. All windows in the Historic house will be replaced with energy efficient wood interior and exterior windows and will have painted finish. The windows will be made of the correct size to fit in existing openings. The existing conditions South side elevation shows a window about half way back from the front of the house that is not of historic size or shape. This window will be replaced with a two double hung windows as shown on the finished South Elevation. Also on the existing South side of the there is a doorway and a platform hanging off the side of the house located at the peak of the roof. There is no evidence that this door and platform arrangement is historic. The door and platform will be removed and replaced with a small window in the peak to match the North side. All operating windows will be double hung. The windows for the new addition will be double hung operating and will be wood interior with colored exterior aluminum cladding.

Doors- There are no doors of historic value left in the existing house. The front entry door of the existing Historic house is the only door that will be visible from the public right-of-way. This door will be of wood and the style will be submitted to the Planning Dept. for approval. The same procedure will follow for the exterior doors for the new addition.

Trim- Much of the door and window trim on the existing house can be reused. The trim is very simple flat square-cut pieces. If any of the pieces need to be replaced, it will be a very simple match. See details provided of the window and door trim and the porch and stair railing.

Architectural Ornamentation- The only ornamentation that exists on the building is a crown mould at the top of the fascias and a crown mould at the top of the trim piece where the siding meets the soffit. These crown mould pieces are pretty beat up and should be replaced. They will be replaced with pieces that are the same size and profile.

Other- None

Accessory Buildings

None

Structures

None

PROJECT TEAM

Architect- David G. White, Architect, R.A., N.C.A.R.B.

Structural Engineer- McNeil Engineering Structural, L.C., Matthew Roblez, S.E.

APR 24 2012

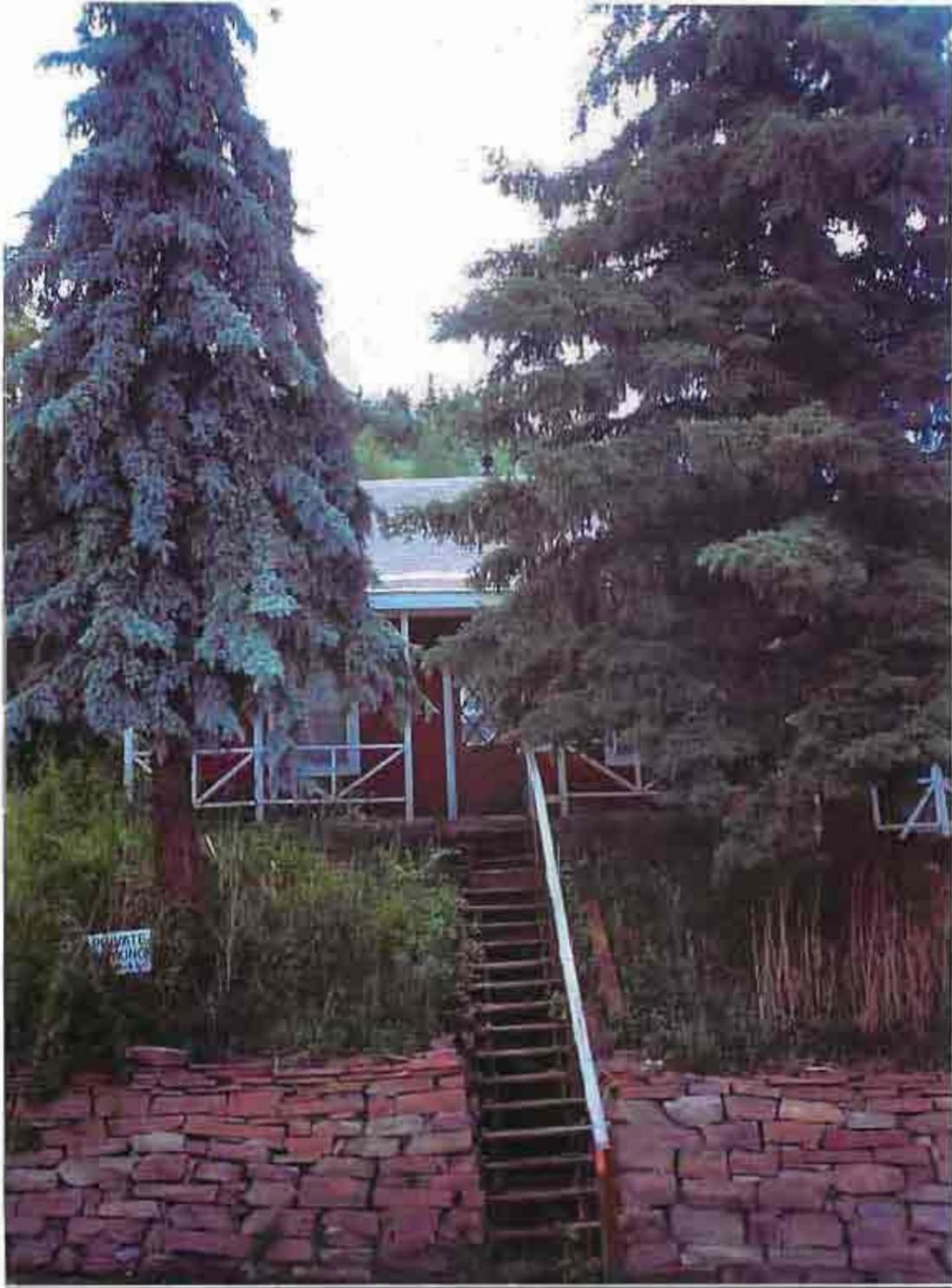
East Wall



Looking East



Street Scape



West Wall



Looking West



North Wall



Looking North



PHYSICAL CONDITION REPORT - PHOTOS

A.1 Topography

Looking Down on House from West



Front of House



A. 2 Landscaping

South Side



North Side



A.3 Retaining Wall

Street View



A. 4 Exterior Steps

Steps with Retaining Wall Return



Broken Steps



B.1 Roof

Rear View



North Side

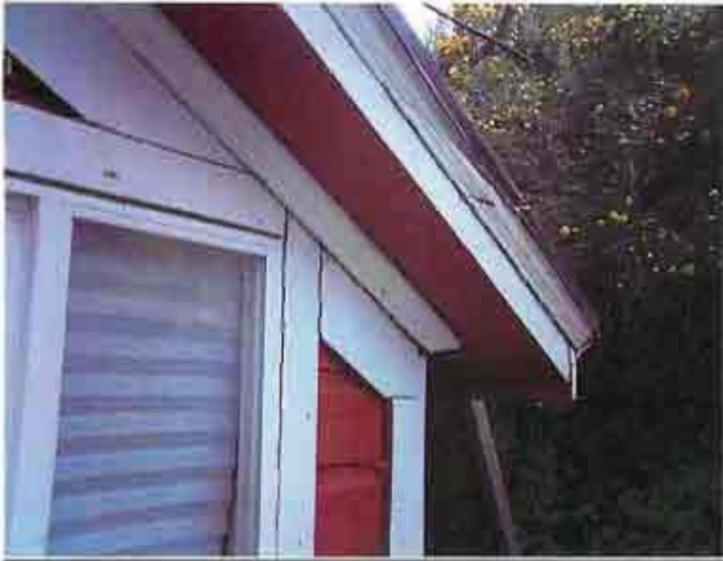


B. 2 – B.5 Exterior Wall

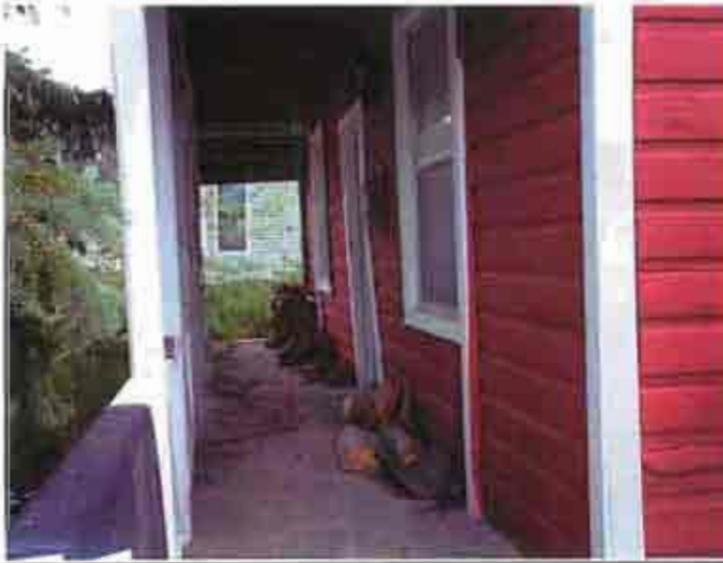
Northwest Corner



Close Up of Northwest Corner



Northeast Corner Showing Porch, Front Door Window Trims



B.6 Foundation

North Wall Showing Rotten Foundation and Rotting Siding



B.7 Porch(s)

Front Porch Showing Flagstone Floor



B.10 – 12 Mechanical System, Electrical System, Structural System

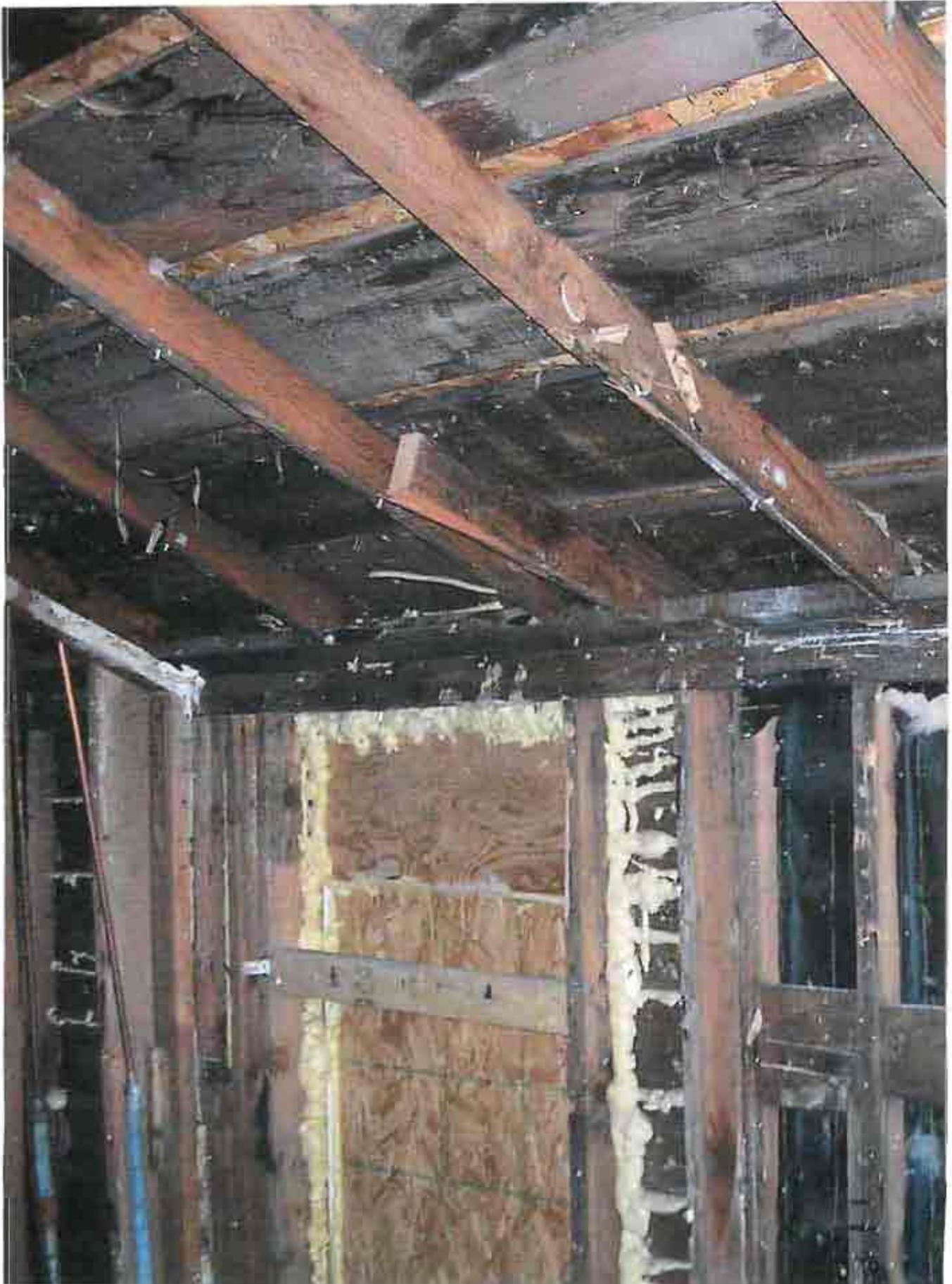
View from Front Door



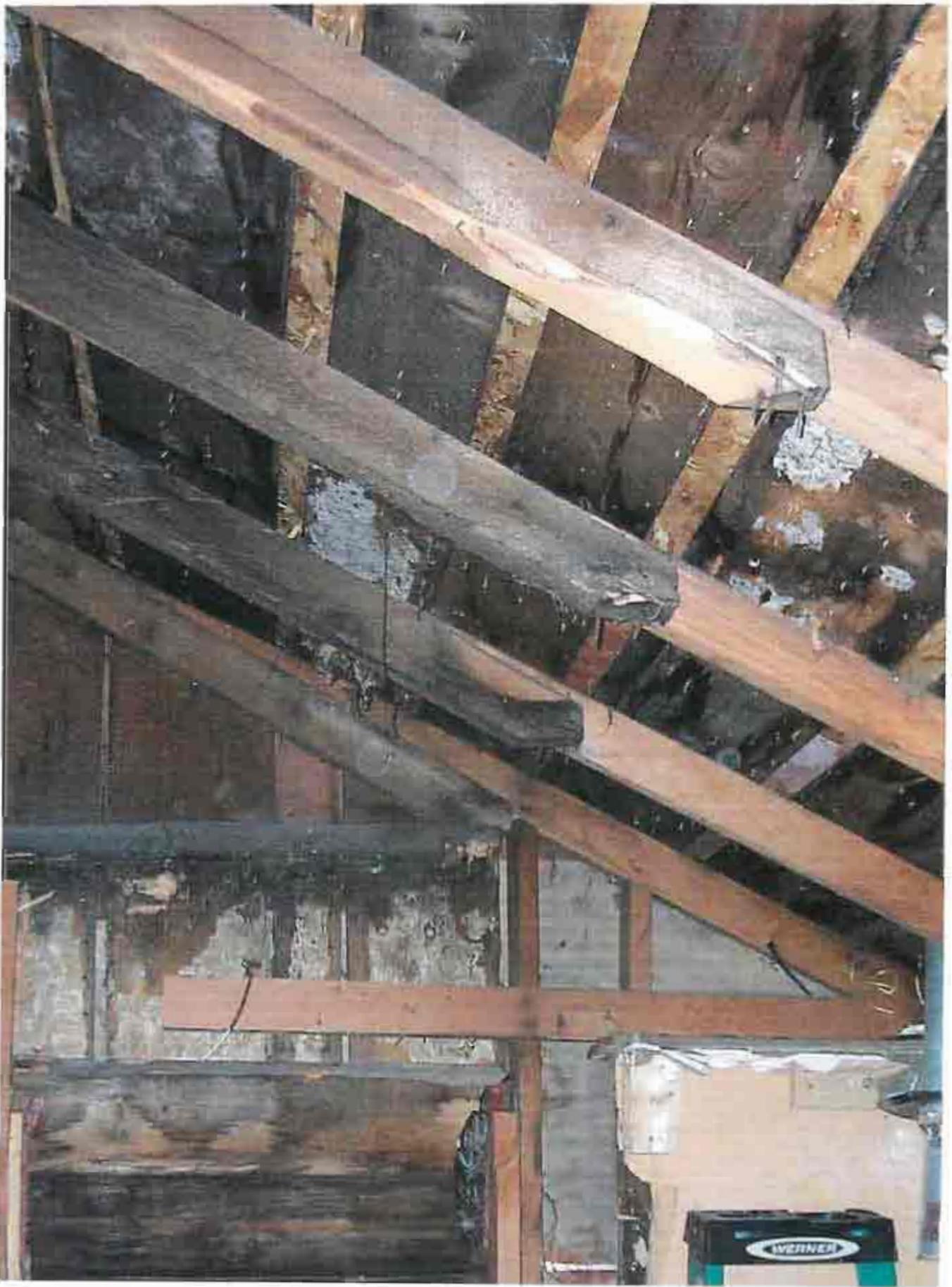
View from Front Door











PHISICAL CONDITIONS REPORT

SITE FEATURES

TOPOGRAPHY

The Site is situated on the West side of Woodside Ave. Approximately 6' from the curb is a very nice hand stacked stone retaining wall. The wall is about 2' high at the South end of the property and rises to a height of about 6' at the North end of the property, 50 feet away. The East property line of the Site is about 7' West of the wall. The Site rises from the top of the retaining wall 8' in a distance of fifteen feet to the main floor elevation of the existing house. At this point, the Site flattens to a very gentle slope to the rear of the house. (about 29') The site then, once more, rises sharply another 10' in 12' to the bottom of a deteriorated railroad tie retaining wall which is 2' to 3' in height. The Site then gently slopes back to the West property line. Beyond this property line is a trail for hiking in the summer and ski access in the winter.

LANDSCAPING

There is no existing landscaping because the house has not been occupied for many years. There are two large evergreen trees in the front yard, between the stone retaining wall and the house. The trees are approximately 30' in height. There are also two evergreen trees about 12' in height on the North side of the house about half way back on the Site. The rest of the Site is just overgrown weeds and native plants in the rear.

RETAINING WALLS

Across the front of the property, as described in the Topography section, there exists a very nice hand stacked stone retaining wall (2' to 6' in height). The wall is in very good condition. Another retaining wall exists, also described in the Topography section, high upon the site to the rear. It is built of railroad ties and is in poor condition.

EXTRIOR STEPS

There are existing steps that are situated to lead from the street up to the front porch and the front door of the house. The steps are wooden and are located approximately in the middle of the front yard between the two large evergreen trees. The present physical stairway, because of its materials, is probably not historic, but its existence and location is historic. The stairway is 3' wide, has 2-2"x6" treated Douglas Fir treads. The treads have an average of 7.5" rise. The stringers are rotting Douglas Fir. The handrail is 2"x4" Douglas Fir and the posts are pressure treated Douglas Fir. The stairway is unsafe, broken, missing treads, not to code and must be re-built to code.

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FENCES

A fence exists at the top of the front yard. It exists from the North-East corner of the existing front porch and follows north to the property line. The fence is built out of 2"x4"s and is the same design as the railing of the existing front porch. Neither is historic.

OTHER SITE FEATURES

None

MAIN BUILDING

ROOF

The existing roof is gabled on the North and South sides. The East slope starts at the front wall of the house and rises at a pitch of 11/12 to the main ridge which is about 8'-6" back from the front wall. The remainder of the roof slopes at a pitch of 6.33/12 to the rear of the house. The eave height at the rear of the house is only 5'. The front porch has its own roof which has probably been changed from its original design. The roof is a shallow shed that slopes toward the street and has been truncated on the North and South ends. The existing roof covering on the main roof is non-historic asphalt shingles. The main roof structure consists of 2"x4" joists at 24" oc. Above the joists is 1"x12" skip sheathing running perpendicular to the joists. Through the years someone has installed an OSB sheathing layer above the skip sheathing, probably to give the building a little stability and to help with the installation of the asphalt shingles. The existing roof structure is not useable on its own. It will have to be structurally modified. A red brick chimney approximately 24" square penetrates the roof about 4' west of the main ridge.

EXTERIOR WALL- PRIMARY FAÇADE 1

This façade is wood siding. It is 1"x7" pine drop siding. The trim at the building corners and around the windows and front door is 1"x4" pine. The fascia at the roof is 1"x7" pine with a 3" pine crown molding. The condition of the material is fair. I think a good portion of it can be re-habilitated and re-used. The wall structure is of the typical historic construction seen in Park City. It consists of two layers of 1"x12" pine boards. The layers run perpendicular to each other.

EXTERIOR WALL- SECONDARY FAÇADE 2

The North and South facades are also of 1"x7" pine drop siding. The trim around the windows are of the same 1"x4" pine as the front façade. There is a trim board just below the soffit along the rake of the roof. This trim consists of 1"x8" pine with a 3" crown mold. The soffits are 9" wide and are 1" pine painted and recessed 1/2". The condition of the material is fair. The wall structure is the same as described in Primary Façade 1.

EXTERIOR WALL- REAR FAÇADE

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This façade is the same exterior materials as the other façades. It is in very poor condition because a steep bank of earth comes right down to it. Its proximity to the earth and many winters or deep snow against it has rotted much of the material. This wall is scheduled to be removed because it has been judged to be part of a non-contributory addition.

FOUNDATION

The building's existing foundation is of wood on earth and is totally rotten. The existing foundation is a non-issue because of stabilization requirements, the house will receive a new concrete foundation.

PORCH(ES)

The existing front porch is 4'-6" wide and extends across the entire length of the front façade. The surface of the porch is flagstone on grade with concrete block retaining along the front edge. This house did have a front porch, according to the Sanborn maps of 1900 and 1907, but the existing one is not of historic materials and will be rebuilt with proper materials.

DORMERS

None

ADDITIONS

The Sanborn maps of 1900 and 1907 show that the original building had some rear additions, however, there is no evidence of these additions at this time. The existing building does have a rear addition that is not related to the Sanborn maps. The addition is about 5' in depth and extends across the entire width of the building. There is a doorway in the middle of the back wall that leads outside and a broken window to the South. The construction of this addition is totally different from that of the main building. The walls are of 2"x4" studs at 24"oc with tar paper on the outside and wood siding over. See photos provided for this area.

MECHANICAL SYSTEM

There is no mechanical system. There is an existing brick chimney that starts at the floor and extends up through the roof about 4' west of the main ridge. There is a wood burning stove sitting on the floor that vents into the chimney. The stove is not historic.

ELECTRICAL SYSTEM

None. Power to panel only.

STRUCTURAL SYSTEM

There is no structural system at this time. There are no interior walls. All interior walls were wrongly removed. The roof is presently supported by temporary bracing which was not structurally designed. A

APR 24 2012

new structural engineer has since been brought in to design proper temporary bracing. The new temporary bracing will be completed by Dec. 1, 2011. The exterior walls are typical wood construction used in Park City historically. This construction is described above in the Exterior wall- Primary Façade section.

The existing roof structure is 2"x4" joists at 24" oc with 1"x12" skip sheathing above.

The foundation is wood on dirt that is totally rotted.

The existing floor has many layers, and in spots, the original floor is still present. The original is 1"x4" fir. The structure below the floor surface is 2"x4" joists that either sit on dirt or rest slightly above the dirt. Most of the joists are experiencing rot. The floor is very much out of level. There is an 11" drop from the Southwest corner to the Northeast corner.

HAZARDOUS MATERIAL

The paint on the existing siding is probably lead based.

MAIN BUILDING DETAILS

WINDOWS

Front-	2 windows	2- 3'x5' Aluminum, two pane, single pull.
North Side-	4 windows	1- 3'x5' Aluminum, two pane, single pull. 1- 3'x4' Aluminum, two pane, single pull. 1- 3'x3' Aluminum, two pane, single pull. 1- 3'x2' Aluminum, two pane, double pull.
Rear-		1- 3'x2' Aluminum, single pane slider with broken glass.
South Side-		1- 4'x3' Aluminum, two pane, single pull.

DOORS

South Side-	1 door	1 ¾"x2'-6"x5'-3" flush slab from upper loft. Installed 2001
East Side-	Front Door	3'x6'-8" half lite, x panel on bottom, diamond grid at top. Not historic.
West Side-	1 door	3'x4'-9" flush slab. Not historic
North Side-	No door	

TRIM

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All of the exterior trim around the doors and windows and the building corners are very simple 1"x4" pine and void of any ornamentation. Everything is square cut and painted. There are no window sills. All original windows have been replaced with aluminum and one vinyl.

Porch Soffit: The existing porch soffit is 2 ¼" v-board. Under this layer there is a layer of 1"x4" pine that is butt jointed. This layer seems to be original.

House Soffit: 1"x10" rough cut fir.

All trim is judged to be in fair condition, possible for rehabilitation and reuse.

ARCHITECTURAL ORNAMENTATION

The only ornamentation that exists is the 3" crown molding at the top of the fascia board all around and a 3" crown molding at the top of the trim band just below the fascia all around.

OTHER

None

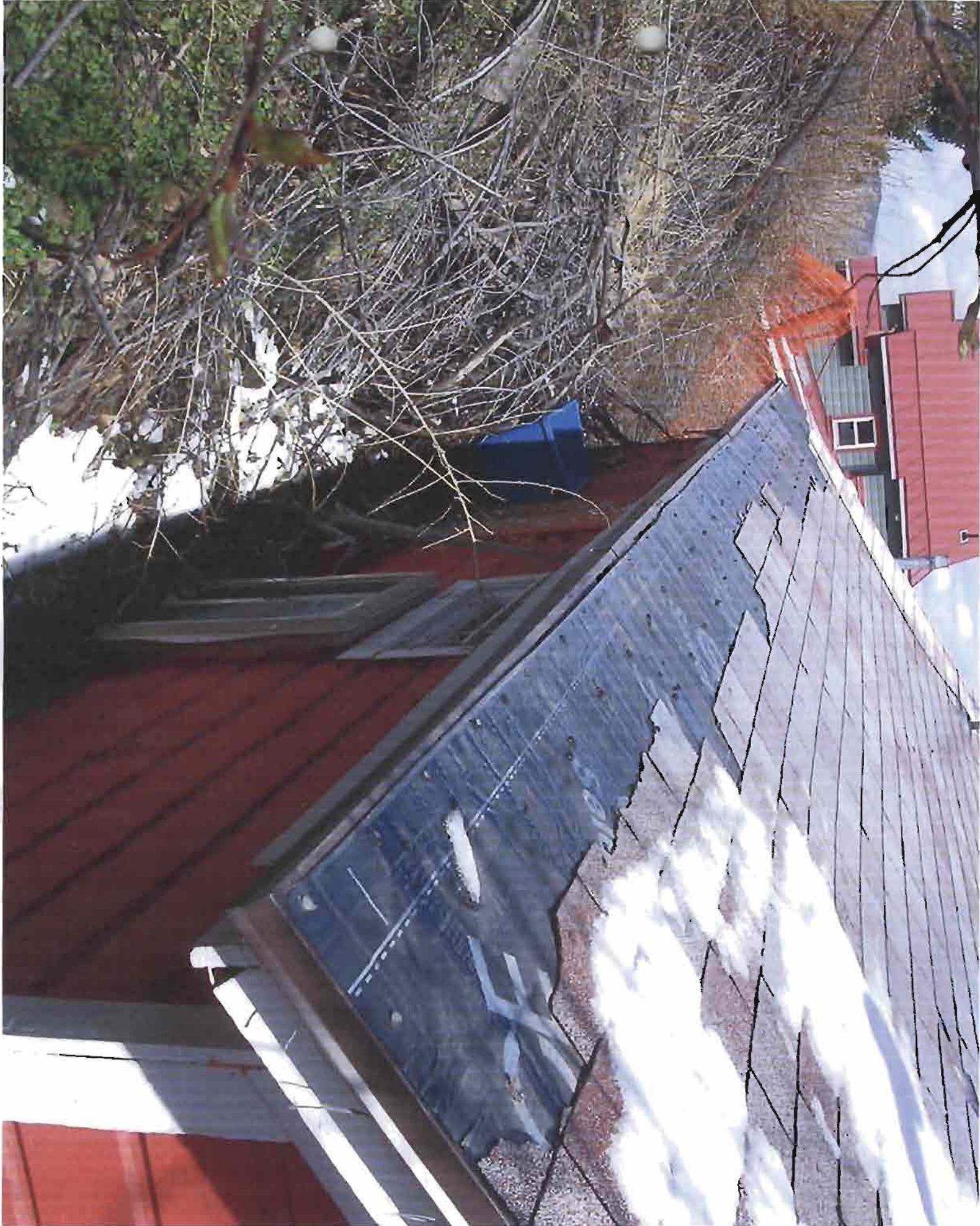
ACCESSORY BUILDINGS

The 1900 Sanborn map show a small accessory structure about halfway up the site on the North property line. The 1907 Sanborn map shows a small accessory structure about halfway up the site on the South property line. There is no evidence of any accessory structures at this time.

STRUCTURES

None

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Existing



New



East Perspective
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect

Existing

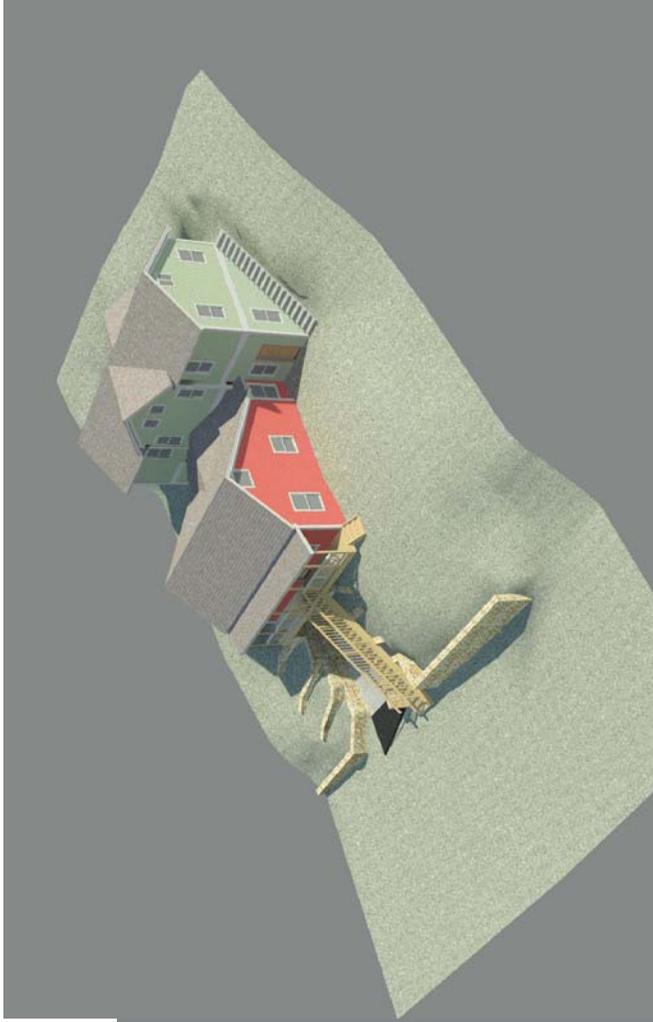


New

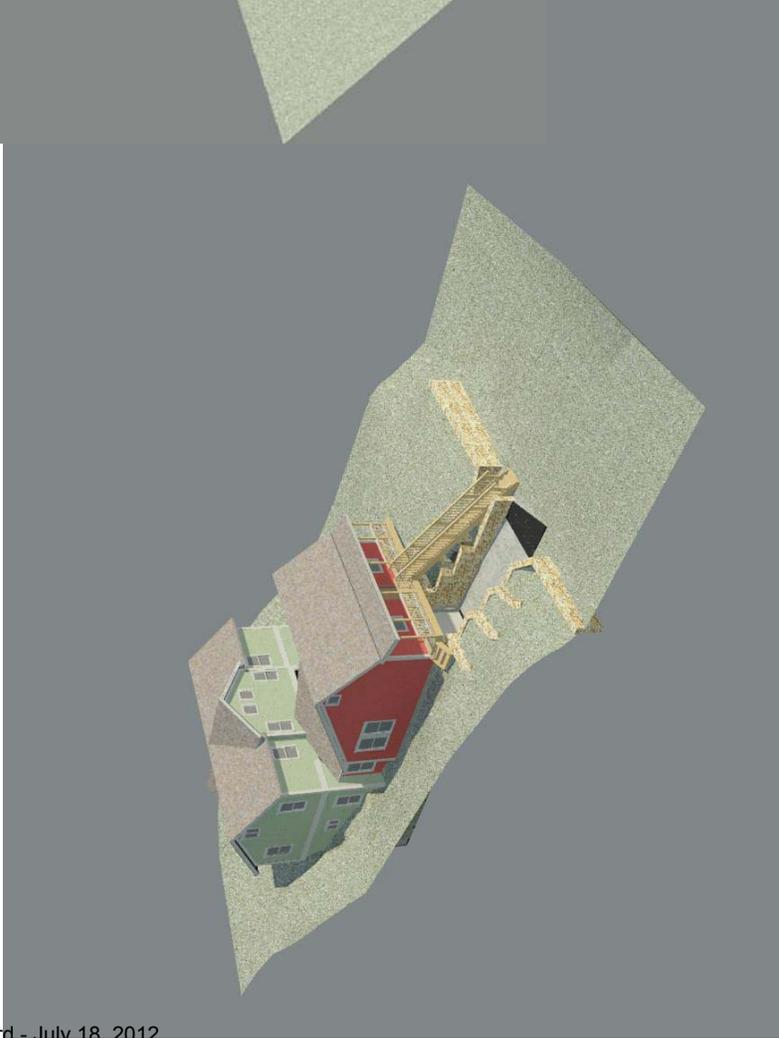


Northeast Perspective
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect

Northeast



Southeast

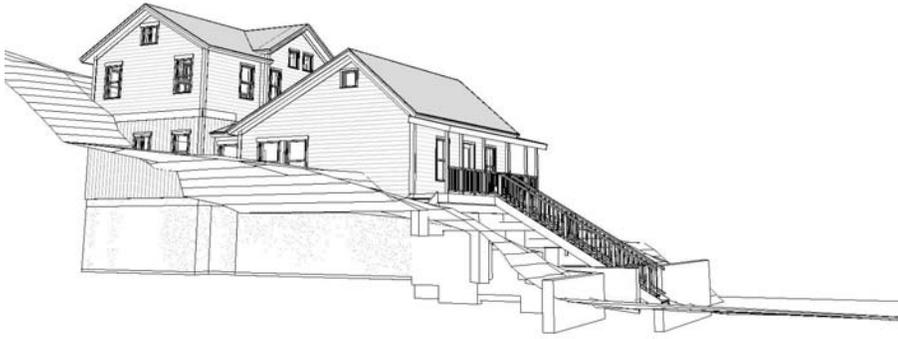


Other Perspectives
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect

Existing



New



Southeast Perspective - Long
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect

Existing



New



Southeast Perspective
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect



Existing



New



Across Valley View
355 Woodside Avenue - Park City, UT - 84060
David G. White Architect

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **William Tretheway House**

Address: 335 Woodside Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: PC-372

Current Owner Name: James Totoro & Jill Harwood

Parent Parcel(s):

Current Owner Address: PO Box 3654, Park City, UT 84060-3654

Legal Description (include acreage): 0.08 acres; LOTS 9 & 10 BLK 30 PARK CITY SURVEY.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

- Original Use: Residential
- Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date: 7/12/1984 - Mining Boom Era Residences Thematic District)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: 1983, 1995 & 2006
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
 Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
 McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
 Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
 Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Hall-Parlor type / Vernacular style

No. Stories: 1 ½

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation Date: November, 08

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: The site rises gradually from the retaining wall at the road to a narrow relatively level building pad. The site behind the house rises sharply. The vegetation includes two mature evergreen trees in the front yard and grasses--not formal plantings. Dry stacked stone retaining wall does not appear to be original to the site, but is compatible with the neighborhood.

Foundation: The front porch rests on cinder blocks; remaining foundation cannot be verified.

Walls: Walls are clad in wood drop siding and corner boards. The front partial-width porch is supported by simple square columns with shed extensions out to the sides, making it a full width porch. The rail is a simple inverted king-post truss design.

Roof: The roof is a side gable with rear extension into a saltbox form, sheathed in asphalt shingles.

Windows: Single double-hung units with simple trim casings. Also, small casement windows on the side elevations.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The site has not changed from the description provided in the 1983 National Register nomination- excerpted below:

This house is a one story frame hall and parlor house with a gable roof. Typical of the hall and parlor house is the rectangular form, the symmetrical facade with a door centered between two windows, and the porch spanning the facade. The piers that support the section of porch between the windows may be original, but the porch roof, the side piers, and the balustrade were later additions. Those changes are unobtrusive and are reversible. The roof of this house slopes off to the rear, resembling a saltbox roof. An original shed extension such as this was common in Park City houses, allowing the two room hall and parlor form to be expanded to a four room house. There is a door with a small balcony set in the top half story of the south gable end. All of the original windows are the one over one double hung sash type. Two small windows in the north wall are more recent additions, but the change is minor. Despite the minor porch and window changes, the house maintains its original character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting is typical of mining era homes in Park City. The house is located on .08 acres with a narrow building pad that results in the rear of the house nearly embedded into the hill behind. The lot gradually rises from the stone retaining wall at the street front and rises more sharply at the rear of the house. Landscaping is informal and consists of evergreen trees and grasses. The house is located close to other houses of similar size and scale.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The Hall-Parlor house form is the earliest type to be built in Park City and one of the three most common house types built in Park City during the mining era.

This site was listed on the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*. It was built within the historic period, defined as 1872 to 1929 in the district nomination, and retains its historic integrity. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1900¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: East elevation. Camera facing west, 2006.

Photo No. 2: East elevation - detail. Camera facing west, 2006.

Photo No. 3: Southeast oblique. Camera facing northwest, 2006.

Photo No. 4: Southeast oblique. Camera facing northwest, 1995.

Photo No. 5: Southeast oblique. Camera facing northwest, 1983.

¹ Summit County Tax Assessor.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

Structure/Site Information Form

IDENTIFICATION 1

Street Address: 335 Woodside UTM: 12 458060 4498970
 Park City, Summit County, Utah
 Name of Structure: William Tretheway House T. R. S.
 Present Owner: Elmer S. George
 Owner Address: 2937 Casto Lane, Salt Lake City, Utah 84117
 Year Built (Tax Record): Effective Age: Tax #: PC 372
 Legal Description: Kind of Building:
 Lots 9 and 10 Block 30, Park City Survey
 Less than one acre.

STATUS/USE 2

Original Owner: probably William Tretheway Construction Date: c. 1893 Demolition Date:
 Original Use: Residence Present Use:
 Building Condition: Integrity: Preliminary Evaluation: Final Register Status:
 Excellent Site Unaltered Significant Not of the National Landmark District
 Good Ruins Minor Alterations Contributory Historic Period National Register Multi-Resource
 Deteriorated Major Alterations Not Contributory State Register Thematic

DOCUMENTATION 3

Photography: Date of Slides: 1983 Slide No.: Date of Photographs: 1983 Photo No.:
 Views: Front Side Rear Other Views: Front Side Rear Other

Research Sources:
 Abstract of Title Sanborn Maps Newspapers U of U Library
 Plat Records/ Map City Directories Utah State Historical Society BYU Library
 Tax Card & Photo Biographical Encyclopedias Personal Interviews USU Library
 Building Permit Obituary Index LDS Church Archives SLC Library
 Sewer Permit County & City Histories LDS Genealogical Society Other Census Records

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):
 1900 Census Records. Summit County, Park City Precinct, p. 153-A.

Architect/Builder: Unknown

Building Materials: Wood

Building Type/Style: Hall & Parlor House

Description of physical appearance & significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

This house is a one story frame hall and parlor house with a gable roof. Typical of the hall and parlor house is the rectangular form, the symmetrical facade with a door centered between two windows, and the porch spanning the facade. The piers that support the section of porch between the windows may be original, but the porch roof, the side piers, and the balustrade were later additions. Those changes are unobtrusive and are reversible. The roof of this house slopes off to the rear, resembling a saltbox roof. An original shed extension such as this was common in Park City houses, allowing the two room hall and parlor form to be expanded to a four room house. There is a door with a small balcony set in the top half story of the south gable end. All of the original windows are the one over one double hung sash type. Two small windows in the north wall are more recent additions, but the change is minor. Despite the minor porch and window changes, the house maintains its original character.

Statement of Historical Significance:

Construction Date: c. 1893

Built c. 1893, the William Tretheway house at 335 Woodside is architecturally significant as one of 76 extant hall and parlor houses in Park City, 22 of which are included in this nomination. The hall and parlor house, the earliest house type to be built in Park City, and one of the three most common house types that were built during the early period of Park City's mining boom era, significantly contributes to the character of the residential area.

This house was built between 1889 and 1900, according to the Sanborn Insurance Maps. It was probably constructed in 1893, the year that William Tretheway purchased this property from the Park City Townsite Corporation, although Tretheway, like many others in town, may have built the house before receiving legal title to the property. William Tretheway was born in England in 1854 and came to the U.S. in 1883. He worked as a mine foreman in Park City. His wife, Jessie, whom he married c. 1876, was also a native of England (b. 1854). She did not join him in the U.S. until 1891. The Tretheways had at least two children.

In 1901, the Tretheways sold this house to Lizzie T. Campbell, about whom nothing is known. The Campbells apparently owned the house until 1927, when it was sold to Mrs. Fannie B. Watterson, who owned it until 1944.



William Tretheway House
335 Woodside
Park City, Summit County, Utah

Southeast corner

photo by Debbie Temme, October 1983
Negative: Utah State Historical Society





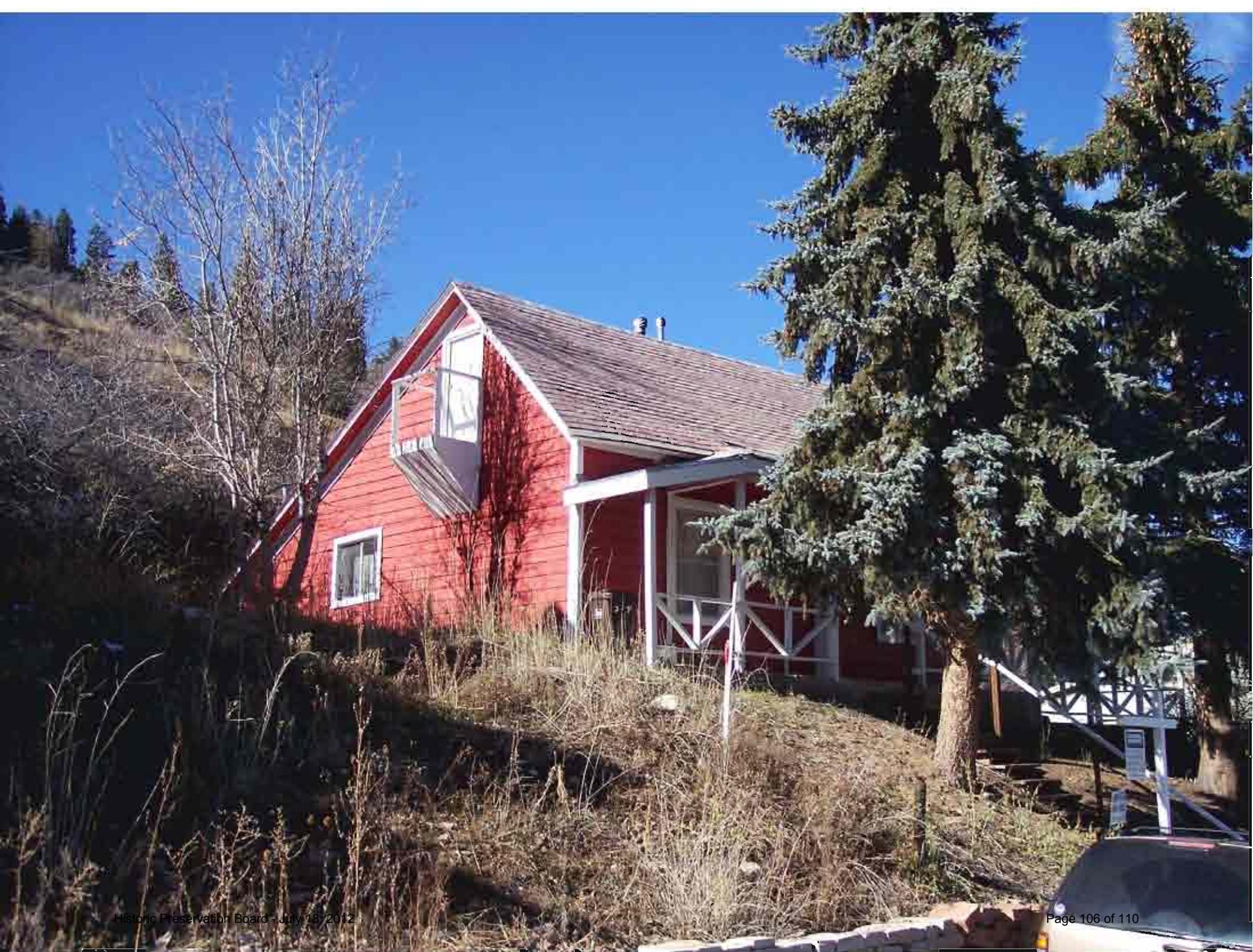




Exhibit C – Breakdown of estimated costs of the scope of work

June 29, 2012

Historic Restoration- 335 Woodside Ave, Park City, UT

Architect- David G. White

Contractor- Lance Kincade

Owner- John Watkins

ESTIMATED COST BREAKDOWN

Note 1 All costs shown below are for the Historic House portion of the project only.

Excavation	\$18,500.00
Raising of Historic House to facilitate excavation.	\$20,000.00
Footing and Foundation	\$25,000.00
Roof- Restructure	\$18,000.00
Walls- Restructure and stabilize	\$29,000.00
Siding and Trim	\$8,000.00
Windows and Doors	\$5,000.00
Painting	\$8,750.00
Total	\$132,250.00
City Portion	\$66,125.00





335 Woodside Avenue Vicinity Map



Legend

- Road Edges
- Parcels
- Park City HSI Significant Site
- Park City HSI Landmark Site
- Streets

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0 50 100 150 200 Feet

Exhibit E – Historic Incentive Grants account update

Historic Incentive Grants - Capital Project Budget Update

MAIN STREET RDA	
Current Budget Funds	\$ 9,367.00
Allocated monies to date	\$ 9,367.00
Total Budget Funds Available	\$ -

LOWER PARK RDA	
Current Budget Funds	\$ 209,726.00
Allocated monies to date	\$ 4,792.50
Total Budget Funds Available	\$ 204,933.50

CIP FUND - GENERAL FUND TRANSFER **	
Current Budget Funds	\$ 63,020.00
Allocated monies to date	\$ 10,773.00
Total Budget Funds Available	\$ 52,247.00

** The CIP - General Fund is a fund that is allocated from the General Fund and distributed throughout Capital Projects for the discretionary use and distribution within that Capital Project in conjunction with any internal policies of the managing department. It is to be used after the budgeted funds within that project are depleted.